

AGENDA
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
May 28, 2019
6:00 P.M.

CALL TO ORDER

CONSENT AGENDA

1. Approval of Minutes for the April 30, 2019 Planning and Zoning Commission meeting.
2. **P2019-020 (David)**
Consider a request by Robert Howman of Glenn Engineering on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of replat for Lot 2, Block A, RISD Elementary School Addition being a 17.2922-acre tract of land being identified as Lot 1, Block A, RISD Elementary School Addition and Tract 2-7 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall, Texas, zoned Planned Development District 70 (PD-70) for single family land uses, located at the southeast corner of Greenway Boulevard and FM-552, and take any action necessary.
3. **P2019-021 (Korey)**
Consider a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of Greencrest TPS Hotel, LP for the approval of a final plat of Lots 1-3, Block A, Town Place Marriott Addition being an 8.715-acre tract of land identified as a portion of Lot 1, Block B, Goldencrest Addition and Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated north of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.
4. **P2019-022 (David)**
Consider a request by Cameron Slown of F. C. Cuny Corporation on behalf of Phillip McNeill of MHC Rockwall, LLC and Jason Lentz of Atticus of Atticus Summer Lee Townhomes for the approval of a replat for Lot 5, Block A, Harbor Village Addition, being a 2.12-acre tract of land currently identified as Lot 3, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located on the south side of Summer Lee Drive southwest of the intersection of Horizon Road [*FM-3097*] and Summer Lee Drive, and take any action necessary.
5. **SP2019-019 (Korey)**
Discuss and consider a request by Jerry Crouse of PS LPT Properties Investors on behalf of Public Storage for the approval of a site plan for an existing mini-warehouse facility on a 4.264-acre of land identified as Lot 1, Block B, Valk Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4028 N. Goliad Street [*SH-205*], and take any action necessary.

APPOINTMENTS

6. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

ACTION ITEMS

7. **SP2017-019 (Ryan)**
Discuss and consider a request by Himmat Chauhan of Best Western Plus for the approval of an extension of an approved site plan for a hotel on a 1.74-acre parcel of land identified as Lot 1, Block A, Comfort Inn & Suites, Rockwall Towne Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, addressed as 700 E. IH-30, and take any action necessary.
8. **MIS2019-005 (David)**
Discuss and consider a request by Michael Duval of G & A Consultants on behalf of John Delin of R. W. Ladera, LLC for the approval of an *Alternative Tree Mitigation Settlement Agreement* for a 28.011-acre

parcel of land identified as a Tract 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

9. MIS2019-006 (David)

Discuss and consider a request by Glen Goodrich for the approval of an exception to the minimum masonry requirements stipulated in Section 3.1, *General Residential District Standards*, of Article V, *District Development Standards*, of the Unified Development Code for an accessory structure on a 0.2296-acre parcel of land identified as Lot 1, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 608 Christian Court, and take any action necessary.

DISCUSSION ITEMS

10. Z2019-012 (Korey)

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of Jen-Liang Wu of Unison Investment for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family-1 (SF-1) District land uses on a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, located on the west side of Stodgehill Road [FM-3549] north of the intersection of Stodgehill Road [FM-3549] and Cornelius Road, and take any action necessary.

11. Z2019-013 (Ryan)

Hold a public hearing to discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects, Inc. on behalf of Dan Bobst of J-BR2, LLC for the approval of a PD Development Plan within Planned Development District 32 (PD-32), on a 2.893-acre parcel of land identified as Lot 1, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the *Hillside Sub-District* of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of the IH-30 frontage road and Sunset Ridge Drive, and take any action necessary.

12. SP2019-013 (David)

Discuss and consider a request by Bill Bauman of Bauman Consultants on behalf of John Gatz of Eco-Site for the approval of a site plan for a *Freestanding Commercial Antenna* on a 0.0826-acre portion of a larger 7.64-acre tract of land, known as *Yellow Jacket Park*, identified as Tract 11 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated on the south side of Yellow Jacket Lane, west of the intersection of S. Goliad Street [SH-205] and Yellow Jacket Lane, and take any action necessary.

13. SP2019-014 (Korey)

Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a *retail shopping center* and *house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

14. SP2019-016 (David)

Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob and Pam Hawley for the approval of a site plan for two (2) metal buildings in conjunction with an existing commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Road, and take any action necessary.

15. SP2019-017 (David)

Discuss and consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Vincent Stagliano for the approval of a site plan for an animal boarding/kennel without outside pens on a 1.2113-acre tract of land identified as Lot 4, Block A, Ellis Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court, and take any action necessary.

16. SP2019-018 (Korey)

Discuss and consider a request by Annalyse Valk of Platinum Construction on behalf of Shawn Valk of Saro Partners, LLC for the approval of a site plan for a multi-tenant office/warehouse facility on a 2.21-acre tract of land identified as Lot 6, Block A, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive, and take any action necessary.

17. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).

- ✓ Z2019-009: SUP for a Restaurant at 505 N. Goliad Street (*1st Reading*) [*Approved*]
- ✓ Z2019-010: SUP for Guest Quarters/Secondary Living Unit and Barn or Agricultural Accessory Building at 777 & 839 Cornelius Road (*1st Reading*) [*Approved*]
- ✓ Z2019-011: Amended PD Development Standards for Planned Development District 47 (PD-47) (*1st Reading*) [*Approved*]

ADJOURNMENT

18. Capital Improvements Advisory Committee Meeting (CIAC) [6:30 PM]

Appointment with Eddie Hass of Freese and Nichols, Inc. and Matt Hickey, PE of Birkhoff, Hendricks & Carter LLP to discuss Roadway, Water and Wastewater Impact Fees, the Ten-Year Growth Rate for the City of Rockwall, and the proposed Land Use Assumptions report, and take any action necessary.

19. Planning and Zoning Commission Training Session [7:00 PM]

The Planning and Zoning Commission will hold a training session with the City Attorney immediately following the adjournment of the May 28, 2019 Capital Improvements Advisory Committee Meeting.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 24th day of May 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
May 28, 2019
5:00 PM

CALL TO ORDER

CONSENT AGENDA

1. SP2019-013 (David)

Discuss and consider a request by Bill Bauman of Bauman Consultants on behalf of John Gatz of Eco-Site for the approval of a site plan for a *Freestanding Commercial Antenna* on a 0.0826-acre portion of a larger 7.64-acre tract of land, known as *Yellow Jacket Park*, identified as Tract 11 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated on the south side of Yellow Jacket Lane, west of the intersection of S. Goliad Street [SH-205] and Yellow Jacket Lane, and take any action necessary.

ACTION ITEMS

2. SP2019-014 (Korey)

Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a *retail shopping center* and *house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

3. SP2019-016 (David)

Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob and Pam Hawley for the approval of a site plan for two (2) metal buildings in conjunction with an existing commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Road, and take any action necessary.

4. SP2019-017 (David)

Discuss and consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Vincent Stagliano for the approval of a site plan for an animal boarding/kennel without outside pens on a 1.2113-acre tract of land identified as Lot 4, Block A, Ellis Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court, and take any action necessary.

5. SP2019-018 (Korey)

Discuss and consider a request by Annalyse Valk of Platinum Construction on behalf of Shawn Valk of Saro Partners, LLC for the approval of a site plan for a multi-tenant office/warehouse facility on a 2.21-acre tract of land identified as Lot 6, Block A, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 24th day of May 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: May 28, 2019
APPLICANT: Cameron Slown; *F.C. Cuny Corporation*
CASE NUMBER: P2019-022; *Lot 5, Block A, Harbor Village Addition*

SUMMARY

Consider a request by Cameron Slown of F. C. Cuny Corporation on behalf of Phillip McNeill of MHC Rockwall, LLC and Jason Lentz of Atticus of Atticus Summer Lee Townhomes for the approval of a replat for Lot 5, Block A, Harbor Village Addition, being a 2.12-acre tract of land currently identified as Lot 3, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located on the south side of Summer Lee Drive southwest of the intersection of Horizon Road [*FM-3097*] and Summer Lee Drive, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 2.12-acre parcel of land [*i.e. Lot 3, Block A, Harbor Village Addition*] for purpose of establishing the necessary easements (*i.e. fire lane, public access, drainage and utility easements*) in order to develop the lot. The new parcel of land [*i.e. Lot 5, Block A, Harbor Village Addition*] will allow for the construction of a four (4) story, ~45,900 SF hotel containing 98 traditional hotel rooms [*i.e. TRU Hilton*]. The *subject property* is located within the *Interior, Horizon/Summer Lee* and *Residential Subdistricts* of Planned Development District 32 (PD-32).
- On March 5, 2018, the City Council approved *Ordinance No. 18-16 [Case No. Z2018-001]* granting a *PD Development Plan* for a hotel on the 2.12-acre subject property. This ordinance also granted the hotel the ability to extend the height of the structure above 36-feet, which is the maximum height permitted in the Scenic Overlay (SOV) District without a Specific Use Permit (SUP).
- On September 11, 2018, the Planning and Zoning Commission approved the site plan, and recommended approval of the variances, waivers, and exceptions associated with the construction of the hotel to the City Council. On September 17, 2018, the City Council approved the associated variances, waivers, and exceptions requested by the applicant.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 5, Block A, Harbor Village Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number SP2019-013	Owner CITY, OF ROCKWALL	Applied 5/13/2019	LM
Project Name Freestanding Commercial Antenna	Applicant BAUMAN CONSULTANTS FOR ECO-SITE	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	

Site Address 991 W YELLOW JACKET LN	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	11		11	0065-0000-0011-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/13/2019	5/20/2019	5/21/2019	8	APPROVED	
ENGINEERING (5/24/2019 11:07 AM SH) - How is water getting to the site for irrigation? - Impact fees will apply for any new taps. - Show/label detention area or add in a note. - Easements to be 20' wide minimum.	Sarah Hager	5/13/2019	5/20/2019	5/24/2019	11	COMMENTS	
FIRE	Ariana Hargrove	5/13/2019	5/20/2019	5/23/2019	10	APPROVED	
GIS (5/22/2019 12:09 PM LS) Address will be: 991 W YELLOW JACKET LN, ROCKWALL, TX 75087	Lance Singleton	5/13/2019	5/20/2019	5/22/2019	9	APPROVED	See comment
Parks Department	Andy Hesser	5/23/2019	5/30/2019				
PLANNING	David Gonzales	5/13/2019	5/20/2019	5/23/2019	10	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Discuss and consider a request by Bill Bauman of Bauman Consultants on behalf of John Gatz of Eco-Site for the approval of a site plan for a Freestanding Commercial Antenna on a 0.0826-acre portion of a larger 7.64-acre tract of land, known as Yellow Jacket Park, identified as Tract 11 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated on the south side of Yellow Jacket Lane, west of the intersection of S. Goliad Street [SH-205] and Yellow Jacket Lane, and take any action necessary.</p> <p>PLANNING AND ZONING 1ST ROUND COMMENTS (05.23.2019):</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday June 4, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>** Planning Department General Comments & Requirements to address/acknowledge:</p> <ol style="list-style-type: none"> 1. Adherence to the requirements of the SUP [Ordinance No. 18-49, SUP S-198], the Unified Development Code (UDC), and the Planning, Building Inspections, Engineering and Fire Department standards shall be required 2. Submittal and approval of a Civil Engineering Plans and a Building Permit are required 3. Label all revised site plan documents with "Case No. SP2019-013" at the lower right corner of each plan. 4. Parking lot to be constructed prior to the installation of the communications tower per the SUP Ordinance <p>** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> 1. Provide adjacent property owner information on site plan 2. Delineate and label 24-ft firelane easement as "24-ft Firelane, Public Access, Drainage and Utility Easements (as appropriate for site). 3. Use a lighter scale line drawings to better depict site plan elements (i.e. lines are too heavy) on overall site plan. 4. Provide more detail on site plan (i.e. parking area measurements, easement lines, landscape buffers, etc.). 5. Remove label on site plan indicating the removal of existing trees. No trees are to be removed without first obtaining a permit through the Parks and Recreation Department. 6. Provide an enlarged site plan for the parking lot area to be constructed <p>Landscape Plan:</p> <ol style="list-style-type: none"> 1. Indicate wrought iron fence as a minimum 8-ft in height. 2. Nelly R Stevens are to be a minimum of 4-ft in height when planted. 12 to 24 inches will not be acceptable, does not provide the necessary immediate screening. <p>Photometric Plan:</p> <ol style="list-style-type: none"> 1. Will there be any exterior lighting added to this site? If so, provide cut sheets for all exterior lighting fixtures <p>Building Elevations:</p> <ol style="list-style-type: none"> 1. Provide elevations/drawings/cutsheets of the cabinets being used to house the equipment. <p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745.</p>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Meeting Dates to Attend						
Architectural Review Board: May 28, 2019 (5:00 p.m.) [Recommendations from ARB]						
Planning - Work Session: May 28, 2019 (6:00p.m.) [Applicant to present/discuss project]						
Architectural Review Board: June 11, 2019 (5:00 p.m.) [Subsequent meeting if necessary]						
Planning - Action: June 11, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						
** IF REQUIRED -- City Council - Action: Monday, June 17, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **						

PROJECT INFORMATION:

**YELLOWJACKET PARK
TX-0274
T-MOBILE: DA02390A**

995 W YELLOW JACKET LN
ROCKWALL, TX 75087
T1801313

CURRENT ISSUE DATE:

11/07/18

ISSUED FOR:

ZONING DRAWINGS

REV. DATE ISSUED FOR BY:

A	08/16/18	ZONING FOR REVIEW	CSM
B	08/23/18	ZONING DRAWINGS	CSM
0	08/27/18	ZONING DRAWINGS	CSM
1	11/05/18	ZONING DRAWINGS	CSM
2	11/07/18	ZONING DRAWINGS	CSM

CONSULTANT:

WT
**W-T COMMUNICATION
DESIGN GROUP, LLC.**
WIRELESS INFRASTRUCTURE
6230 N. BELTLINE RD., STE. 325
IRVING, TX 75063
PH: (214) 384-0744
www.wtengineering.com

Texas Firm Registration No.: F-11754 Exp: 09/30/17
COPYRIGHT © 2017 W-T COMMUNICATION DESIGN GROUP, LLC.

DRAWN BY: CHK: APV:

CSM	AG	LAF
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LICENSER:

JEFFERY S. GUTOWSKY
PROFESSIONAL ENGINEER
STATE OF TEXAS
LICENSE # PE106604
EXPIRES: 06/30/2019 SIGNED: 11/07/2018

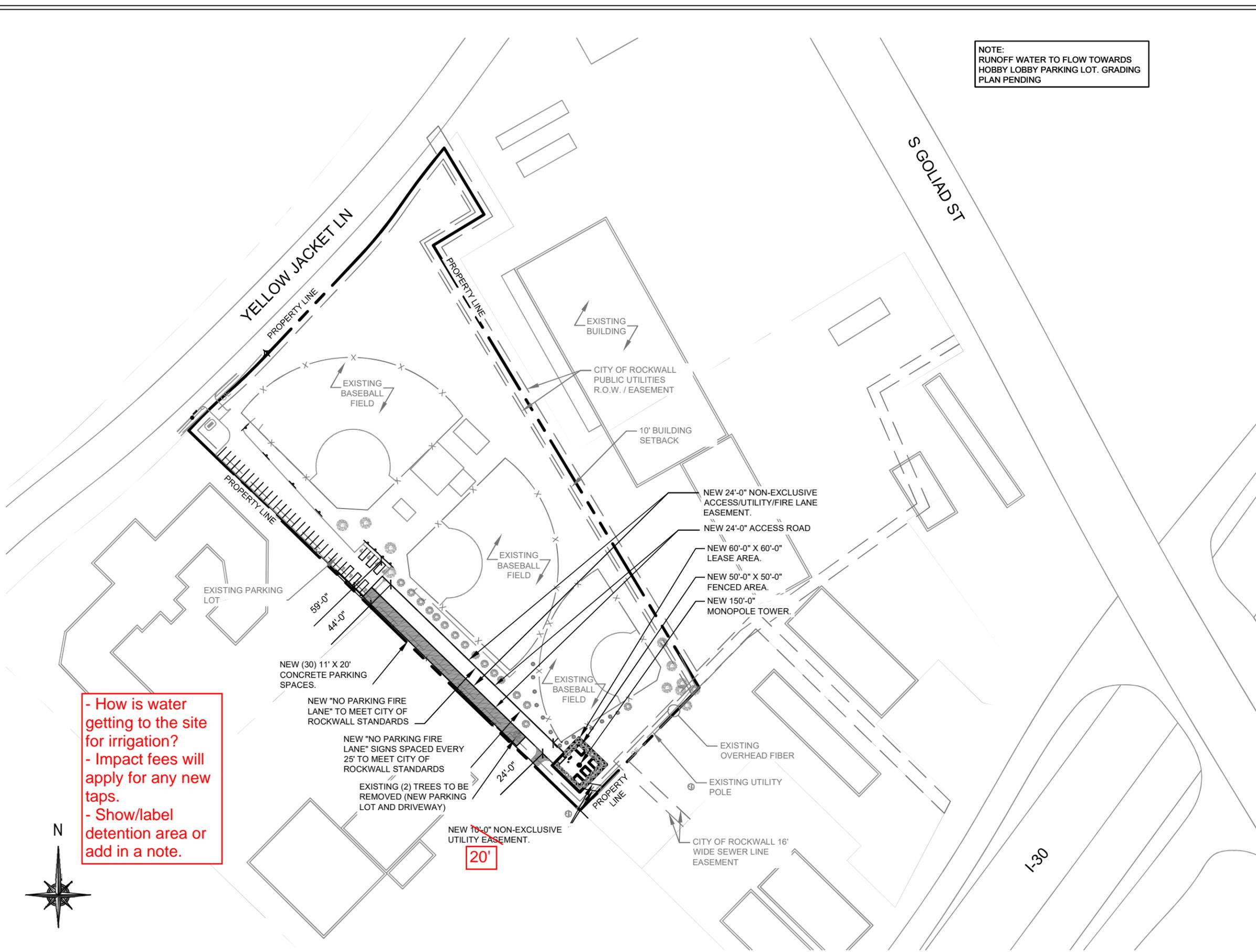
SHEET TITLE:

**OVERALL SITE
PLAN**

SHEET NUMBER: REVISION:

Z-1	3
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NOTE:
RUNOFF WATER TO FLOW TOWARDS
HOBBY LOBBY PARKING LOT. GRADING
PLAN PENDING



CITY OF ROCKWALL CASE NUMBER	OVERALL SITE PLAN	1
Z2018-045	SCALE: 1" = 150'-0"	

PROJECT INFORMATION:

YELLOWJACKET PARK
TX-0274
T-MOBILE: DA02390A

995 W YELLOW JACKET LN
ROCKWALL, TX 75087
T1801313

CURRENT ISSUE DATE:

11/07/18

ISSUED FOR:

ZONING DRAWINGS

REV. DATE ISSUED FOR BY:

A	08/16/18	ZONING FOR REVIEW	CSM
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0	08/27/18	ZONING DRAWINGS	CSM
1	11/05/18	ZONING DRAWINGS	CSM
2	11/07/18	ZONING DRAWINGS	CSM

CONSULTANT:



**W-T COMMUNICATION
DESIGN GROUP, LLC.**
WIRELESS INFRASTRUCTURE

6230 N. BELTLINE RD., STE. 325
IRVING, TX 75063
PH: (214) 384-0744
www.wtengineering.com

Texas Firm Registration No.: F-11754 Exp: 09/30/17

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DRAWN BY: CHK: APV:

CSM AG LAF

LICENSER:

JEFFERY S. GUTOWSKY
PROFESSIONAL ENGINEER
STATE OF TEXAS
LICENSE # PE106604

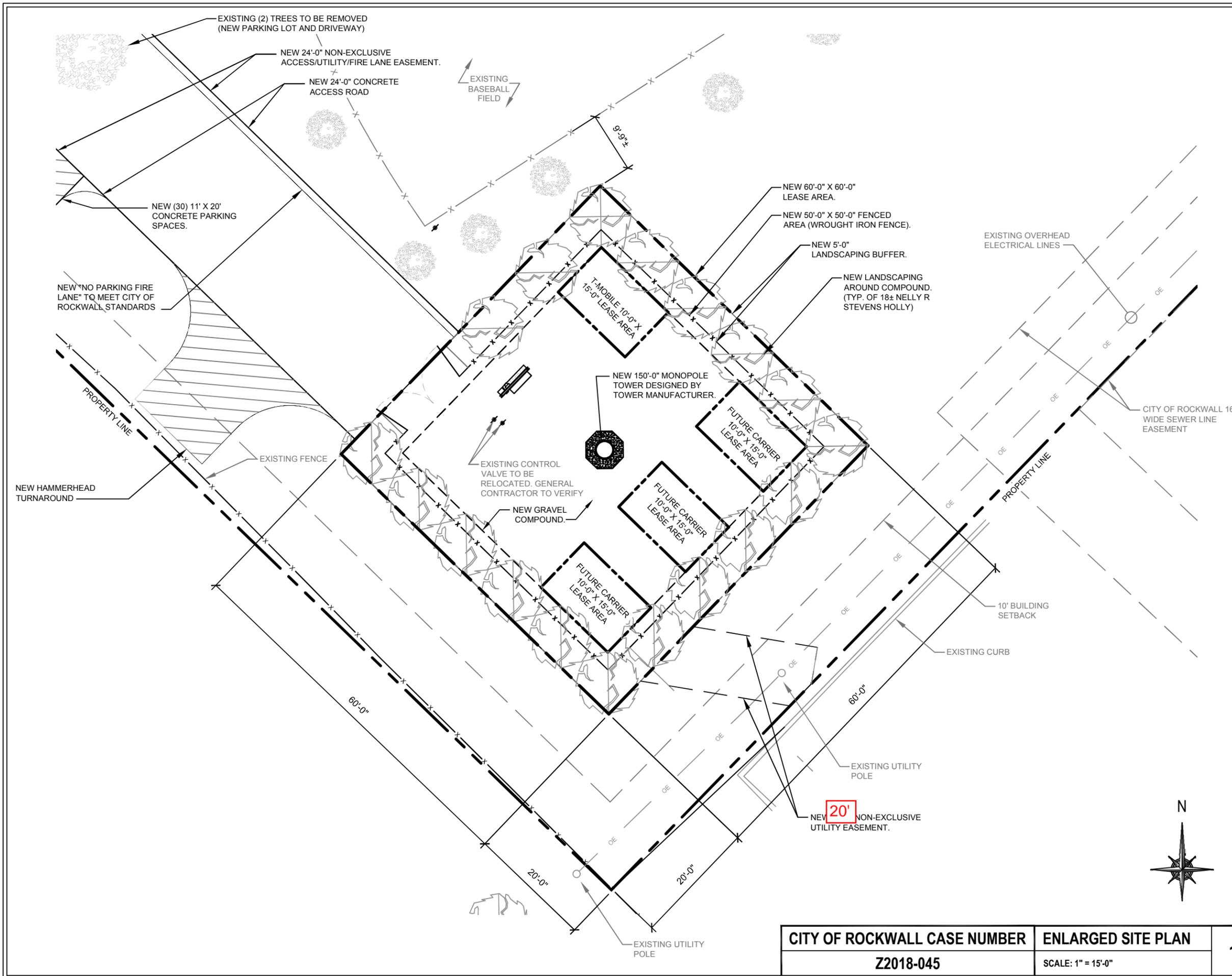
EXPIRES: 06/30/2019 SIGNED: 11/07/2018

SHEET TITLE:

**ENLARGED
SITE PLAN**

SHEET NUMBER: REVISION:

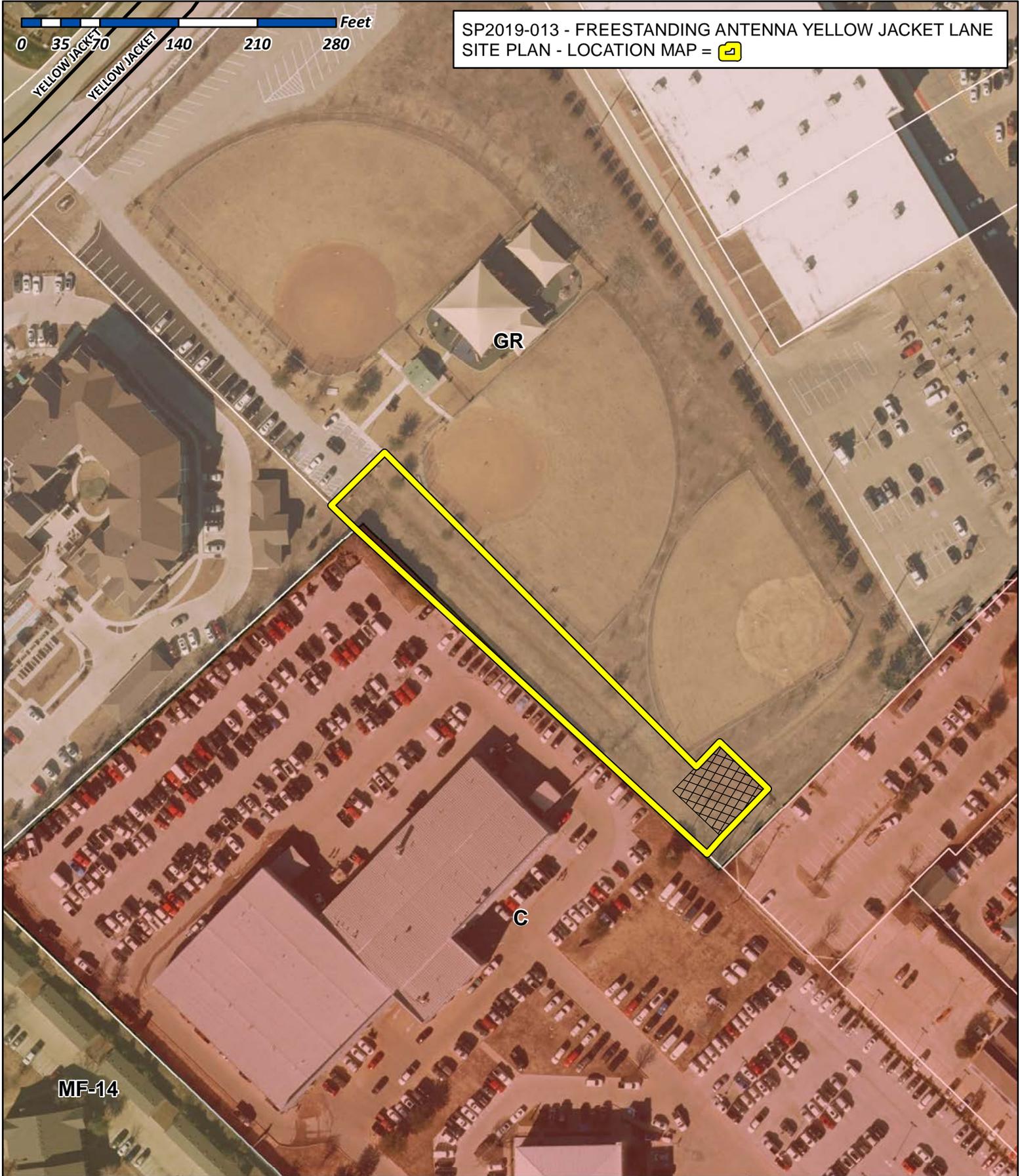
Z-2 **3**



CITY OF ROCKWALL CASE NUMBER	ENLARGED SITE PLAN	1
Z2018-045	SCALE: 1" = 15'-0"	

0 35 70 140 210 280 Feet

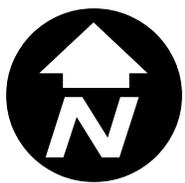
SP2019-013 - FREESTANDING ANTENNA YELLOW JACKET LANE
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PROJECT INFORMATION:

**YELLOWJACKET PARK
TX-0274
T-MOBILE: DA02390A**

995 W YELLOW JACKET LN
ROCKWALL, TX 75087
T1801313

CURRENT ISSUE DATE:

11/07/18

ISSUED FOR:

ZONING DRAWINGS

REV. DATE: ISSUED FOR: BY:

A	08/16/18	ZONING FOR REVIEW	CSM
B	08/23/18	ZONING DRAWINGS	CSM
0	08/27/18	ZONING DRAWINGS	CSM
1	11/05/18	ZONING DRAWINGS	CSM
2	11/07/18	ZONING DRAWINGS	CSM

CONSULTANT:

W-T
**W-T COMMUNICATION
DESIGN GROUP, LLC.**
WIRELESS INFRASTRUCTURE
6230 N. BELTLINE RD., STE. 325
IRVING, TX 75063
PH: (214) 384-0744
www.wtengineering.com

Texas Firm Registration No.: F-11754 Exp: 09/30/17
COPYRIGHT © 2017 W-T COMMUNICATION DESIGN GROUP, LLC.

DRAWN BY: CHK: APV:

CSM	AG	LAF
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LICENSER:

JEFFERY S. GUTOWSKY
PROFESSIONAL ENGINEER
STATE OF TEXAS
LICENSE # PE106604
EXPIRES: 06/30/2019 SIGNED: 11/07/2018

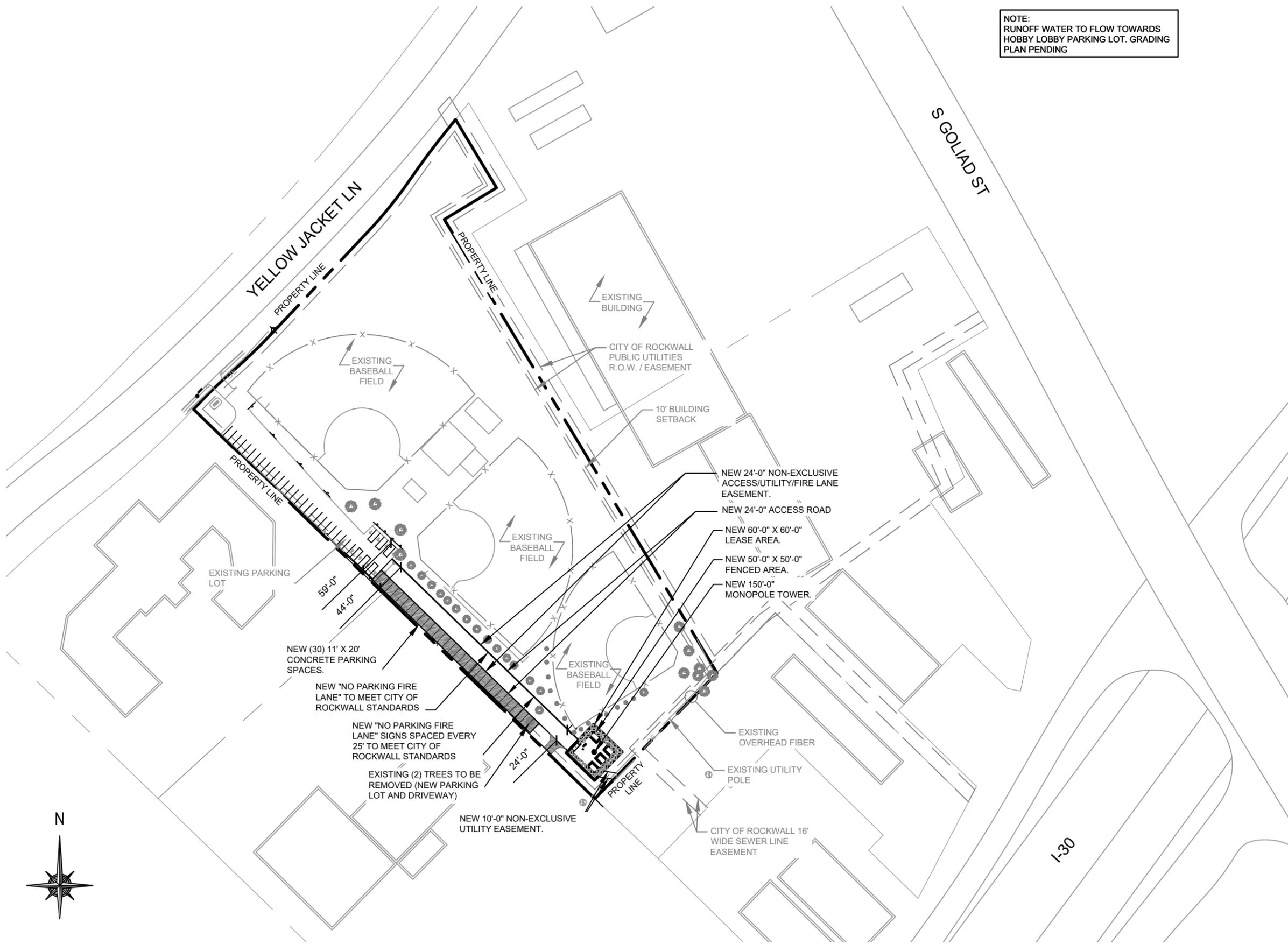
SHEET TITLE:

**OVERALL SITE
PLAN**

SHEET NUMBER: REVISION:

Z-1	3
------------	----------

NOTE:
RUNOFF WATER TO FLOW TOWARDS
HOBBY LOBBY PARKING LOT. GRADING
PLAN PENDING



CITY OF ROCKWALL CASE NUMBER	OVERALL SITE PLAN	1
Z2018-045	SCALE: 1" = 150'-0"	

PROJECT INFORMATION:

**YELLOWJACKET PARK
TX-0274
T-MOBILE: DA02390A**

995 W YELLOW JACKET LN
ROCKWALL, TX 75087
T1801313

CURRENT ISSUE DATE:

11/07/18

ISSUED FOR:

ZONING DRAWINGS

REV: DATE: ISSUED FOR: BY:

A	08/16/18	ZONING FOR REVIEW	CSM
B	08/23/18	ZONING DRAWINGS	CSM
0	08/27/18	ZONING DRAWINGS	CSM
1	11/05/18	ZONING DRAWINGS	CSM
2	11/07/18	ZONING DRAWINGS	CSM

CONSULTANT:



**W-T COMMUNICATION
DESIGN GROUP, LLC.**
WIRELESS INFRASTRUCTURE

6230 N. BELTLINE RD., STE. 325
IRVING, TX 75063
PH: (214) 384-0744
www.wtengineering.com

Texas Firm Registration No.: F-11754 Exp: 09/30/17

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DRAWN BY: CHK: APV:

CSM	AG	LAF
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LICENSER:

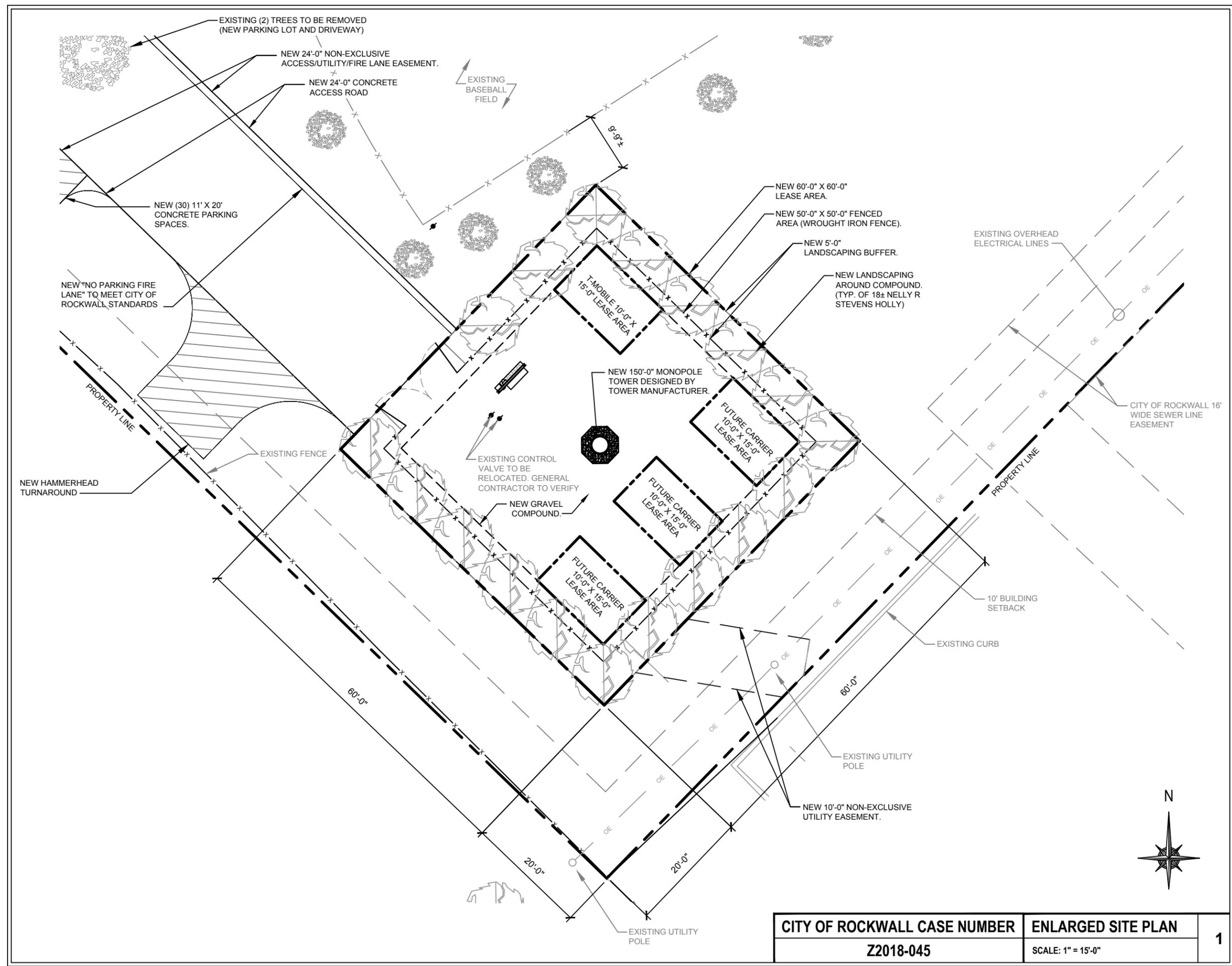
JEFFERY S. GUTOWSKY
PROFESSIONAL ENGINEER
STATE OF TEXAS
LICENSE # PE106604
EXPIRES: 06/30/2019 SIGNED: 11/07/2018

SHEET TITLE:

**ENLARGED
SITE PLAN**

SHEET NUMBER: REVISION:

Z-2	3
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CITY OF ROCKWALL CASE NUMBER Z2018-045	ENLARGED SITE PLAN SCALE: 1" = 15'-0"	1
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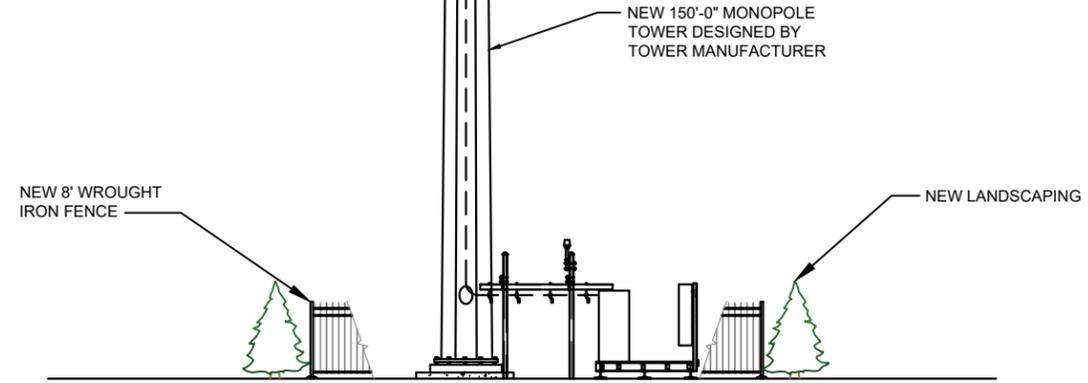
NOTE:
 W-T'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS AND EQUIPMENT SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA OR EQUIPMENT INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS & HARDWARE SHALL BE PERFORMED.

- TOP OF LIGHTNING ROD
±160'-0" AGL
- TOP OF NEW MONOPOLE
±150'-0" AGL
- NEW T-MOBILE ANTENNA RAD CENTER
±150'-0" AGL

- FUTURE ANTENNA RAD CENTER
±140'-0" AGL

- FUTURE ANTENNA RAD CENTER
±130'-0" AGL

- FUTURE ANTENNA RAD CENTER
±120'-0" AGL



CITY OF ROCKWALL CASE NUMBER	ELEVATION	1
Z2018-045	SCALE: 1" = 15'-0"	

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DRAWN BY:	CHK:	APV:
CSM	AG	LAF

LICENSER:

 JEFFERY S. GUTOWSKY
 PROFESSIONAL ENGINEER
 STATE OF TEXAS
 LICENSE # PE106604
 EXPIRES: 06/30/2019 SIGNED: 11/07/2018

SHEET TITLE:
TOWER
ELEVATION

SHEET NUMBER:	REVISION:
Z-3	3

PROJECT INFORMATION:

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TX-0274
T-MOBILE: DA02390A

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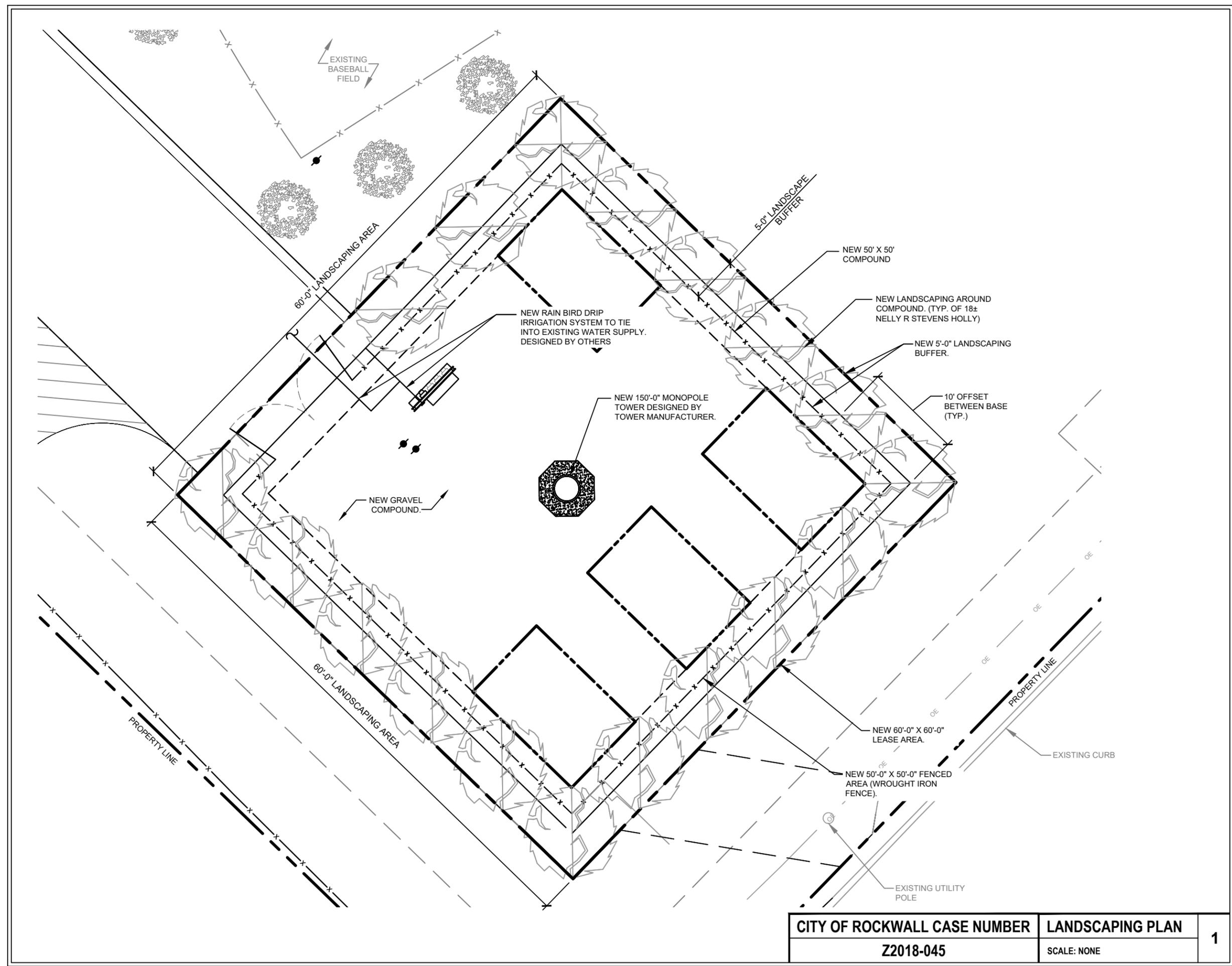
JEFFERY S. GUTOWSKY
PROFESSIONAL ENGINEER
STATE OF TEXAS
LICENSE # PE106604
EXPIRES: 06/30/2019 SIGNED: 11/07/2018

SHEET TITLE:

LANDSCAPING PLAN

SHEET NUMBER: REVISION:

L-1	3
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CITY OF ROCKWALL CASE NUMBER	LANDSCAPING PLAN	1
Z2018-045	SCALE: NONE	

LANDSCAPING GENERAL NOTES:

ALL PLACEMENT OF LANDSCAPING SHALL MEET THE FOLLOWING CONDITIONS:

1. ALL PLANT MATERIAL SHALL BE PLANTED IN A MANNER WHICH IS NOT TO INTERFERE WITH OVERHEAD WIRES OR BE INTRUSIVE TO UTILITIES OR PAVEMENT.
2. NO TREES OR OTHER LANDSCAPING SHALL BE LOCATED CLOSER THAN 10 FEET TO A FIRE HYDRANT OR OTHER ABOVE GROUND UTILITIES.
3. NO LANDSCAPING SHALL INTERFERE WITH SITE REQUIREMENTS FOR SAFE INGRESS AND EGRESS.

INSTALLATION STANDARDS:

1. PLANT MATERIAL SHALL CONFORM WITH THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
2. ALL PLANT MATERIAL SHALL BE INSTALLED FREE OF DISEASE AND IN A MANNER THAT ENSURES THE AVAILABILITY OF SUFFICIENT SOIL AND WATER TO SUSTAIN HEALTHY GROWTH.
3. ALL TAGS, WIRES, PLASTIC TIES AND ROPE SHALL BE CUT FROM EACH TREE TO PREVENT GIRDLING OF THE TREE. THE BURLAP SHALL BE PULLED BACK FROM THE UPPER THIRD OF THE ROOTBALL. IF A PLASTIC 'BURLAP' IS USED, IT SHALL BE REMOVED IN ITS ENTIRETY FROM THE ROOTBALL.
4. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF DEPTH OF THREE (3) INCHES OF MULCHED MATERIAL AND A DIAMETER OF THREE (3) FEET AROUND THE BASE OF THE TREE.
5. TREES SHALL BE STAKED WITH POSTS AND NOT STAKES IN AREAS OF HIGH WIND FOR ONE TO THREE YEARS TO ALLOW THE GROWTH OF PROPOSED ROOTS TO STABILIZE. ALL ROPES SHALL BE COVERED TO PREVENT CUTTING INTO THE BARK.
6. ANY EXCESS SOIL, CLAY, OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PLANTING SITE, PRIOR TO PLANTING OF INDIVIDUAL TREES AT FINAL GRADE.
7. THE JURISDICTION, AT ITS DISCRETION, HAS THE RIGHT TO RETAIN A PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST TO REVIEW SUBMITTED LANDSCAPE PLAN AND THE PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST WILL SUBMIT A WRITTEN REPORT TO THE PLANNING AND ZONING COMMISSION. ALL EXPENSES INCURRED BY THE JURISDICTION FOR THE USE OF THE LANDSCAPE ARCHITECT OR ARBORIST SHALL BE REIMBURSED BY THE DEVELOPER.

PLANTING SEASONS:

1. PLANTS MUST BE PLANTED DURING THE FOLLOWING DATES: APRIL 1ST TO MAY 15TH AND SEPTEMBER 1ST TO OCTOBER 1ST.
2. THE PLANTING PERIODS INDICATED MAY BE EXTENDED DUE TO WEATHER CONDITIONS OR OTHER FACTORS, WHICH MUST BE APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER.
3. THE CONTRACTOR WILL BE RELIEVED FOR HIS GUARANTEE RESPONSIBILITY SHOULD THE OWNER REQUIRE PLANT MATERIAL INSTALLATIONS TO BE COMPLETED DURING OTHER TIMES THAN THE PLANTING PERIODS INDICATED.

PLANTING:

1. ALL SHADE TREES, ORNAMENTAL TREES, EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN HOLES EXCAVATED AT LEAST 3x THE WIDTH OF THE DIAMETER OF THE BALL OR CONTAINER AND DEEP ENOUGH SO THAT THE TOP OF THE BALL OR SOIL IN THE CONTAINER IS AT OR JUST ABOVE EXISTING GRADE.
2. ALL TWINE OR ROPE MUST BE CUT AND REMOVED AND THE BURLAP FOLDED AWAY FROM THE TOP OF THE BALL. THE EXCAVATION MUST BE BACKFILLED WITH THE PLANTING MIXTURE AND WATERED. ANY SETTLEMENT WILL BE FILLED WITH PLANTING MIXTURE.
3. A 4" DEEP SAUCER, SIMILAR TO THE DIAMETER OF THE PLANTING HOLE SHALL BE CREATED USING PLANTING MIX.
4. PLANTING MIX TO CONSIST OF 1/3 TOP SOIL, 1/3 SOIL FROM EXCAVATION, AND 1/3 MUSHROOM COMPOST (OR 1/3 PEAT MOSS).

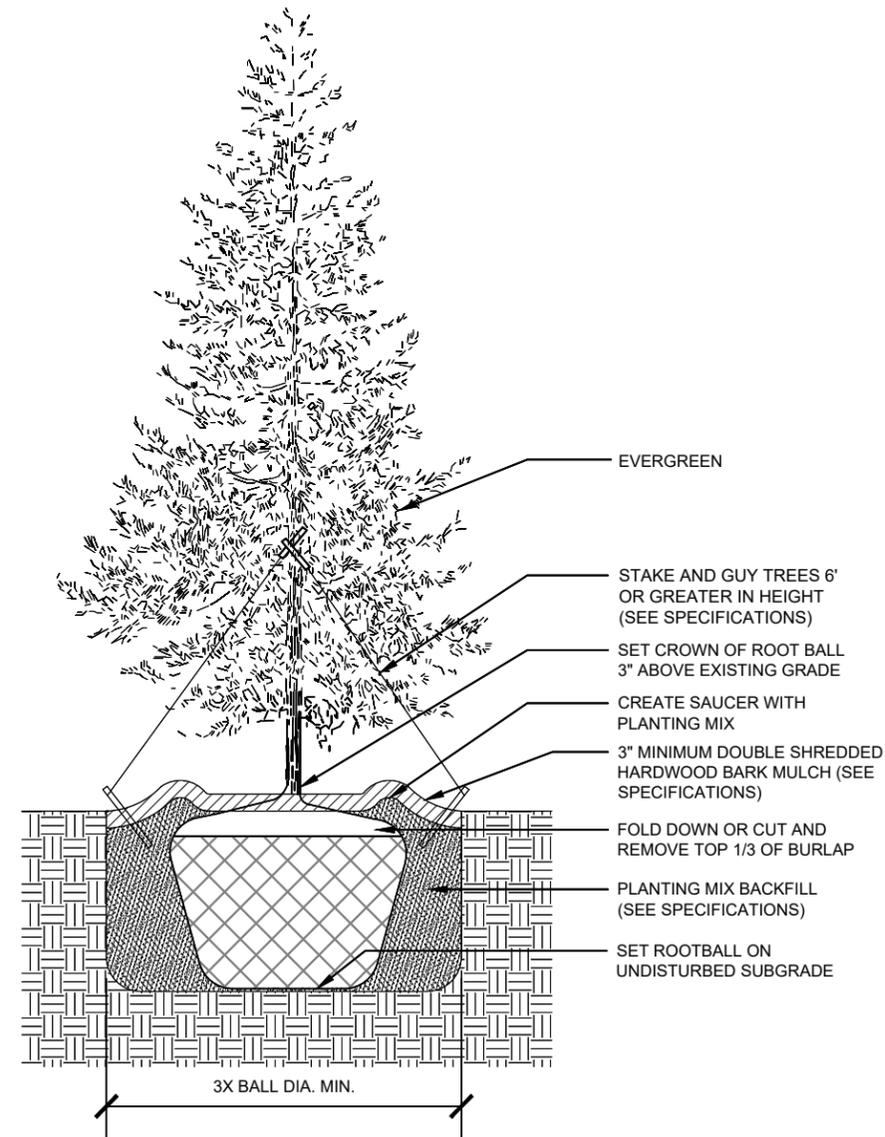
CLEAN UP:

1. ALL DEBRIS GENERATED DURING THE INSTALLATION OF PLANT MATERIALS MUST BE REMOVED FROM THE SITE.
2. ALL PAVEMENTS AND WALKS MUST BE SWEEPED AFTER EACH DAYS WORK. UPON COMPLETION OF THE WORK, ALL PAVEMENTS MUST BE WASHED TO REMOVE ALL MUD OR DIRT.

LANDSCAPE CHART

QTY.	COMMON NAME	HT. AT INSTALL	SPACING	ROOTBALL	OVERALL PROJECTED WIDTH
18	NELLY R. STEVENS HOLLY	12"-24"	10'-0" O.C. MIN	B/B	10'-0"

NOTE:
ALL MATERIALS SURROUNDING THE TREE ROOT BALL, INCLUDING WIRING, ARE TO BE REMOVED PRIOR TO PLANTING OF TREES.



LANDSCAPING NOTES	1
SCALE: NONE	

CITY OF ROCKWALL CASE NUMBER	LANDSCAPING DETAILS	2
Z2018-045	SCALE: NONE	



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JEFFERY S. GUTOWSKY
PROFESSIONAL ENGINEER
STATE OF TEXAS
LICENSE # PE106604
EXPIRES: 06/30/2019 SIGNED: 11/07/2018

SHEET TITLE:
LANDSCAPING DETAILS / NOTES

SHEET NUMBER:	REVISION:
L-2	3

City of Rockwall Project Plan Review History



Project Number SP2019-014	Owner PEACE & MERCY, CENTERS FOR	Applied 5/14/2019	LM
Project Name Retail shopping/House of Worship	Applicant AHMED HELALUZZAMAN	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
 Site Address 600 TURTLE COVE DR		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision HUDSPETH	Tract 22	Block	Lot No 22
			Parcel No 0064-0000-0022-00-0R
			General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/14/2019	5/21/2019	5/21/2019	7	APPROVED	
ENGINEERING	Sarah Hager	5/14/2019	5/21/2019	5/24/2019	10	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(5/24/2019 1:31 PM SH)							
<ul style="list-style-type: none"> - Must show the location of the NTMWD force main. - Water line to be centered in a 20' easement. - No structures in easements. - One way back drive is not allowed. If you wish to have this access, it will need to be 24' minimum. - Dumpster to drain to an oil/water separator and then to the storm lines. - Parking to be 20' x 9'. - 10' spacing for fire line to all other lines. - Hydrant to have 5' of clearance behind the curb. - What are these two extra wide parking spaces? or landscaping? - Detention needs to be in an easement and no structures are allowed in easements. 							
The following are for your information for engineering design.							
<ul style="list-style-type: none"> - 4% Engineering Inspection Fees - Impact Fees - Drainage release into railroad right-of-way will require railroad approval - Detention is required - No utilities allowed in detention easement - Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems - Minimum utility easement width is 20' - Label distances between driveways (measured from edge to edge) - All parking to be 20'x9' - All drive aisles to be a minimum of 24' wide - No structures in easements - Max slope is 4:1 - Must loop an 8" water line to take fire protection, water service, and irrigation off of. - Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines. - Assembly use may require fire sprinkler. Check with fire department. - Must meet all engineering standards 							
(5/24/2019 1:38 PM SH)							
- Walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls.							
FIRE	Ariana Hargrove	5/14/2019	5/21/2019	5/23/2019	9	APPROVED	see comment
(5/23/2019 1:26 PM AA)							
An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.							
GIS	Lance Singleton	5/14/2019	5/21/2019	5/22/2019	8	APPROVED	See comments
(5/22/2019 9:52 AM LS)							
Shell address will be 600 TURTLE CREEK BLVD, ROCKWALL, TX 75087							
*Any suite numbers should follow a 101 103 105... seperation scheme (from South to North) to allow for future unexpected demising walls. Each suite will be confirmed at its permitting.							

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	Korey Brooks	5/14/2019	5/21/2019	5/23/2019	9 COMMENTS	Comments
<p>SP2019-014 Site Plan for Retail Shopping Center and House of Worship: Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <ol style="list-style-type: none"> 1. This is a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740]. 2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. 3. For reference, include the case number (SP2019-014) in the lower right hand corner of all pages on future submittals. 4. Sheet No. A001—This sheet is not reviewed—For reference only. Please incorporate Legend and Contact Information on remaining drawings (if not provided). 5. Please provide Site Data Table (named Project Data Table on the sheet) on all sheets. Please add parking data and the breakdown of worship/retail SF from Code Table. Also provide pervious vs. imperious SF and percentage. Please add lot coverage SF and %. Please add zoning district and overlay district. Please add % of required landscaping and % of provided. 6. Sheet No. A101—This sheet doesn't seem to be necessary. The site plan on sheet C1 is the type of site plan that is needed. Please transfer site data table to remaining sheets. 7. Sheet C-1—Please note that in overlay district the dumpster screening is 8-feet, materials matching the main structure, with self-latching opaque gate. 8. Sheet C-1—There is a large amount of information on this sheet. Please greyscale topo and utilities. 9. Sheet C-1—Since there is large amount of lines on this page, could the firelane change from a hatch pattern to a solid grey? Show any remaining pavement, including sidewalks as a different shade of grey. 10. Sheet C-1—There is a reference to a “water easement by this plat” on the building footprint. Please remove along with any other plat references (e.g. the references to state plane coordinates). The plat will be taken care of at a later time. 11. Sheet C-1—Please use varying line weights and types to provide clearer differentiation. Also provide those changes in the legend. There are several items that use the same linetype. 12. Sheet C-1—Please show all proposed easements and extend of detention. 13. Sheet C-1—Please greyscale information on adjacent sites (i.e. any information that is not on your lots). 14. Sheet C-1—Please remove water meter schedule. 15. Sheet C-1—Please note that parking is 9x20. 16. Sheet C-1—Please revise access easements to “Public Access” instead of “Mutual” 17. Sheet C-1—Please remove symbols for IRF/similar 18. Sheet C-1—Please show division of worship area vs retail. 19. Sheet C-1—The parking close to the RR and Turtle Cove is dead end and will probably need a turnaround to allow vehicles to back out of the space. 20. Sheet C-1—No parking space shall be more than 80-feet from a canopy tree. 21. Sheet C-1—The site plan shows three or four thick grey lines that are not labeled. Some are adjacent to the property line and one is adjacent to Turtle Cove. What are these lines? Also there are several lines in the ROW that are not labeled. Please try to label all lines. 22. Sheet C-1—Will the two lots be combined? 23. Sheet C-1—What are the two pie shaped “parking spaces” near the play area? They cannot be parking spaces; however, I cannot determine what is being shown. 24. Sheet C-1—Please note that the landscape buffer is 20-feet and the building setback is 15-feet. 25. Sheet C-1—Please provide dimensions of all walls. 26. Sheet C-1—Please provide dimensions from building to all property lines. 27. Sheet C-1—Please note that the building does not meet horizontal articulation requirements as drawn and will need a variance. Please review Commercial articulation requirements. 						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
28.	Sheet LP.01					—please dimension a typical parking space—also as noted, parking must be 9x20.
29.	Sheet LP.01					—The parking and building can be greyscaled so that the landscape plan focuses on the landscaping.
30.	Sheet LP.01					—Please note that the landscape buffer is 20-feet and the building setback is 15-feet.
31.	Sheet LP.01					—Please provide the actual footprint of the building (i.e. show any projections or recesses).
32.	Sheet LP.01					—Please provide adjacent property information as shown on C-1.
33.	Sheet LP.01					—Please darken and label property line for subject property.
34.	Sheet LP.01					—There several dashlines toward the SE of the property that are not labeled. Please label all lines, provide a variety of lineweights/types. A legend can be provided in lieu of labeling each line. As drawn, the utilities and property lines, ROW, etc. have the same line weight and type.
35.	Sheet LP.01					—There are several dark circles with a line projecting and several open circles. Please label or provide a legend.
36.	Sheet LP.01					—As on Sheet C-1, please show firelane as a shade of grey and any remaining concrete as a lighter shade of grey. Please use the stippling pattern currently being used on the firelane to show where grass will be.
37.	Sheet LP.01					—Please add site data table as mentioned above. Some of the needed information is already being provided on the sheet; however, please replace with the same data table so that all sheets have the same data table/same information.
38.	Sheet LP.01					—Please darken visibility triangles
39.	Sheet LP.01					—What are the two hatched areas at the end of the parking toward the rear of the building?
40.	Sheet LP.01					—For consistency purposes, please change title from Planting Plan to “Landscape/Treescape Plan”
41.	Sheet LP.01					—Please note that the min caliper inch for trees is 4-inches.
42.	Sheet LP.01					—Please note that headlight screening may be required along the property line adjacent to the RR.
43.	Sheet ESP					—Please removed the details of the light pole. Just show the pole from the ground up and provide height.
44.	Sheet ESP					—The Electrical Notes may not be necessary on the photometric plan; those notes seem to be needed later when the building permit is being requested. Please note that this is a “Photometric Plan” instead of an Electrical Site Plan.
45.	Sheet ESP					—Please label adjacent properties as shown on Sheet C-1.
46.	Sheet ESP					—Please remove building footprints from adjacent properties.
47.	Sheet ESP					—Please label “Future Development” phase.
48.	Sheet ESP					—Please provide a combination of lineweights and types to differentiate between the subject property and the adjacent properties. Please label property line of subject property.
49.	Sheet ESP					—please show the site (i.e. parking building, etc) as the same shade but please greyscale. In addition, please provide a larger, darker font for FC grid.
50.	Sheet ESP					—Please note, the light intensity at the property line shall be no greater that 0.2 FC. Please check photometric plan and ensure compliance.
51.	Sheet ESP					—Please note that all fixtures shall be fully shielded and pointed downward.
52.	Sheet ESP					—Please provide graphic and numeric scale, north arrow and vicinity map.
53.	Sheet ESP					—Please see above for the correct LS buffer and setback.
54.	Sheet ESP					—Please note that no light pole shall exceed 20-feet
55.	Sheet ESP					—Please provide cut sheets for fixtures.
56.	Sheet A501					—Please remove all signage.
57.	Sheet A501					—Please add cardinal direction to all elevation.
58.	Sheet A501					—Please provide height of “tower element” closest to the building material percentage on elevation 2 and the element directly below on elevation 1.
59.	Sheet A501					—Please provide site data table.60. Sheet A501—Are the tower elements flush with the façade or do they project?
61.	Sheet A501					—Please note, as shown, the building elevations will require a variance to 4-sided architecture, and vertical and horizontal articulation.
62.	Sheet A501					—Please note that all buildings shall be architecturally finished on all 4 sides with the same elements and materials.
63.	Sheet A501					—Please note that elevation 1 exceeds the max of 10% EIFS—this will require a variance.
64.	Sheet A501					—Please label the material above the window as provide type of material for awnings.
65.	Sheet A501					—Please provide elevation of dumpster enclosure.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
66. Sheet A501—Please dash-in all rooftop equipment and provide information on how it will be screened.						
67. Please label at least one set of light fixtures on each of the elevations.						
68. Sheet A501—What material is the small squares on the building elevations?						
69. Sheet A501—is the stone a natural stone?						
70. Sheet A502—Please note that the two elevations are labeled the same as the elevations on A501.						
71. Sheet A502—Please see comments from A501						
72. Sheet A502—Please note that as drawn, the rear elevation will need several variances: vertical and horizontal articulation, 4 sided architecture, 20% stone requirement.						
73. Sheet A502—There are three vertical lines drawn between the doors. What are these lines?						
74. Sheet A502—Please label the element directly on top of the brick.						
75. Sheet A502—Please note, the back of the parapets is visible. The back of the parapets will need to be finished and revised so that it is not a flat parapet (i.e. it will need to look like a “box” rather than a “panel”						
76. Sheet A502—Please provide a perspective drawing.						
77. Sheet A201—Please note that this sheet is for reference and was not reviewed or approved. That will be taken care of at time of Building Permit submission.						
78. The Architectural Review Board (ARB) meeting for this case will be held on May 28, 2019 at 5:00 p.m.						
79. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 4, 2019. The Planning and Zoning Worksession for this case will be May 28, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be June 11, 2019						

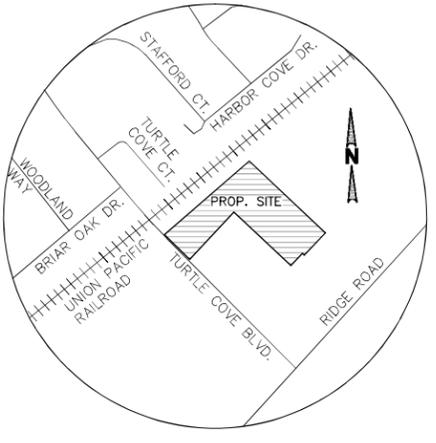
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Police Department SP2019-014 - SITE PLAN FOR RETAIL/HOUSE OF WORSHIP Considerations:	Police Department	5/24/2019	5/31/2019	5/24/2019	COMMENTS	Comments
<ul style="list-style-type: none"> Lighting placed upon all sides of the exterior the buildings, entry ways and especially controlled access gate entrances. This should illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred. Place high resolution cameras on corners of building, controlled access gate entrances, door entrances into buildings and common areas inside the business. If case is kept on sights, consider a safe room that contains a money safe with an hardened outward opening door with deadbolt and key control. Consider an internal distress alarm for the sale and limited access by management. UL appropriate safe (Money vs. Fire) Consider bollards with appropriate a at soft access points Consider mirror(s) corners and enclosed areas to reveal anyone that might be present (suspect) 						

I'm available to speak with or make recommendations on this projects. Please do hesitate to contact me for any assistance.

LEGEND

TC	EXISTING TOP OF CURB	GW	EXISTING GUY WIRE
TSW	EXISTING TOP OF SIDEWALK	S	EXISTING WATER LINE
GT	EXISTING GUTTER	SS	EXISTING SANITARY SEWER LINE
TELP	EXISTING TELEPHONE PEDESTAL	SSW	EXISTING STORM SEWER LINE
BL	EXISTING BOLLARD	CS	EXISTING CHAINLINK FENCE
INLET	EXISTING CURB INLET	G	EXISTING GAS LINE
PP	EXISTING POWER POLE	OHE	EXISTING OVERHEAD POWER LINE
WV	EXISTING WATER VALVE	675	EXISTING CONTOUR
LP	EXISTING LIGHT POST	675	PROPOSED CONTOUR
GM	EXISTING GAS METER	VAM	VISIBILITY ACCESS MAINTENANCE EASEMENT
FH	EXISTING FIRE HYDRANT		
TMH	EXISTING TELEPHONE MANHOLE		
SSMH	EXISTING SANITARY SEWER MANHOLE		
	PROPOSED STREET LIGHT		
	PROPOSED FIRE HYDRANT		

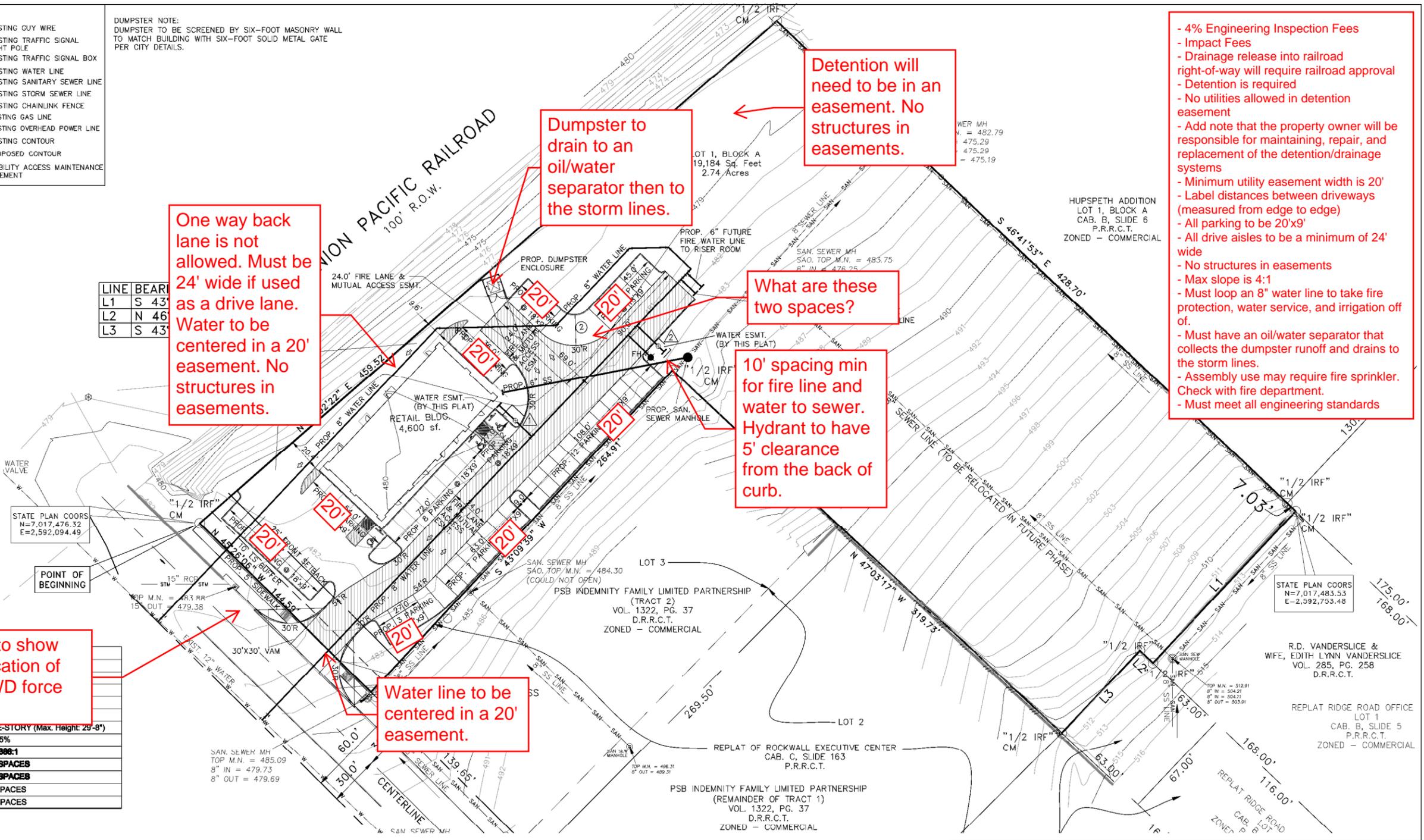
DUMPSTER NOTE:
DUMPSTER TO BE SCREENED BY SIX-FOOT MASONRY WALL TO MATCH BUILDING WITH SIX-FOOT SOLID METAL GATE PER CITY DETAILS.



VICINITY MAP N.T.S.

LINE BEAR

L1	S 43°
L2	N 46°
L3	S 43°



- 4% Engineering Inspection Fees
- Impact Fees
- Drainage release into railroad right-of-way will require railroad approval
- Detention is required
- No utilities allowed in detention easement
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems
- Minimum utility easement width is 20'
- Label distances between driveways (measured from edge to edge)
- All parking to be 20'x9'
- All drive aisles to be a minimum of 24' wide
- No structures in easements
- Max slope is 4:1
- Must loop an 8" water line to take fire protection, water service, and irrigation of.
- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.
- Assembly use may require fire sprinkler. Check with fire department.
- Must meet all engineering standards

SITE DATA SUMMARY TABLE

ITEM	
GENERAL SITE DATA	
ZONING (from zoning map)	
LAND USE (from zoning ordinance)	
LOT AREA (square feet & acres)	
PROP. BUILDING FOOT PRINT AREAS	
BUILDING HEIGHT (#Stores)	ONE-STORY (Max. Height 29'-8")
LOT COVERAGE	8.25%
FLOOR AREA RATIO	0.0988:1
PARKING REQUIRED	51 SPACES
PARKING PROVIDED	61 SPACES
ACCESSIBLE PARKING REQUIRED (# spaces)	3 SPACES
ACCESSIBLE PARKING PROVIDED (# spaces)	3 SPACES

Need to show the location of NTMWD force main.

Water line to be centered in a 20' easement.

WATER METER SCHEDULE

I.D.	TYPE	SIZE	NO.	SAN. SEWER	REMARKS
1	DOMESTIC	1.5"	1	6"	PROPOSED
2	IRRIGATION	1.0"	1	N/A	PROPOSED

OWNER
Centers for Peace & Mercy, Inc.
Contact: Abdul Latif Khan (President)
4152 Green Field Drive
Richardson, TX 75082
PH: 318-617-3491

SURVEYOR
CBG SURVEYING, LLC
Contact: Bryan Conally
12025 Shiloh Road, Suite 230
Dallas, Texas 75228
PH: 214-349-9485

CIVIL ENGINEER
ND & ASSOCIATES, LLC
Contact: Naim Khan, P.E. CFM
2105 Canyon Creek Dr.
Garland, Texas 75042
PH: 214-533-7181
E-MAIL: naim1207@yahoo.com

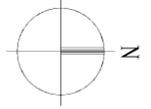
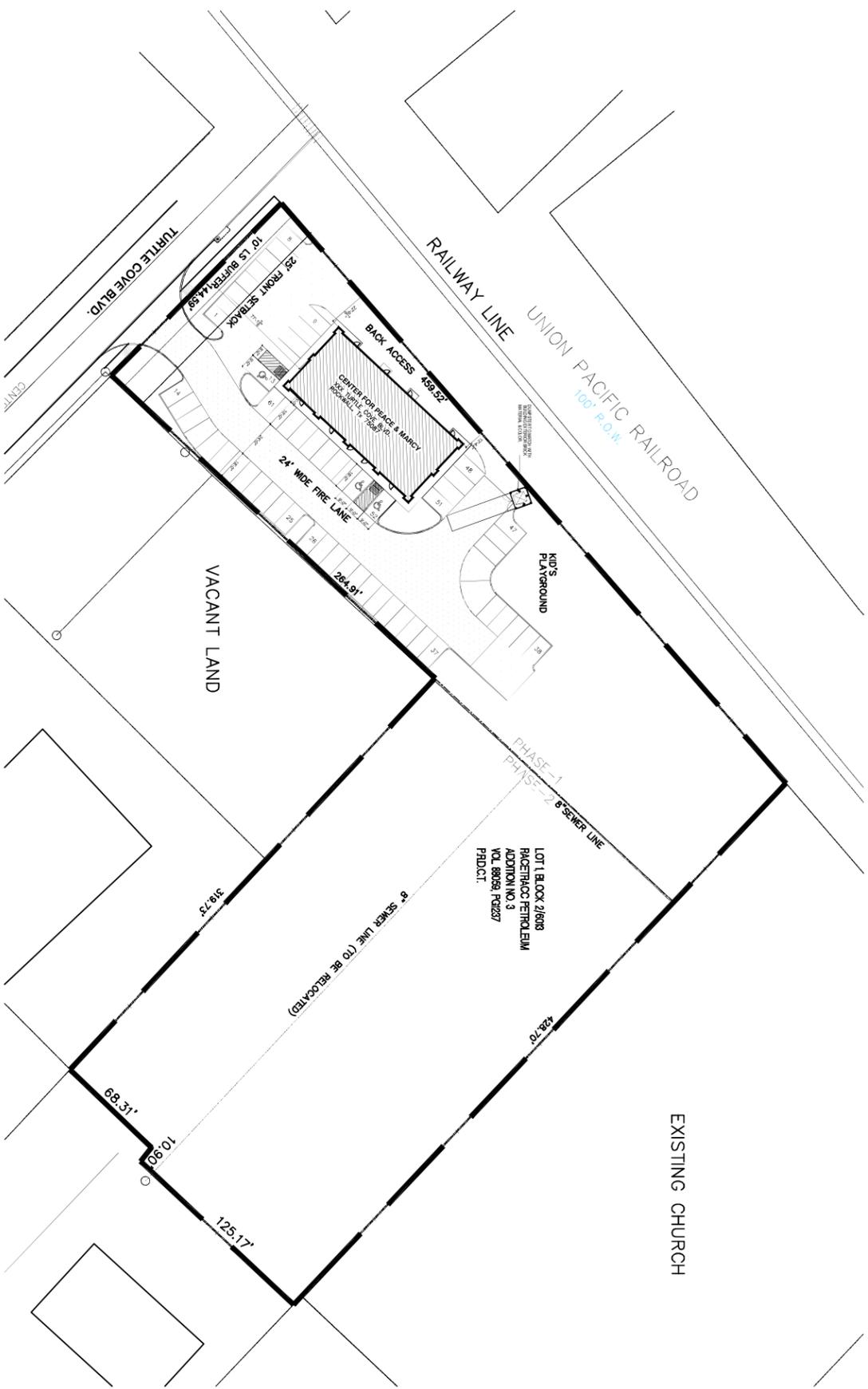
ARCHITECT
amazing concept
Contact: Ahmed Helaluzzaman
12300 Ford Road, Suite 267
Dallas, Texas 75234
PH: 817-808-0811
E-MAIL: akm.hellaluzzaman@gmail.com

LANDSCAPE ARCHITECT
ARODS LANDSCAPE
Contact: Mohammad Salam
5901 Indian Hills Drive
GARLAND, TX 75044
PH: 214-403-2034



Md. Naim Uddin Khan
04-05-19
ENGINEER NO. 87776. THESE PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF MD. NAIM UDDIN KHAN REGISTERED PROFESSIONAL ENGINEER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MD. NAIM UDDIN KHAN P.E. #87776

SITE PLAN SP 2019-		Scale: 1"=30'	
CENTERS FOR PEACE & MERCY, INC. LOT 1, BLOK A E.P. GAINES CHISUM SURVEY ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 119,184 SF/2.74 ACRES		Date : 4/5/2019	
ND & Associates, LLC 2105 Canyon Creek Drive Garland, Texas 75042 Contact: Naim Khan, P.E., CFM PH: (214) 533 7181 EMAIL: naim1207@yahoo.com FIRM # F - 13340		Design : ND	
		Draft : ND	
SITE PLAN		Checked : ND	
		PROJECT NO : ROCK2019-725	
C-1			

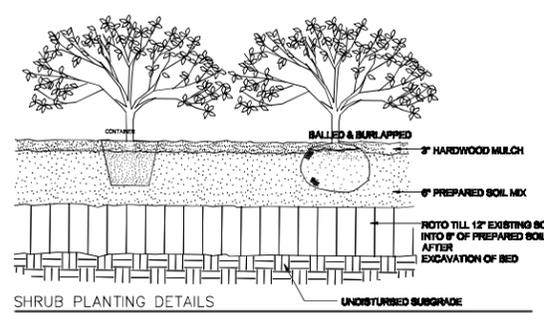


01
SITE PLAN
SCALE: 1"=40'

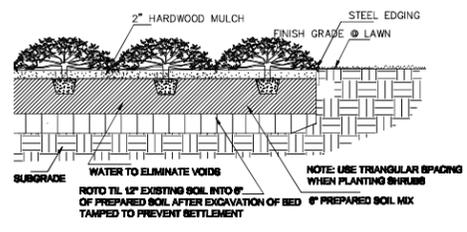
PROJECT DATA	
DESCRIPTION	
LOT AREA TOTAL	2.74 AC. (119,184 SF.)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,600 SF.
COVERED AREA PHASE-1	8.25%
FLOOR AREA RATIO	0.0386:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
PARKING REQUIRED	51 SPACES INCLUDING 3 ADA
PARKING PROVIDED	61 SPACES INCLUDING 3 ADA

See notes on previous sheet.

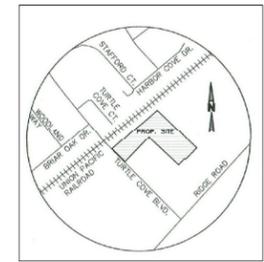
<p>amazing concept residential & commercial projects 501 Central Expressway, Suite 1100, Rockwall, TX 75087 E-mail: amazingconcept@amazingconcept.com</p>	<p>PROJECT: RETAIL BUILDING PHASE-1 XXX Turtle Cove Boulevard, Rockwall, Tx 75087</p>	<p>OWNER: CENTER FOR PEACE AND MERCY, INC. PHONE: 318-617-3491 EMAIL: Peacemercyinc@gmail.com</p>										
<p>DATE: 04.09.2019 SCALE: AS SHOWN DRAWN: A. HEALUZZMAN DESIGNER:</p>	<p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td></tr> </table>											<p>SHEET TITLE: SITE PLAN</p>
<p>PROJECT # H-2019-02 SHEET NO. A101</p>												



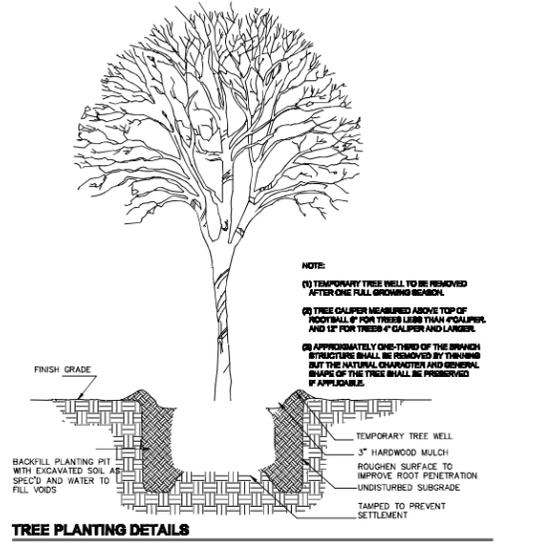
SHRUB PLANTING DETAILS NTS



GROUND COVER PLANTING DETAIL NTS



vicinity map NTS



TREE PLANTING DETAILS NTS

PLANTING NOTES

- USE 2x4 W/STEEL ENDING (PAINTED GREEN).
- USE 6\"/>

landscape area

SITE AREA: 65,700 SF. (1.276 AC.)
 LANDSCAPE AREA REQUIRED: 15% (9,855 SF.)
 PROVIDED: 43.5% (24,240 SF.)

BLDG. AREA: 4,600 SF.
 TOTAL NUMBER OF PARKING SPACES REQUIRED: 23
 SPACES PROVIDED: 82.

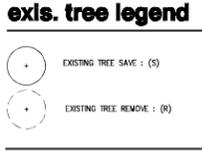
planting requirement

TURTLE COVE BLVD. LANDSCAPE BUFFER 14.00 LF.
 SHADE TREES REQUIRED: 3 (2\"/>

existing tree listing

TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24\"/>	

R = REMOVE, B-SAVE 101.8 CALINCHES TO BE MITIGATED
 REF. PLANT SCHEDULE FOR TREE LISTING.



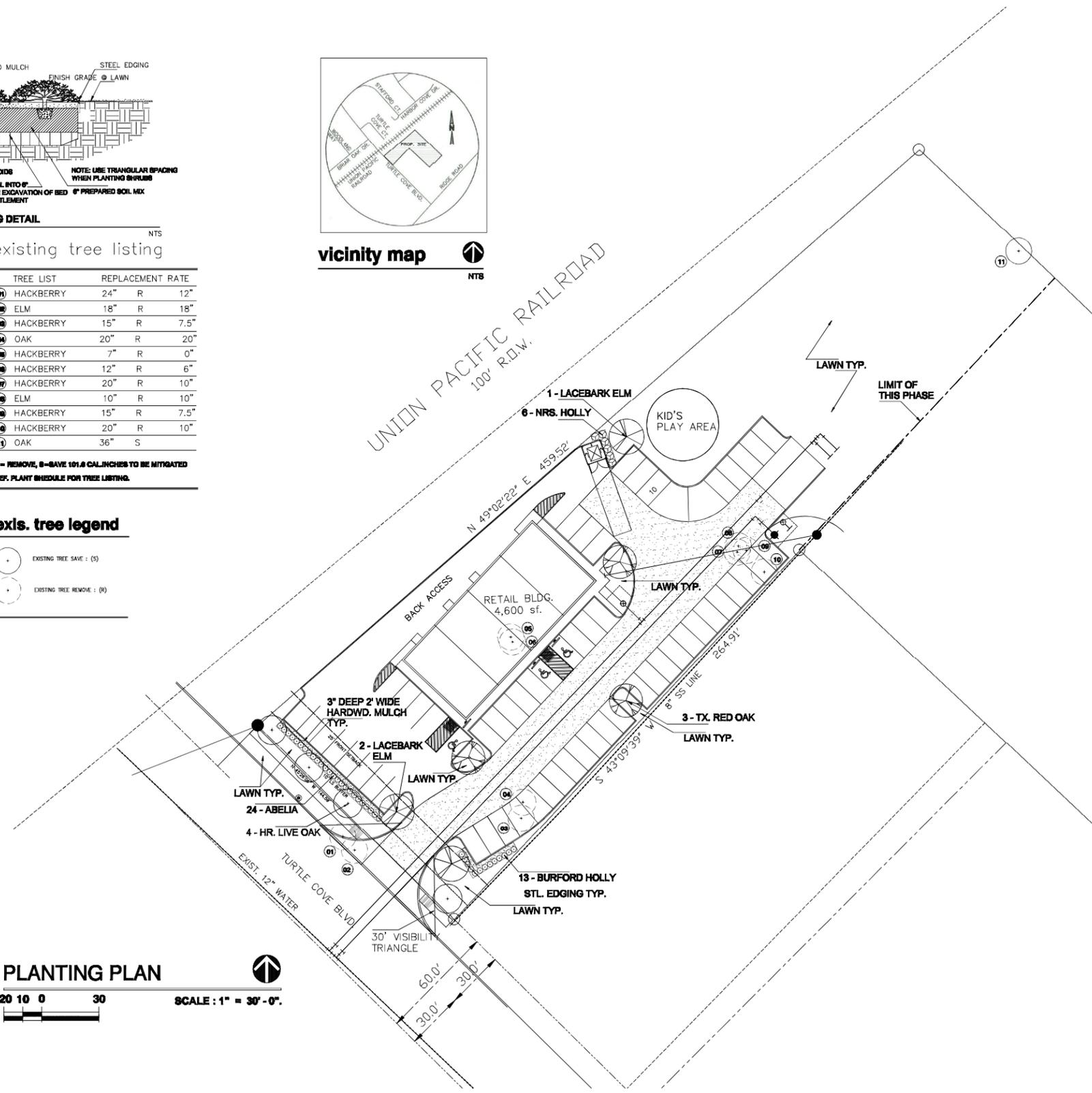
plant schedule M. ROC.

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
TREES				
3	Texas Red Oak	Quercus shumardii "Texana"	3\"/>	

Hydromulch not accepted for acceptance and final CO.

GROUNDCOVERS, & LAWN

Bermudagrass Cynodon dactylon Hydromulched



CONSULTANT:

aroids

2007 Indian Hill Drive, Spring, Texas, 75064
 Phone: 281.402.2004
 aroidscorp.com

STATE OF TEXAS
 LANDSCAPE ARCHITECT
 W. H. A. HELALUZZAMAN
 04.15.2019

OWNER:
 CENTER FOR PEACE AND MERCY, INC.
 PHONE: 318-617-3491
 EMAIL: Peacemercyinc@gmail.com

PROJECT:
 CPM MASJID (PHASE ONE)
 XXX Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

amazing concept
 residential & commercial projects
 545 Country Drive, Grapevine, Tx 76051
 Tel: (817) 808 0811
 E-mail: olm.helaluzzaman@gmail.com

SHEET TITLE:
LANDSCAPE PLAN

DATE: 02.15.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # H-2019-02	
SHEET NO: LP.01	

0 37.5 75 150 225 300 Feet

SP2019-014 - SITE PLAN FOR RETAIL/HOUSE OF WORSHIP
SITE PLAN - LOCATION MAP = 

PD-2

TURTLE COVE

RIDGE

RIDGE

WHITE HILLS

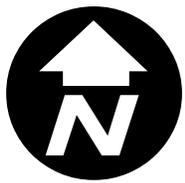
C



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

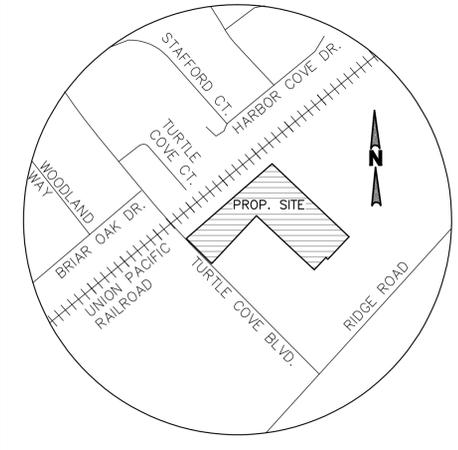
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LEGEND

TC	EXISTING TOP OF CURB	→	GW	EXISTING GUY WIRE	
TSW	EXISTING TOP OF SIDEWALK	⊗	STS	EXISTING TRAFFIC SIGNAL LIGHT POLE	
GT	EXISTING GUTTER	⊞	TSB	EXISTING TRAFFIC SIGNAL BOX	
TELP	EXISTING TELEPHONE PEDESTAL	—		EXISTING WATER LINE	
BL	EXISTING BOLLARD	—		EXISTING SANITARY SEWER LINE	
INLET	EXISTING CURB INLET	—		EXISTING STORM SEWER LINE	
PP	EXISTING POWER POLE	—		EXISTING CHAINLINK FENCE	
WV	EXISTING WATER VALVE	—		EXISTING GAS LINE	
LP	EXISTING LIGHT POST	—		EXISTING OVERHEAD POWER LINE	
GM	EXISTING GAS METER	—		EXISTING CONTOUR	
	EXISTING FIRE HYDRANT	—		PROPOSED CONTOUR	
TMH	EXISTING TELEPHONE MANHOLE	—		VAM	VISIBILITY ACCESS MAINTENANCE EASEMENT
SSMH	EXISTING SANITARY SEWER MANHOLE	—			
	PROPOSED STREET LIGHT	—			
FH	PROPOSED FIRE HYDRANT	—			

DUMPSTER NOTE:
DUMPSTER TO BE SCREENED BY SIX-FOOT MASONRY WALL TO MATCH BUILDING WITH SIX-FOOT SOLID METAL GATE PER CITY DETAILS.



**VICINITY MAP
N.T.S**

LINE	BEARING	DISTANCE
L1	S 43°15'39" W	125.17'
L2	N 46°48'20" W	10.90'
L3	S 43°28'08" W	68.31'

SITE DATA SUMMARY TABLE

ITEM	
GENERAL SITE DATA	
ZONING (from zoning map)	COMMERCIAL (C)
LAND USE (from zoning ordinance)	RETAIL
LOT AREA (square feet & acres)	119,184 SF ± (2.74 AC±)
PROP. BUILDING FOOT PRINT AREAS	4,600 S.F.
BUILDING HEIGHT (#Stores)	ONE-STORY (Max. Height: 29'-8")
LOT COVERAGE	8.25%
FLOOR AREA RATIO	0.0388:1
PARKING REQUIRED	61 SPACES
PARKING PROVIDED	61 SPACES
ACCESSIBLE PARKING REQUIRED (# spaces)	3 SPACES
ACCESSIBLE PARKING PROVIDED (# spaces)	3 SPACES

OWNER
Centers for Peace & Mercy, Inc.
Contact: Abdul Latif Khan (President)
4152 Green Field Drive
Richardson, TX 75082
PH: 318-617-3491

SURVEYOR
CBG SURVEYING, LLC
Contact: Bryan Conally
12025 Shiloh Road, Suite 230
Dallas, Texas 75228
PH: 214 349 9485

CIVIL ENGINEER
ND & ASSOCIATES, LLC
Contact: Naim Khan, P.E., CFM
2105 Canyon Creek Dr.
Garland, Texas 75042
PH: 214 533 7181
E-MAIL: naim1207@yahoo.com

ARCHITECT
amazing concept
Contact: Ahmed Helaluzzaman
12300 Ford Road, Suite 267
Dallas, Texas 75234
PH: 817 808 0811
E-MAIL: akh.helaluzzaman@gmail.com

LANDSCAPE ARCHITECT
ARODS LANDSCAPE
Contact: Mohammad Salam
5901 Indian Hills Drive
GARLAND, TX 75044
PH: 214-403-2034

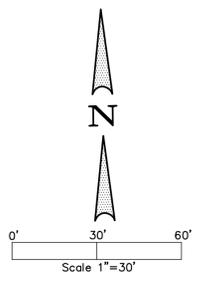
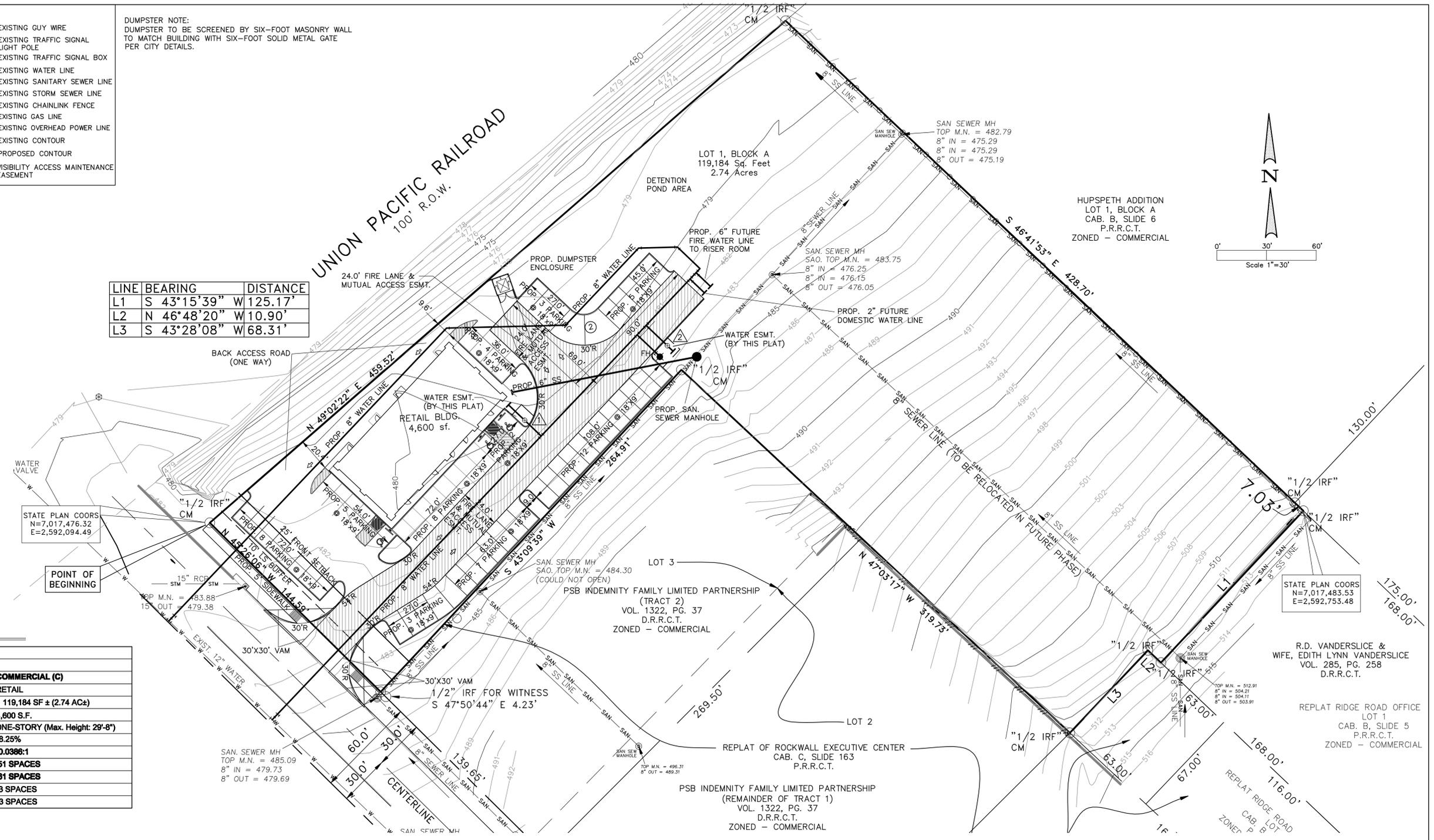
WATER METER SCHEDULE

I.D	TYPE	SIZE	NO.	SAN SEWER	REMARKS
1	DOMESTIC	1.5"	1	6"	PROPOSED
2	IRRIGATION	1.0"	1	N/A	PROPOSED



Md. Naim Uddin Khan
Md. Naim Uddin Khan
04-05-19
ENGINEER NO. 87776. THESE PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF MD. NAIM UDDIN KHAN REGISTERED PROFESSIONAL ENGINEER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MD. NAIM UDDIN KHAN P.E. #87776

SITE PLAN SP 2019-		Scale: 1"=30'	
CENTERS FOR PEACE & MERCY, INC. LOT 1, BLOK A E.P. GAINES CHISUM SURVEY ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 119,184 SF/2.74 ACRES		Date : 4/5/2019	
ND & Associates, LLC 2105 Canyon Creek Drive Garland, Texas 75042 Contact: Naim Khan, P.E., CFM PH: (214) 533 7181 EMAIL: naim1207@yahoo.com FIRM # F - 13340		Design : ND	
		Draft : ND	
SITE PLAN		Checked : ND	
		PROJECT NO : ROCK2019-725	
C-1			



HUPSPETH ADDITION
LOT 1, BLOCK A
CAB. B, SLIDE 6
P.R.R.C.T.
ZONED - COMMERCIAL

STATE PLAN COORS
N=7,017,483.53
E=2,592,753.48

R.D. VANDERSLICE &
WIFE, EDITH LYNN VANDERSLICE
VOL. 285, PG. 258
D.R.R.C.T.

REPLAT RIDGE ROAD OFFICE
LOT 1
CAB. B, SLIDE 5
P.R.R.C.T.
ZONED - COMMERCIAL

REPLAT OF ROCKWALL EXECUTIVE CENTER
CAB. C, SLIDE 163
P.R.R.C.T.

PSB INDEMNITY FAMILY LIMITED PARTNERSHIP
(REMAINDER OF TRACT 1)
VOL. 1322, PG. 37
D.R.R.C.T.
ZONED - COMMERCIAL

PSB INDEMNITY FAMILY LIMITED PARTNERSHIP
(TRACT 2)
VOL. 1322, PG. 37
D.R.R.C.T.
ZONED - COMMERCIAL

STATE PLAN COORS
N=7,017,476.32
E=2,592,094.49

POINT OF BEGINNING

WATER VALVE

BACK ACCESS ROAD
(ONE WAY)

24.0' FIRE LANE &
MUTUAL ACCESS ESMT.

LOT 1, BLOCK A
119,184 Sq. Feet
2.74 Acres

DETENTION
POND AREA

SAN SEWER MH
TOP M.N. = 482.79
8" IN = 475.29
8" IN = 475.29
8" OUT = 475.19

SAN SEWER MH
SAO. TOP M.N. = 483.75
8" IN = 476.25
8" IN = 476.15
8" OUT = 476.05

PROP. 2" FUTURE
DOMESTIC WATER LINE

WATER ESMT.
(BY THIS PLAT)

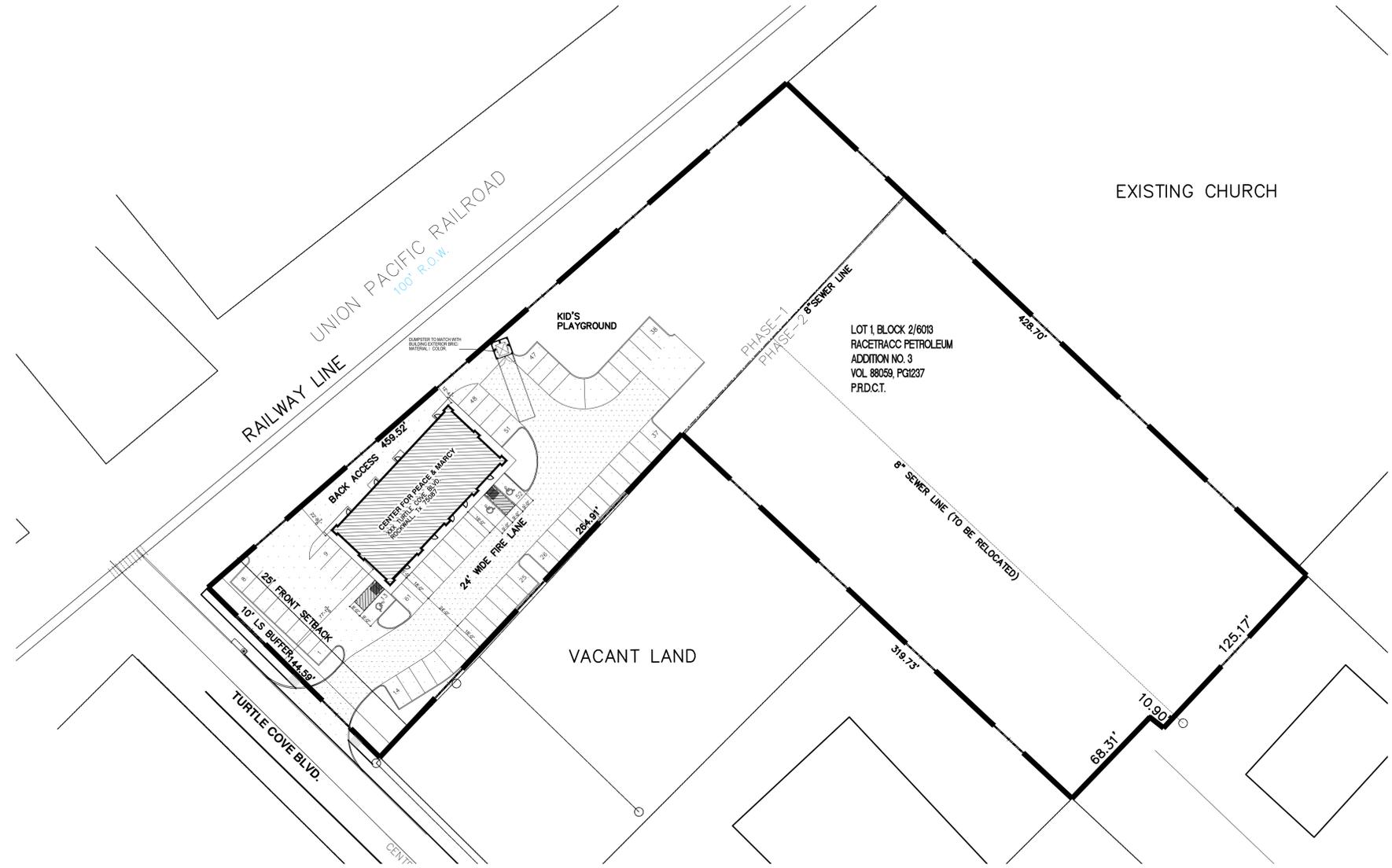
PROP. 6" FUTURE
FIRE WATER LINE
TO RISER ROOM

PROP. SAN.
SEWER MANHOLE

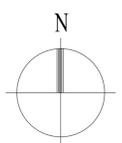
PROP. 8" WATER LINE

PROP. 6" FUTURE
FIRE WATER LINE
TO RISER ROOM

PROP. 1/2" IRF
CM



LOT 1, BLOCK 2/6013
 RACETRACC PETROLEUM
 ADDITION NO. 3
 VOL. 88059, PGI237
 PRD.C.T.



01 SITE PLAN
 SCALE: 1" = 40'

PROJECT DATA	
DESCRIPTION	
LOT AREA TOTAL	2.74 AC. (119,184 SF.)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,600 SF.
COVERED AREA PHASE-1	8.25%
FLOOR AREA RATIO	0.0386:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
PARKING REQUIRED	51 SPACES INCLUDING 3 ADA
PARKING PROVIDED	61 SPACES INCLUDING 3 ADA

OWNER:
 CENTER FOR PEACE AND MERCY, INC.
 PHONE: 318-617-3491
 EMAIL: Peacemercyinc@gmail.com

PROJECT:
 RETAIL BUILDING
 PHASE-1
 XXX Turtle Cove Boulevard, Rockwall, Tx 75087

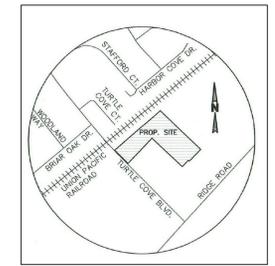
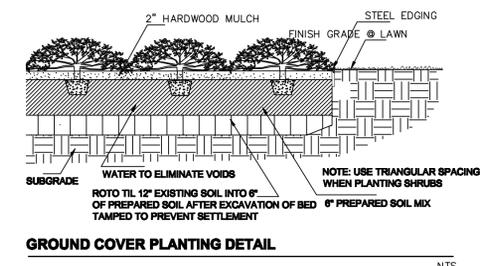
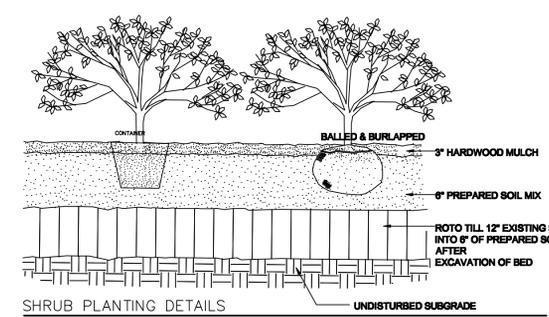
REVISIONS:

amazing concept
 residential & commercial projects
 545 Coventry Drive, Grapevine, Tx 76051
 Tel: (817) 808 0811
 E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:
 SITE PLAN

DATE: 04.09.2019	SCALE: AS SHOWN
DRAWN:	DESIGNER: A. HELALUZZAMAN

PROJECT #
H-2019-02
 SHEET NO:
 A101



PLANTING NOTES

- USE 1/4\"/>

landscape area

SITE AREA : 85,700 SF. (1.278 AC.)
 LANDSCAPE AREA REQUIRED : 15 % (8,355 SF.)
 PROVIDED : 43.5 % (24,240 SF.)
 BLDG. AREA : 4,600 SF.
 TOTAL NUMBER OF PARKING SPACES REQUIRED : 23
 SPACES PROVIDED : 82

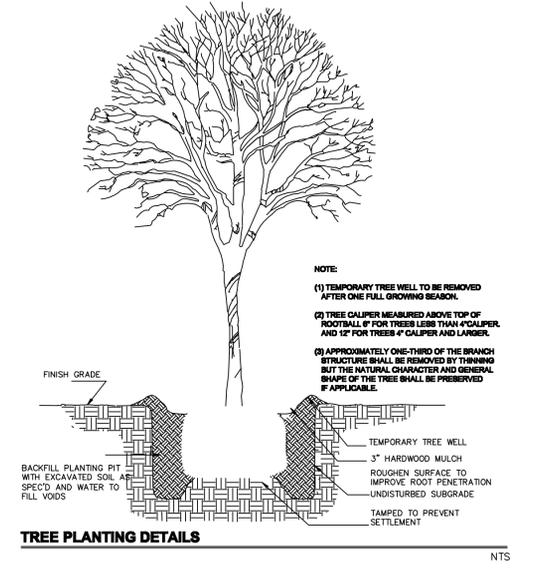
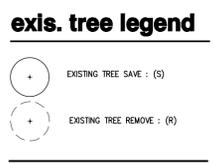
planting requirement

TURTLE COVE BLVD. LANDSCAPE BUFFER 144.59 LF.
 SHADE TREES REQUIRED : 3 (3\"/>

existing tree listing

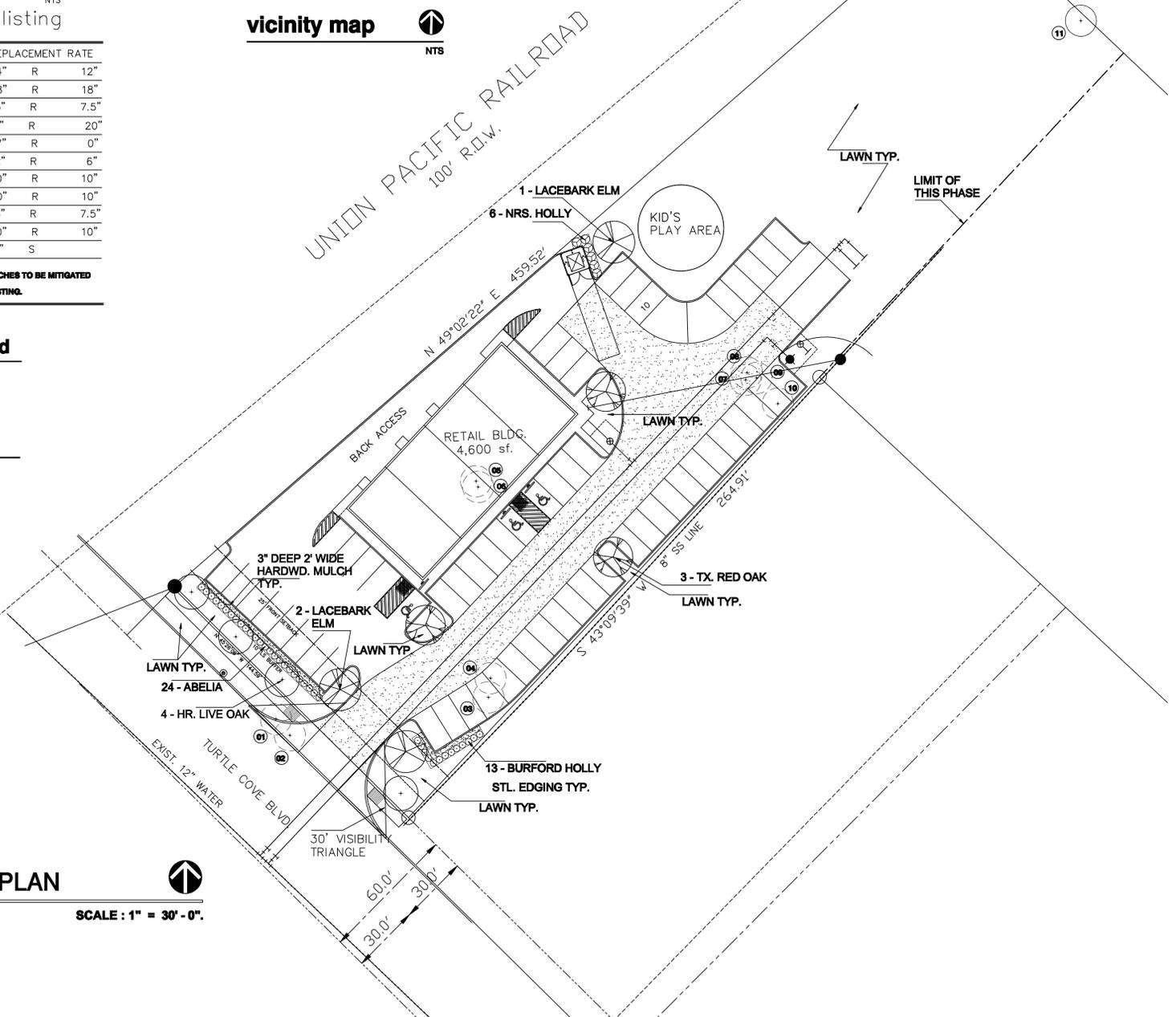
TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24\"/>	R 12\"/>
02 ELM 18\"/>	R 18\"/>
03 HACKBERRY 15\"/>	R 7.5\"/>
04 OAK 20\"/>	R 20\"/>
05 HACKBERRY 7\"/>	R 0\"/>
06 HACKBERRY 12\"/>	R 6\"/>
07 HACKBERRY 20\"/>	R 10\"/>
08 ELM 10\"/>	R 10\"/>
09 HACKBERRY 15\"/>	R 7.5\"/>
10 HACKBERRY 20\"/>	R 10\"/>
11 OAK 36\"/>	S

R = REMOVE, S=SAVE 101.0 CALINCHES TO BE MITIGATED
 REF. PLANT SCHEDULE FOR TREE LISTING.



plant schedule

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
TREES				
3	Texae Red Oak	Quercus shumardii 'Texana'	3\"/>	3\"/>
3	Lacebark Elm	Ulmus parvifolia	3\"/>	3\"/>
4	Live Oak	Quercus virginiana	3\"/>	3\"/>
SHRUBS				
6	NRS. Holly	Ilex x.Nelle R.Stevens	7 gal.	full pot, well rooted. 4\"/>
24	Abelia	Abelia grandiflora	5 gal.	30\"/>
13	Dwf. Burford Holly	Ilex cornuta burfordi 'Nana'	5 gal.	24\"/>
GROUNDCOVERS, & LAWN				
	Bermudagrass	Cynodon dactylon		Hydromulched



PLANTING PLAN
 SCALE : 1" = 30' - 0".



DARK BRONZE FRAMES, PARAPER CAP & CANOPY



CHERISH CREAM SW6651 OR EQUAL

SMOOTH EIFS FINISH
EXTERIOR CHERISH CREAM SW6651



BORAL KINGSIZE MERIDIAN NEW-FREEDOM OR EQUAL

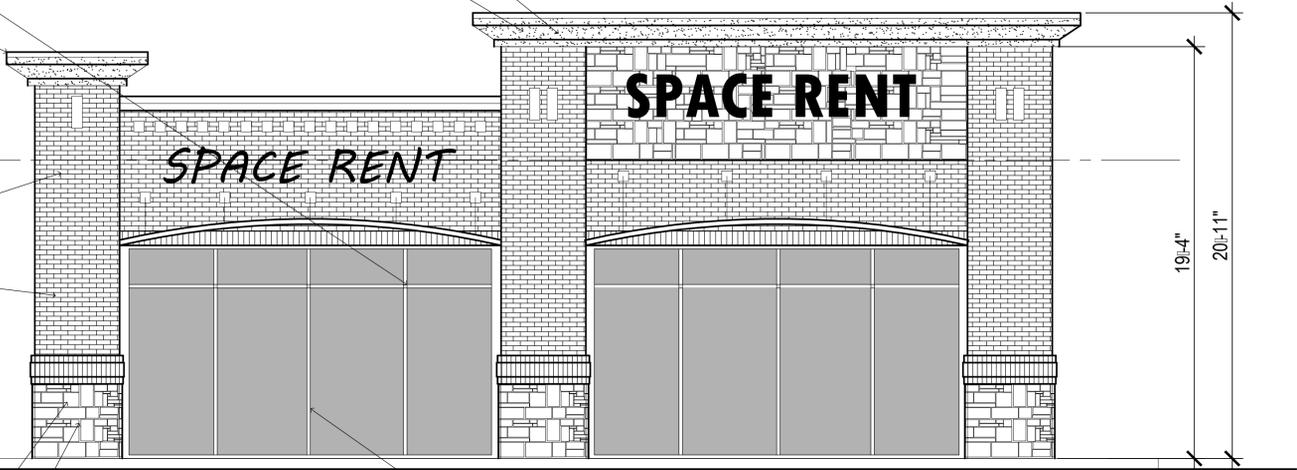


AUSTIN LIME STONE OR EQUAL

- PRE-FINISHED METAL CAP
DARK BRONZE COLOR
- +16'-8" TOP OF PARAPET WALL
- +14'-0" BOT OF DECK
- BRICKS KING SIZE
BORAL / MERIDIAN NEW-FREEDOM
- +10'-0" WINDOW HEAD
- +0'-0" FINISH FLOOR ELEV.

NOTE:

BRICK: 66% 379 SF.
STONE: 25% 141 SF.
EIFS: 9% 53 SF.



2 ROAD SIDE ELEVATION
SCALE: 1/4" = 1'-0"

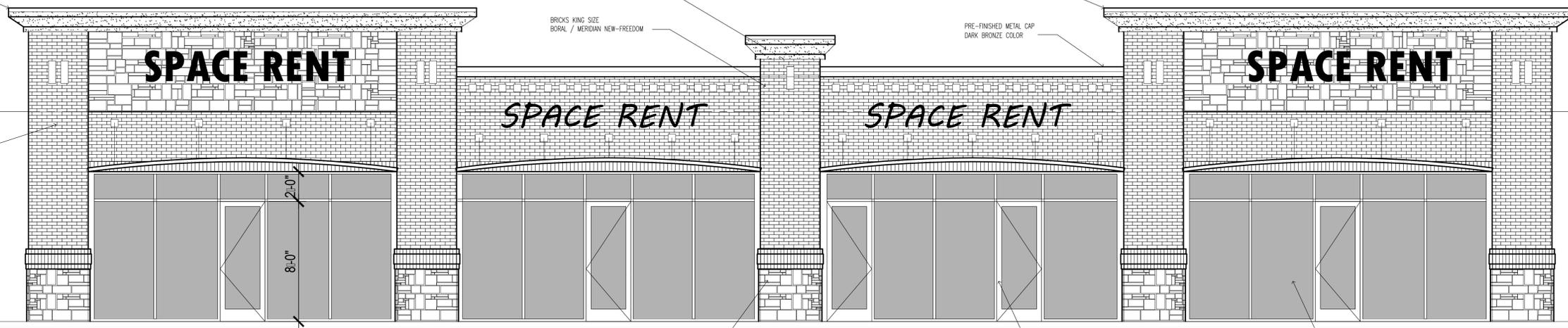
- PRE-FINISHED METAL CAP
DARK BRONZE COLOR
- +16'-8" TOP OF PARAPET WALL
- +14'-0" BOT OF DECK
- BRICKS KING SIZE
BORAL / MERIDIAN NEW-FREEDOM
- +10'-0" WINDOW HEAD
- +0'-0" FINISH FLOOR ELEV.

NOTE:

BRICK: 58% 555 SF.
STONE: 31% 295 SF.
EIFS: 11% 105 SF.

- SMOOTH EIFS FINISH
EXTERIOR CHERISH CREAM SW6651
- BRICKS KING SIZE
BORAL / MERIDIAN NEW-FREEDOM

- PRE-FINISHED METAL CAP
DARK BRONZE COLOR
- PRE-FINISHED METAL CAP
DARK BRONZE COLOR



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

OWNER:
CENTER FOR PEACE AND MERCY, INC.
PHONE: 318-617-3491
EMAIL: Peacemercyinc@gmail.com

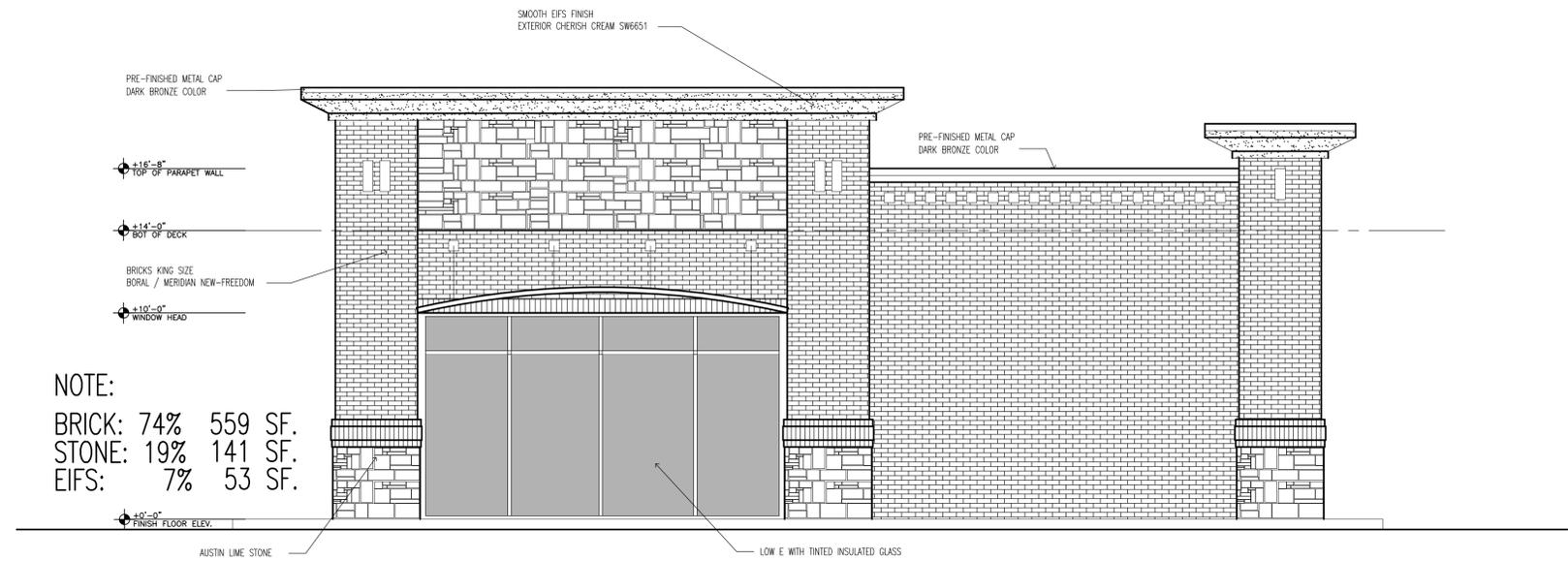
PROJECT:
RETAIL BUILDING
PHASE-1
XXX Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

amazing concept
residential & commercial projects
545 Coventry Drive, Grapevine, Tx 76051
Tel: (817) 858 0811
E-mail: ckm.heboluzzaman@gmail.com

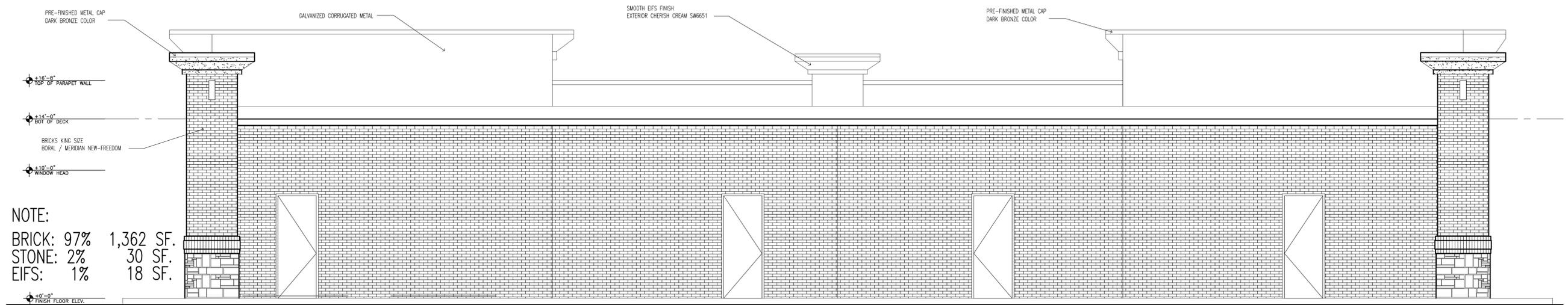
SHEET TITLE:
EXTERIOR ELEVATIONS

DATE: 04.09.2019	SCALE: AS SHOWN
DRAWN:	DESIGNER: A. HELALUZZAMAN
PROJECT # H-2019-02	SHEET NO: A501



NOTE:
 BRICK: 74% 559 SF.
 STONE: 19% 141 SF.
 EIFS: 7% 53 SF.

2 ROAD SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



NOTE:
 BRICK: 97% 1,362 SF.
 STONE: 2% 30 SF.
 EIFS: 1% 18 SF.

1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

OWNER:
 CENTER FOR PEACE AND MERCY, INC.
 PHONE: 318-617-3491
 EMAIL: Peacemercyinc@gmail.com

PROJECT:
 RETAIL BUILDING
 PHASE-1
 XXX Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

amazing concept
 residential & commercial projects
 545 Coventry Drive, Grapevine, Tx 76051
 Tel: (817) 858 0811
 E-mail: okm.heboluzzaman@gmail.com

SHEET TITLE:
 EXTERIOR ELEVATIONS

DATE: 04.09.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # H-2019-02	SHEET NO: A502

City of Rockwall Project Plan Review History



Project Number SP2019-016	Owner JERRY, KISICK CUSTOM HOMES INC	Applied 5/17/2019	LM
Project Name 196/216 Ranch Trail	Applicant DUB DOUPHRATE	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
 Site Address 200/224 RANCH TRL		City, State Zip ROCKWALL, TX 75032	
		Zoning	
Subdivision MAVERICK RANCH	Tract 5	Block A	Lot No 5
		Parcel No 4374-000A-0005-00-OR	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/17/2019	5/24/2019	5/21/2019	4	APPROVED	
ENGINEERING	Sarah Hager	5/17/2019	5/24/2019	5/23/2019	6	COMMENTS	<p>(5/23/2019 4:50 PM SH)</p> <ul style="list-style-type: none"> - Must have individual water services. - Sewer to be 8" unless it is a private line. - Water to have 10' of clearance on both sides. - Fire hydrant to have a 20' easement. - Drive isle to be 24' wide minimum. <p>The following is for your information during engineering review.</p> <ul style="list-style-type: none"> - 4% Engineering Fees. - Impact fees. - All parking to be 20'x9' - Must show all existing and proposed utilities. - If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'. Minimum width is 24'. - Must have detention for new impervious surfaces. - Must have water at sheet flow conditions before the property line or will need a drainage easement for the neighboring property owner. - Must replat to add the additional easements. - Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls. - Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line. - Water line to be 8" line where public. - Must have individual water services. - 4:1 slope maximum for grading. - Must meet all City Standards of Design and Construction.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE (5/23/2019 1:38 PM AA) Show location of proposed fire lane on the site plan. An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.	Ariana Hargrove	5/17/2019	5/24/2019	5/23/2019	6	COMMENTS	see comments
GIS (5/22/2019 9:58 AM LS) New addresses will be: 4160 sf - 200 RANCH TRAIL, ROCKWALL, TX 75032 3060 sf - 224 RANCH TRAIL, ROCKWALL, TX 75032	Lance Singleton	5/17/2019	5/24/2019	5/22/2019	5	APPROVED	See comments
PLANNING	David Gonzales	5/17/2019	5/24/2019	5/23/2019	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob and Pam Hawley for the approval of a site plan for two(2) metal buildings in conjunction with an existing commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch Road, and take any action necessary.

PLANNING AND ZONING 1ST ROUND COMMENTS (05.23.2019):

The following staff comments (i.e. Phase 1 only) are to be addressed and resubmitted no later than Tuesday June 4, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

**** Planning Department General Comments & Requirements to address/acknowledge:**

1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy(CO).
3. Label all revised site plan documents with "Case No. SP2019-016" at the lower right corner of each plan.

EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:

1. Horizontal articulation standards of the UDC for facades
2. Minimum 20% stone requirement for all facades that are visible from a public street or open space
3. For the use of metal building construction (materials exception).

**** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:**

Site Plan:

1. Provide adjacent property owner information on Overall Site Plan(aerial version).
2. Label all access easements as "24-ft Firelane, Public Access, Drainage and Utility Easements (as appropriate for each).
3. Provide a heavier line for the utility label and reduce the font. Move labels to be more visible.
4. Use lighter gray scale for the utility lines layer(water & sewer).
5. All ground mounted HVAC units must be screened with landscaping or wing-wall.
6. What are the proposed uses for these buildings? (i.e. this is a commercial district).
7. Delineate and label a minimum 10-ft. landscape buffer along Ranch Trail
8. Remove the label "Replat of" from the Title Block on all pages of this site plan.

Landscape Plan:

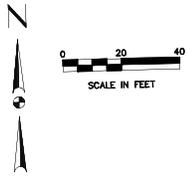
1. Provide a landscape plan meeting the requirements of the UDC.
2. One (1)-three (3)-caliper inch canopy tree required for each 750 SF of dry area in the detention pond.
3. One (1)-three (3)-caliper inch canopy tree required for each 50 linear feet of frontage along Ranch Trail
4. Parking spaces cannot be more than 80-ft from the trunk of a large canopy tree.
5. Indicate screening of HVAC units on this plan

Photometric Plan:

1. Will there be any exterior lighting of the site, other than the wall packs as depicted on the building elevations(i.e pole lights)? If so, provide a photometric plan.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>2. Provide cut sheets for all exterior lighting fixtures</p> <p>3. If a photometric plan is provided, lighting levels are not to exceed 0.2-FC at the property lines.</p> <p>Building Elevations:</p> <p>1. All gounded mounted mechanical equipment requires screening from rights-of-way and adjacent properties. Provide detail of screening to be used</p> <p>2. Requires a recommendation from the Architectural Review Board(ARB). See scheduled meeting below.</p> <p>3. Provide a materials sample board for ARB review of the actual materials to be used(other than tilt-up wall).</p> <p>4. Provide percentages of exterior material calculations for each elevation(e.g. stone, brick, metal surface, etc.).</p> <p>5. Will there be any stone on the building? The UDC requires a minium of 20% stone on each elevation that is visible from a public street or open space. If there is no stone, this will require approval of an exception by the Planning and Zoning Commission</p> <p>6. Are the elevations for the proposed buildings or all?</p> <p>7. Provide height and width measurements of the proposed buildings.</p> <p>** The following arescheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend</p> <p>Architectural Review Board: May 28, 2019 (5:00 p.m.) [Recommendations from ARB]</p> <p>Planning - Work Session: May 28, 2019 (6:00p.m.) [Applicant to present/discuss project]</p> <p>Architectural Review Board: June 11, 2019 (5:00 p.m.) [Subsequent meeting if necessary]</p> <p>Planning - Action: June 11, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]</p> <p>** IF REQUIRED -- City Council - Action: Monday, June 17, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **</p>						
Police Department	David Gonzales	5/23/2019	5/30/2019	5/23/2019	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(5/23/2019 5:48 PM DG)						Comments provided by Capt. Ed Fowler - Police
SP2019-016 - 196/216 RANCH TRAIL						<p>Considerations:</p> <ul style="list-style-type: none"> Lighting placed upon all sides of the exterior the buildings, over doors and at the rear of property to illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred. Provide clearance around the bottom of the fencing surrounding the dumpster for visual sight line of anyone inside fencing Consider mirror(s) on dumpster fencing to reveal any persons inside holding(fencing) area. Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.) Consider installation of device to prevent breaching of overhead door with vehicle(push or pull). Locking/Removal Bollards, Vehicle Placed in Front of Door, within specifications of City Code and Ordinance and Fire Code. Consider target hardening with industrial standard or greater locking devices for all doors Cameras on corners of building, doors equipped with alarms and interior proximity alarms on the interior. Ensure trees and bushes are trimmed within acceptable standards(Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement, ownership and enhance natural lines of sight at night. More than willing to speak with owner(s) directly to assist in site planning to prevent crime



LOT 2
RAINBO ACRES
CAB. A. SL. 20
P.R.R.C.T.

LOT 4

Must have individual water services.

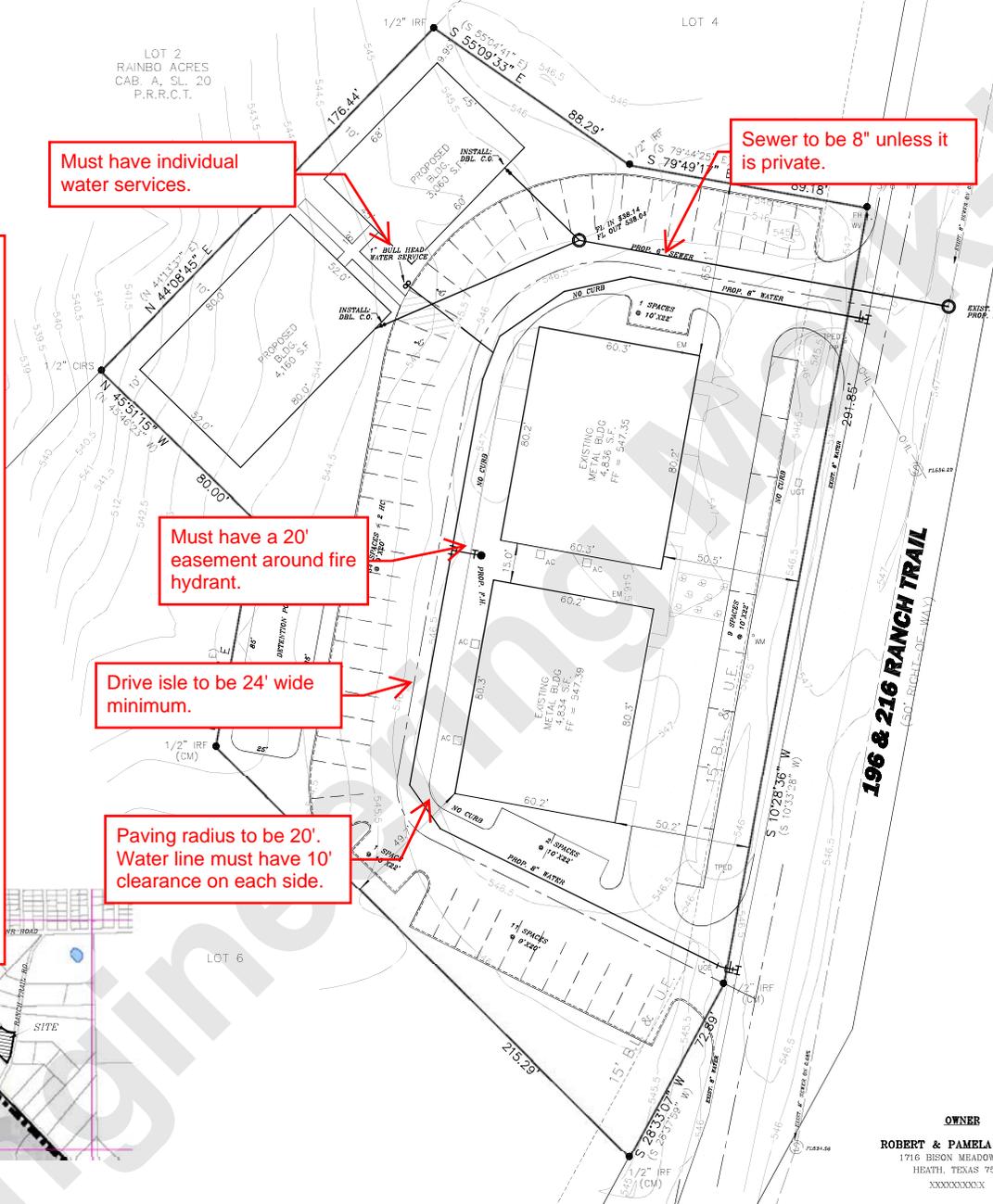
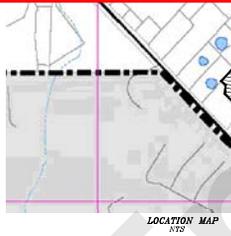
Sewer to be 8" unless it is private.

Must have a 20' easement around fire hydrant.

Drive isle to be 24' wide minimum.

Paving radius to be 20'. Water line must have 10' clearance on each side.

- 4% Engineering Fees.
- Impact fees.
- All parking to be 20'x9'
- Must show all existing and proposed utilities.
- If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'. Minimum width is 24'.
- Must have detention for new impervious surfaces.
- Must have water at sheet flow conditions before the property line or will need a drainage easement for the neighboring property owner.
- Must replat to add the additional easements.
- Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls.
- Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line.
- Water line to be 8" line where public.
- Must have individual water services.
- 4:1 slope maximum for grading.
- Must meet all City Standards of Design and Construction.



SITE DATA SUMMARY

ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1.550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	58 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE
INTERIOR LANDSCAPING PROVIDED	(10,124 SQ. FT.)
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	31,800 SQ. FT.

SITE NOTES:
1. PARKING SPACES ARE 9'X20'

TAX ROLL DESCRIPTION:
ABSTRACT 0086 - WILLIAM M. FORD SURVEY
TRACT 61644, ACRES 1.550

1,550 AC.
67,502 SQ. FT.

OWNER
ROBERT & PAMELA HAWLEY
1716 BISON MEADOW LANE
HEATH, TEXAS 75032
XXXXXXXXXX

SURVEYOR
FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEAGUIE, TEXAS 75150
(803)-844-6397
Texas Firm No. 10194258

DOUPHRADE & ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEER - SURVEYING
15001 - PROJECT MEASUREMENT SURVEYING
28235 RIDGE RD., # 200, ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN
LOT 5, BLOCK A
REPLAT OF MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS

BY: [Signature]
DATE: MAR 28, 2019
PROJECT: 14026
SCALE: 1" = 40'
DRAWN: [Signature]
CHECKED: [Signature]
W.L.D.
BY: [Signature]

0 25 50 100 150 200 Feet

SP2019-016 - 196/216 RANCH TRAIL
SITE PLAN - LOCATION MAP = 

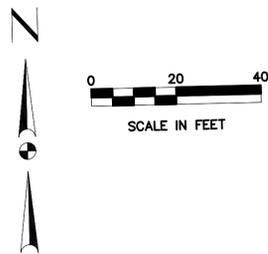


City of Rockwall

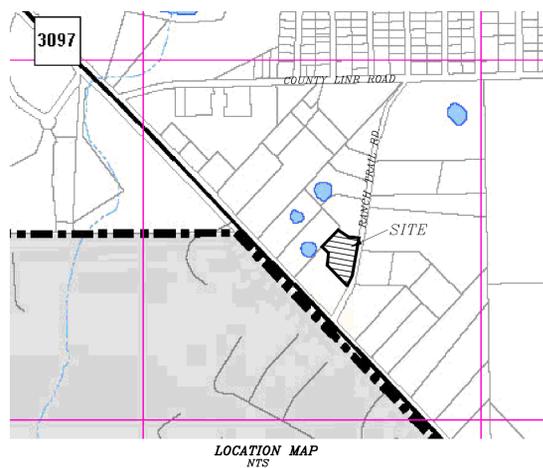
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





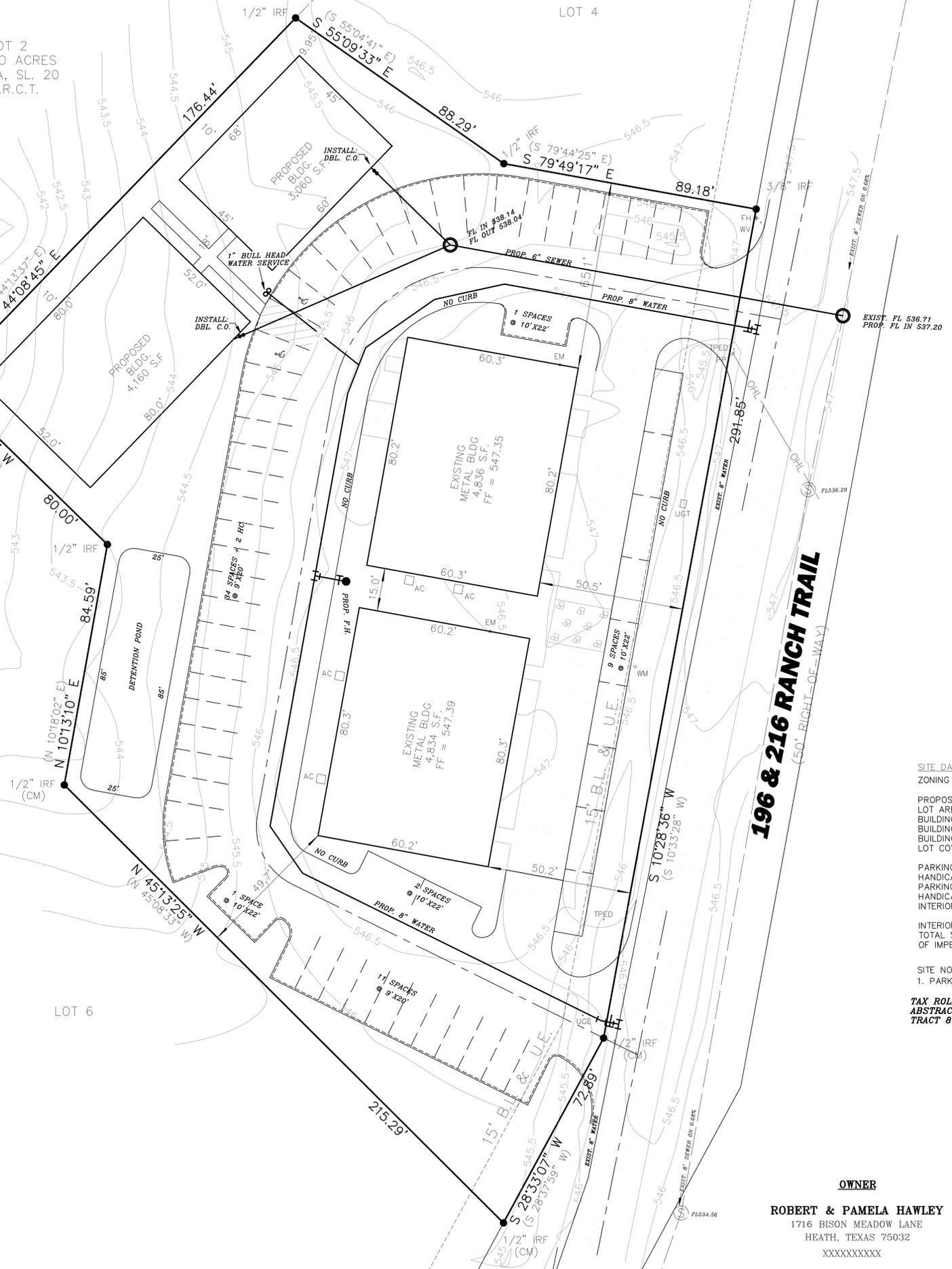
LOT 2
RAINBO ACRES
CAB. A, SL. 20
P.R.R.C.T.



LOCATION MAP
NTS

LOT 6

LOT 4



SITE DATA SUMMARY

ZONING	C (COMMERCIAL)
PROPOSED USE	BUSINESS OFFICES
LOT AREA	1.550 ACRES
BUILDING SQUARE FOOTAGE	16,890 SQ. FT.
BUILDING FOOTPRINT	16,890 SQ. FT.
BUILDING HEIGHT	28 FT.
LOT COVERAGE	25.02%
PARKING REQUIRED	1 SPACE/300 S.F. = 57 SPACES
HANDICAP PARKING REQ'D	2 SPACE
PARKING PROVIDED	58 SPACES
HANDICAP PARKING PROVIDED	2 SPACE
INTERIOR LANDSCAPING REQ'D	15% OF TOTAL SITE (10,124 SQ.FT.)
INTERIOR LANDSCAPING PROVIDED	31,900 SQ. FT.
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE	35,602 SQ. FT.

SITE NOTES:
1. PARKING SPACES ARE 9'X20'

TAX ROLL DESCRIPTION:
ABSTRACT 0080 - WILLIAM M. FORD SURVEY
TRACT 81844, ACRES 1.550

1.550 AC.
67,502 SQ. FT.

OWNER
ROBERT & PAMELA HAWLEY
1716 BISON MEADOW LANE
HEATH, TEXAS 75032
XXXXXXXXXX

SURVEYOR
FINCHER LAND SURVEYING, PLLC
3213 INTERSTATE HIGHWAY 30, #107
MEAQUITE, TEXAS 75150
(903)-944-6397
Texas Firm No. 10194258



THE SEAL APPEARING ON THIS PLAN IS THE PROPERTY OF WILLIAM M. FORD, SURVEYOR, P.L.E. NO. 60102, F-886, ON MARCH 19, 2019.

DOUPHRATE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

**SITE PLAN A
LOT 5, BLOCK 4
REPLAT OF MAVERICK RANCH ADDITION
CITY ROCKWALL
ROCKWALL COUNTY, TEXAS**

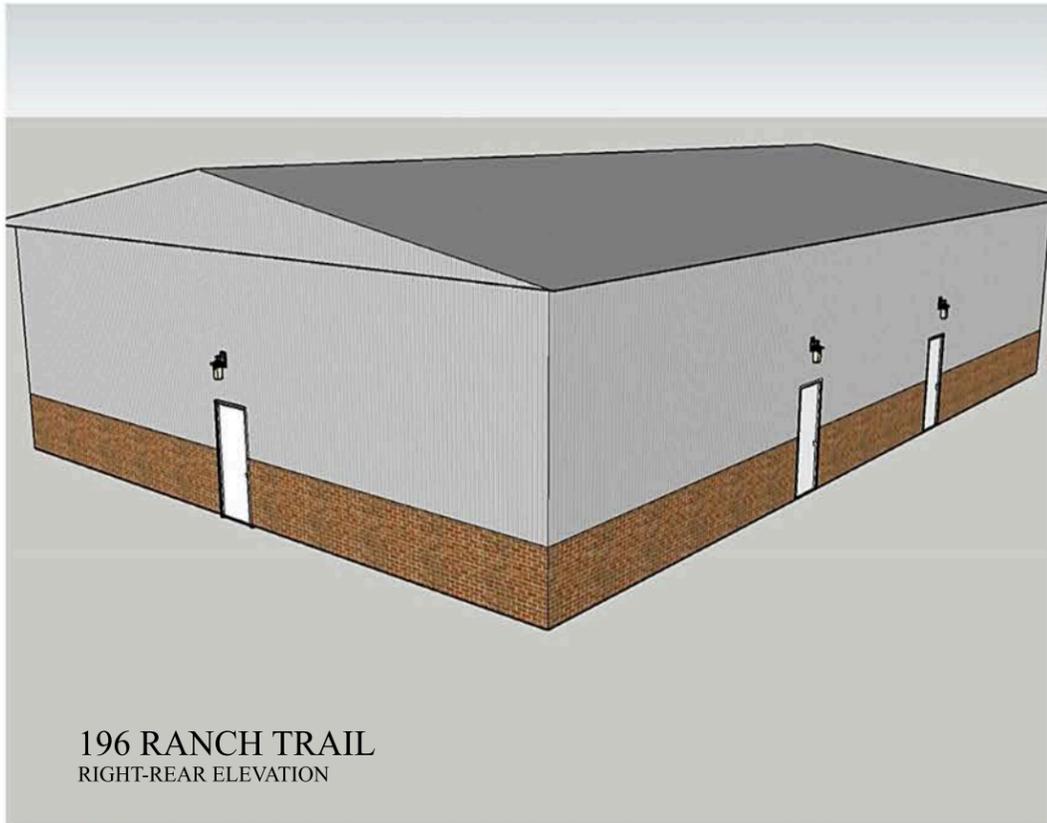
REVISION	W.L.D.
CHECKED	GCW.
DRAWN	
SCALE	1" = 20' H 1" = 4' V
DATE	MAR. 28, 2019
PROJECT	14026



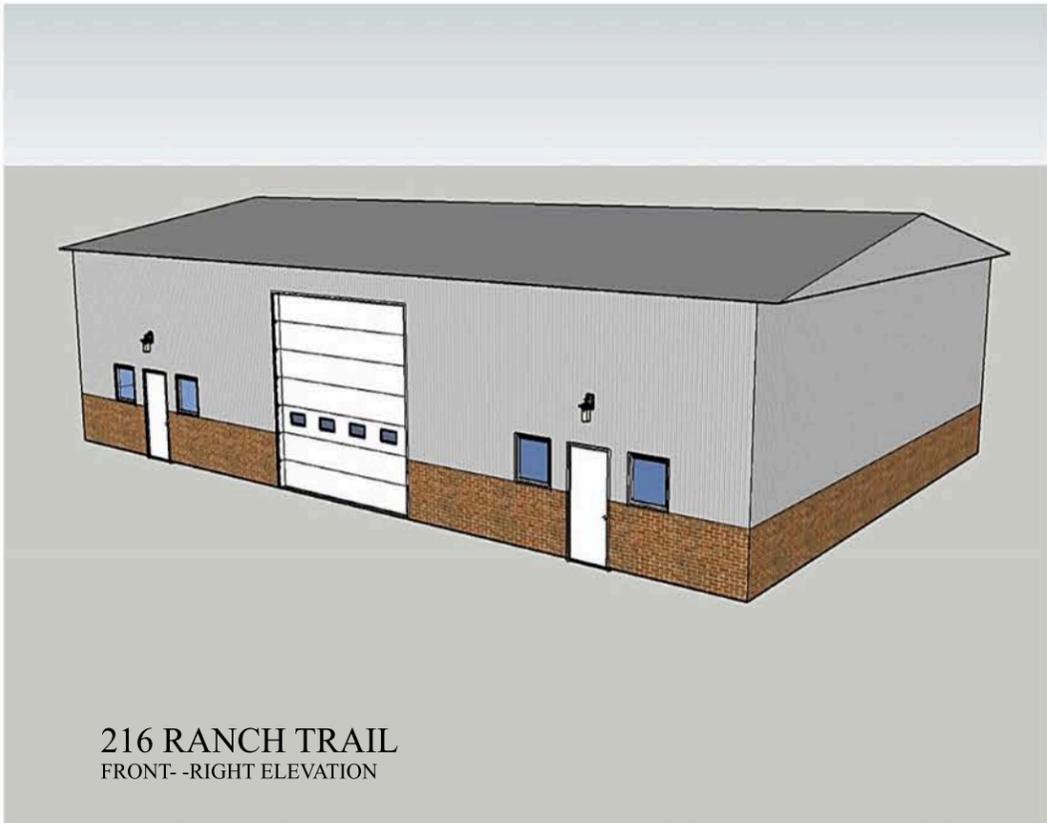
216 RANCH TRAIL
FRONT - LEFT ELEVATION



196 RANCH TRAIL
FRONT - RIGHT ELEVATION



196 RANCH TRAIL
RIGHT-REAR ELEVATION



216 RANCH TRAIL
FRONT - RIGHT ELEVATION



City of Rockwall Project Plan Review History



Project Number SP2019-017	Owner STAGLIANO, VINCENT J	Applied 5/17/2019	LM
Project Name Animal Boarding/kennel without outside	Applicant HOMEYER ENGINEERING INC.	Approved	
Type PERMITS PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
 Site Address 1920 ALPHA DR		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision ELLIS CENTRE 2	Tract	Block A	Lot No
			Parcel No 3585-000A-0004-00-0R
			General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/17/2019	5/24/2019	5/21/2019	4	APPROVED	
ENGINEERING	Sarah Hager	5/17/2019	5/24/2019	5/24/2019	7	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(5/24/2019 1:53 PM SH) Landscape Plans - No trees within 5' of utilities. - The back side of the lot has a bunch of overhead electric. The trees you show will be effected by this - All ROW to be sodded before acceptance or final CO. Hydromulch not allowed. - All disturbed areas to have established 1" stand of grass on 75-80% of the site. no patchy areas. Weeds and winter rye does not count							
Site Plan - Must have a 15' x 64' turnaround area for the cars. - Where is the sewer service connection? - Is this fire lane needed for fire coverage? - Fire hydrant to have 5' of clearance to the curb. Fire line must have 10' clearance to all other lines. - Must prove the storm system can hold - Minimum 1.0% slope for flumes. - Sidewalk pavement to be 3000psi (5.5 sack mix) - All other paving to be at least 3600psi (6.5 sack Mix).							
The following items are for your information for engineering design - 4% Engineering Inspection Fees - Impact Fees for additional water taps - Walls 3' and over must be engineered. - All retaining walls must be rock or stone face No smooth concrete walls. - Detention is required. Manning's C-value will be from 0.35 to 0.9 per zoning. - No utilities allowed in detention easement - Add note that the property owner will be responsible for maintaining repair, and replacement of the detention/drainage systems - Minimum utility easement width is 20' - All parking to be 20'x9' - All drive aisles to be a minimum of 24' wide - No structures in easements - Max slope is 4:1 - Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines - Must meet all engineering standards							
FIRE (5/23/2019 1:43 PM AA) An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.	Ariana Hargrove	5/17/2019	5/24/2019	5/23/2019	6	APPROVED	see commnet
GIS (5/22/2019 10:09 AM LS) Assigned address will be: 1920 ALPHA DR, ROCKWALL, TX 75087	Lance Singleton	5/17/2019	5/24/2019	5/22/2019	5	APPROVED	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	5/17/2019	5/24/2019	5/23/2019	6 COMMENTS	See comments

Discuss and consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Vincent Stagliano for the approval of a site plan for an animal boarding/kennel without outside pens on a 1.2113-acre tract of land identified as Lot 4, Block A, Ellis Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court, and take any action necessary.

PLANNING AND ZONING 1ST ROUND COMMENTS (05.23.2019):

The following staff comments are to be addressed and resubmitted no later than Tuesday June 4, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

** Planning Department General Comments & Requirements to address/acknowledge:

1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required.
2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO).
3. Label all revised site plan documents with "Case No. SP2019-017" at the lower right corner of each plan.

EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:

1. Horizontal articulation for the primary building facade standards of the UDC for the south facing facade.
2. Horizontal articulation for the secondary building facade standards of the UDC for the north and west facing facades.
3. Vertical articulation for the secondary building facade standards of the UDC for the south and west facing elevations.
4. Fence at rear does not meet material standards for the required screening from a residential district/property [i.e. wood fence (i.e. board on board) is not allowed]. Sec. 5.6, of Art. V, of the UDC requires screening fences to be constructed with a masonry fence, minimum six (6)-feet in height. As an alternative, berms in conjunction with a minimum of a six-foot wrought fence and a combination of trees and shrubs can be utilized to meet the screening requirements if the planning and zoning commission determines that the proposed alternative will provide sufficient screening.
5. Trash enclosures are not to face a public right of way (Sec. 1.05, Art. V, UDC). These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate.

** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:

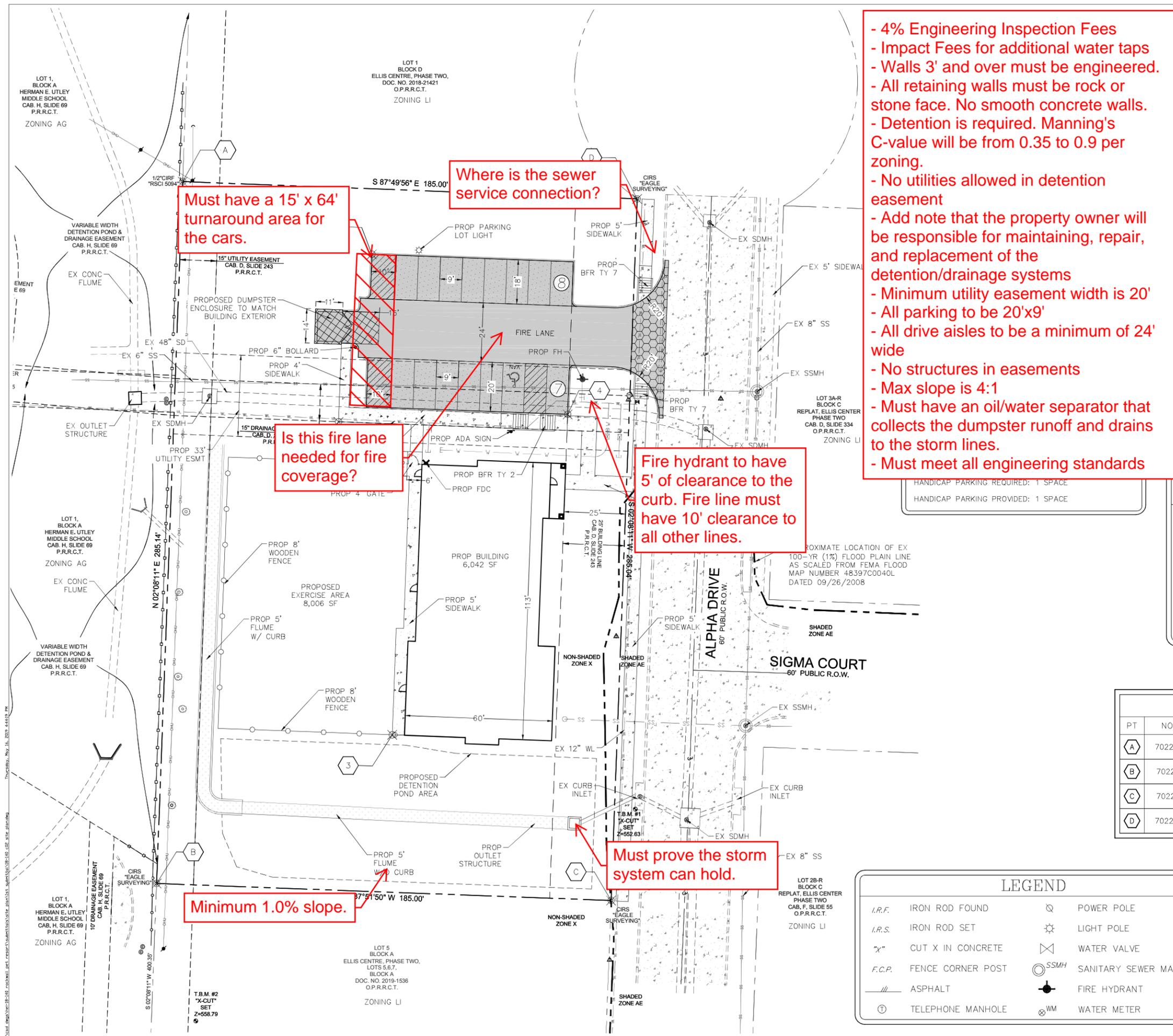
Site Plan:

1. Trash enclosures are not to face a public right-of-way. Reorient/relocate dumpster unless approved by the Planning and Zoning Commission (see exception above).
2. Fence at rear does not meet material standards for the required screening from a residential district/property (see exceptions above).
3. Label the 24-ft firelane access easement as "24-ft Firelane, Public Access, and Utility Easement.
4. Use a lighter gray scale for the 100-year flood plain line. Change line style, looks similar to property line symbolgy.
5. Delineate and label minimum 10-ft landscape buffer along Alpha Drive.
6. Site Information Table:
 - a. Change Parking Required to indicate "Animal Hospital/Clinic" rather than office.
7. Pavement Legend - information provided must meet the Engineering Departments standards for design.
8. Where are the HVAC/RTU's located? These units require screening from the public rights of way and adjacent properties. Provide screening detail.

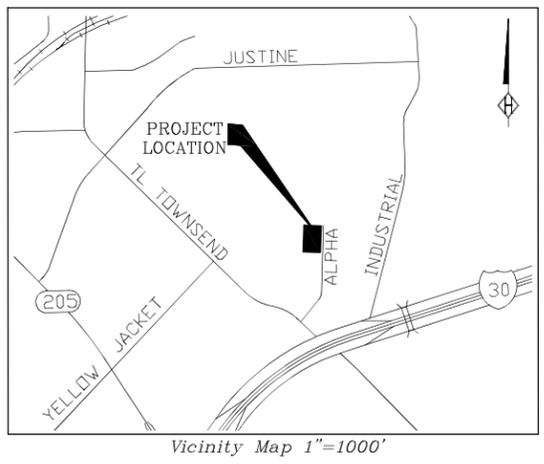
Landscape Plan:

1. Delineate and label a minimum 10-ft landscape buffer.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>2. Move building line label that sets on top of tree in landscape buffer.</p> <p>3. Sec. 5.3, Art. VIII, of the UDC states no artificial plant materials may be used...must be turf or a non-permiable surface. Provide a detail and cust sheets for the proposed articial turf for staff review and indicate if this is permiable or impermeable</p> <p>4. The detention pond requires a minimum of one (1), three (3)-caliper inch canopy tree for each 750 SF of dry area within the pond. Provode the necessary amount of trees for this area.</p> <p>5. Parking Lot Lanscape Lable at bottom of plan: update total parking space count to match the site plan(i.e. 12 & 15 spaces).</p> <p>Treescape Plan:</p> <p>1. No mitigation required for the removal of the two(2) cedar trees as indicated on the plan.</p> <p>Photometric Plan:</p> <p>1. The maximum pole height shall not exceed30-ft in overall height. Provide detail.</p> <p>2. Provide cut sheets for all exterior lighting fixtures. Under canopy lighting required to be fully recessed into canopy.</p> <p>Building Elevations:</p> <p>1. All roof-top mechanical equipment requires screening from rights-of-way and adjacent properties. Dash-in RTU's on elevations (if applicable). Provide detail of screening mechanism to be used if these are not properly sceened.</p> <p>2. Requires a recommendation from the Architectural Review Board(ARB). See scheduled meeting below.</p> <p>3. Provide a materials sample board for ARB review of the actual materials to be used</p> <p>4. Approval of the exceptions for not meeting the primary and secondary articulation standsrd\$ the screening fence standards, and for the trash enclosure facing the public right of way requires approval by the Planning and Zoning Commission for each separate instance as indicated above</p> <p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend</p> <p>Architectural Review Board: May 28, 2019 (5:00 p.m.) [Recommendations from ARB]</p> <p>Planning - Work Session: May 28, 2019 (6:00p.m.) [Applicant to present/discuss project]</p> <p>Architectural Review Board: June 11, 2019 (5:00 p.m.) [Subsequent meeting if necessary]</p> <p>Planning - Action: June 11, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]</p> <p>** IF REQUIRED -- City Council - Action: Monday, June 17, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **</p>	David Gonzales	5/23/2019	5/30/2019	5/23/2019	COMMENTS	



- 4% Engineering Inspection Fees
- Impact Fees for additional water taps
- Walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
- Detention is required. Manning's C-value will be from 0.35 to 0.9 per zoning.
- No utilities allowed in detention easement
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems
- Minimum utility easement width is 20'
- All parking to be 20'x9'
- All drive aisles to be a minimum of 24' wide
- No structures in easements
- Max slope is 4:1
- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.
- Must meet all engineering standards



PAVEMENT LEGEND

- DUMPSTER PAVEMENT**
PROPOSED 8" 4,000 PSI CONC. @ 28 DAYS WITH #4 BARS @ 18" O.C.E.W. (DOUBLE MAT)
- DRIVEWAY PAVEMENT**
PROPOSED 8" 4,000 PSI CONC. @ 3 DAYS WITH #4 BARS @ 18" O.C.E.W.
- MEDIUM DUTY PAVEMENT (DRIVE AISLE)**
PROPOSED 6" 3,600 PSI CONC. @ 28 DAYS WITH #4 BARS @ 18" O.C.E.W.
- LIGHT DUTY PAVEMENT (CAR PARKING)**
PROPOSED 6" 3,600 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.
- SIDEWALK PAVEMENT**
PROPOSED 4" 3,000 PSI CONC. @ 28 DAYS WITH #3 BARS @ 18" O.C.E.W.

PAVEMENT NOTES:

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- THE CONTRACTOR SHALL DOWEL & EPOXY #4 X 24" SMOOTH BARS @ 24" CENTERS ALONG ALL PROPOSED TO EXISTING CONCRETE EDGES W/ 3/4" EXPANSION JOINT & SELF LEVELING JOINT SEALING COMPOUND.
- THE CONTRACTOR SHALL PROVIDE A 1/2" EXPANSION JOINT W/ SELF LEVELING JOINT SEALING COMPOUND BETWEEN THE PROPOSED CONCRETE PAVEMENT AND THE PROPOSED BUILDING.

DESIGN POINTS

PT	NORTHING	EASTING	PT	NORTHING	EASTING
A	7022635.9438	2598894.7809	1	7022606.4531	2598971.7350
B	7022351.0041	2598884.1517	2	7022538.4108	2598958.1889
C	7022344.1081	2599069.0232	3	7022411.3558	2598980.0098
D	7022628.9270	2599079.6450	4	7022541.4392	2599051.3665

LEGEND

I.R.F.	IRON ROD FOUND	⊗	POWER POLE
I.R.S.	IRON ROD SET	⊙	LIGHT POLE
"x"	CUT X IN CONCRETE	⊗	WATER VALVE
F.C.P.	FENCE CORNER POST	⊙ SSMH	SANITARY SEWER MANHOLE
///	ASPHALT	⊙	FIRE HYDRANT
⊙	TELEPHONE MANHOLE	⊙ WM	WATER METER

PRELIMINARY PLANS

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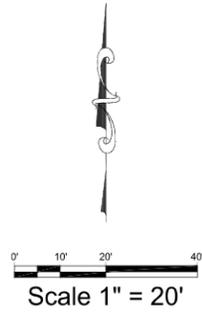
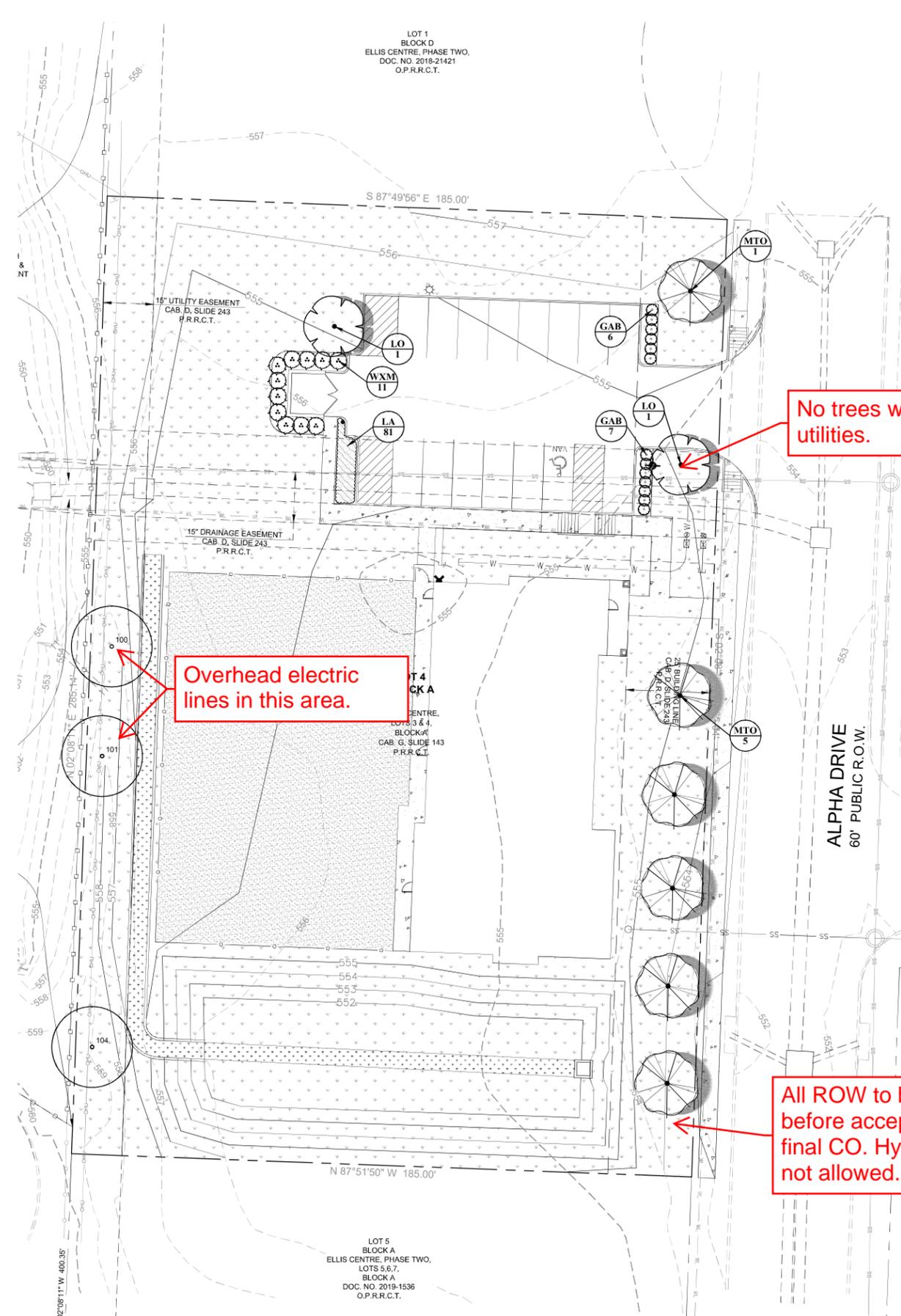
STEVEN R. HOMEYER, PE # 86942
DATE: 05/17/2019

HOMEYER ENGINEERING, INC.
ENGINEERING FIRM REGISTRATION NO. F-8440
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CANINE AND CO. RESORT
1.21 ACRES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SITE PLAN

DRAWN: JAN
DATE: 09/28/2018
HEI #: 18-140
SHEET NO: C2



PLANT SCHEDULE

TREES	CODE	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE	QTY
	EX	Existing Tree to Remain Reference TS sheets for additional info	EXIST.	EXIST.	EXIST.	3
	LO	Live Oak / Quercus virginiana parking lot tree	CONT.	2"Cal	10-12' ht.	2
	MTO	Cedar Elm / Ulmus crassifolia street tree	CONT.	2"Cal	10-12' ht.	6
SHRUBS	CODE	COMMON NAME / BOTANICAL NAME	SIZE	QTY		
	GAB	Glossy Abelia / Abelia grandiflora 36" o.c.	5 gal	13		
	WXM	Southern Wax Myrtle / Myrica cerifera 60" o.c.; 60" ht.	per ht.	11		
SHRUB AREAS	CODE	COMMON NAME / BOTANICAL NAME	CONT	SPACING	QTY	
	LA	Aztec Grass / Liriope muscari 'Aztec'	1 gal	15" o.c.	81	
GROUND COVERS	CODE	COMMON NAME / BOTANICAL NAME	CONT	QTY		
	AT	Artificial Turf - submit for owner approval install per manufacturer	n/a	7,939 sf		
	CT	Bermuda Grass / Cynodon dactylon 'Tif 419'	sod	28,574 sf		

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN SOD AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (DuWITT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT UNCH MULCH WITHIN 6" OF TREE ROOT FLARE.
- INSTALL 1/4" GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD. ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2" INCHES BEFORE FIRST MOWING. UNMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEED OR RESEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

AREA CALCULATIONS

GR (GENERAL RETAIL)	52,741 SF
AREA REQUIRED:	7,911 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	37,808 SF (71% OF SITE AREA)

LANDSCAPE BUFFER STRIP
 LANDSCAPE BUFFER STRIP REQUIRED @ ALPHA DR.: 25'
 LANDSCAPE BUFFER STRIP PROVIDED @ ALPHA DR.: 25'

STREET LANDSCAPING
 ALPHA DR.:
 TREES REQUIRED (1 PER 50 LF): 6 (285 LF / 50 = 6)
 TREES PROVIDED: 6 (3" CAL.)

RIGHT-OF-WAY LANDSCAPING
 R/W LANDSCAPE REQUIRED (GRASS OR GROUNDCOVER) PROVIDED

PARKING LOT LANDSCAPING
 TOTAL PARKING SPACES REQUIRED: 16 SPACES
 TOTAL PARKING SPACES PROVIDED: 20 SPACES
 PARKING LOT LANDSCAPING REQUIRED: N/A (LESS THAN 20,000 SF / 2 ROWS)

IRRIGATION
 PROPOSED IRRIGATION DESIGN WILL MEET THE REQUIREMENTS OF THE UDC.
 * UNDERSTORY TREES PROVIDED ADJACENT TO EXISTING OVERHEAD UTILITIES.

PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDED WOOD MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

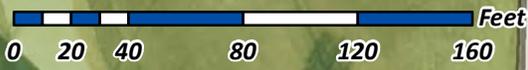
HOMEYER ENGINEERING, INC.
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 TBPE FIRM REGISTRATION NO. F-84440
 P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029
 972-906-9985 PHONE • 972-906-9987 FAX
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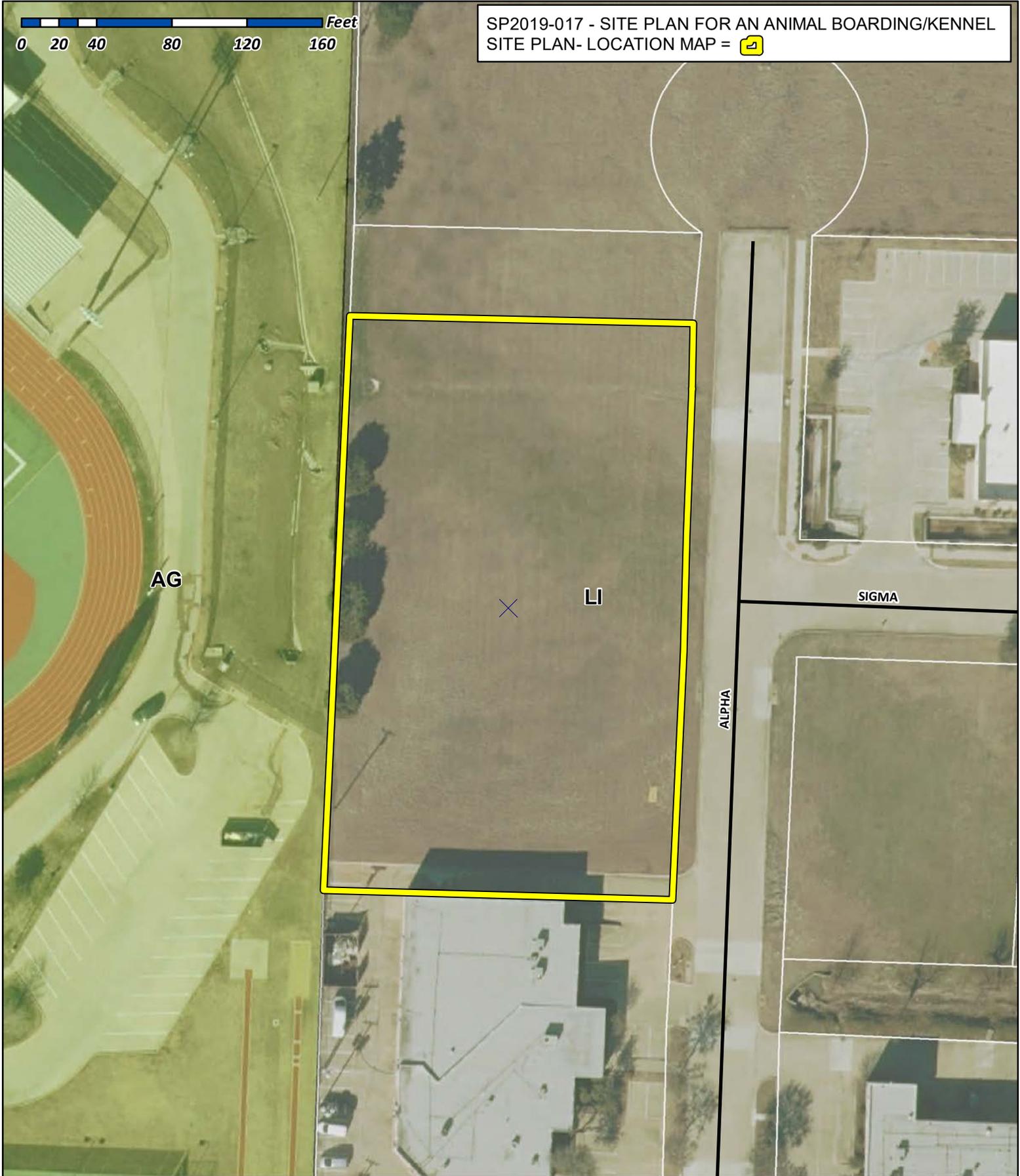
EVERGREEN DESIGN GROUP
 (800) 680-6630
 15305 Dallas Pkwy., Ste 300
 Addison, TX 75001
 www.landscape-consultants.net

DRAWN: JAN
 DATE: 09/28/2018
 HEI #: 18-140

SHEET NO:
 LP-1



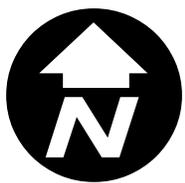
SP2019-017 - SITE PLAN FOR AN ANIMAL BOARDING/KENNEL
SITE PLAN- LOCATION MAP = 

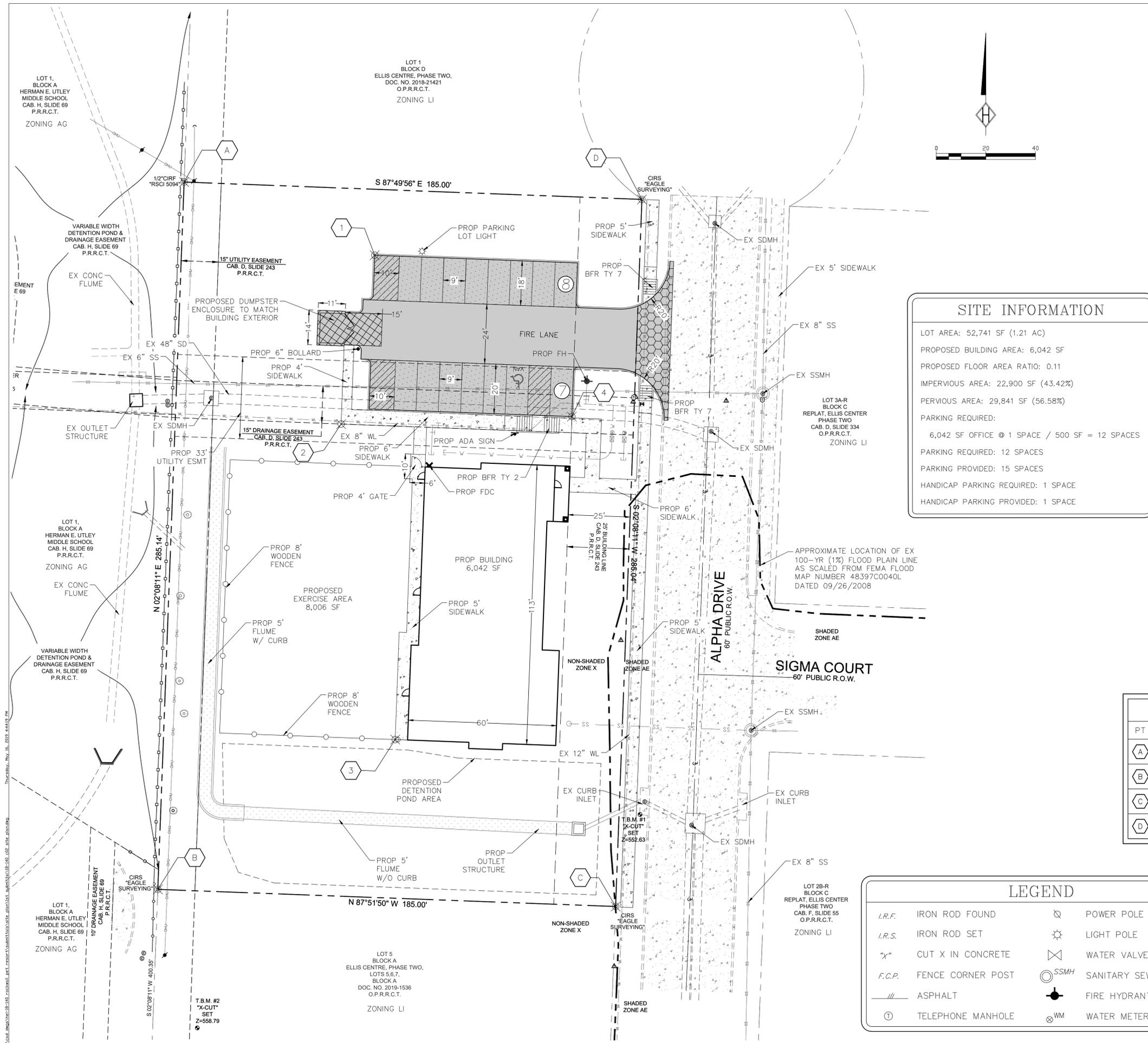


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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SITE INFORMATION

LOT AREA: 52,741 SF (1.21 AC)
 PROPOSED BUILDING AREA: 6,042 SF
 PROPOSED FLOOR AREA RATIO: 0.11
 IMPERVIOUS AREA: 22,900 SF (43.42%)
 PERVIOUS AREA: 29,841 SF (56.58%)
 PARKING REQUIRED:
 6,042 SF OFFICE @ 1 SPACE / 500 SF = 12 SPACES
 PARKING PROVIDED: 12 SPACES
 PARKING PROVIDED: 15 SPACES
 HANDICAP PARKING REQUIRED: 1 SPACE
 HANDICAP PARKING PROVIDED: 1 SPACE

PAVEMENT LEGEND

	DUMPSTER PAVEMENT PROPOSED 8" 4,000 PSI CONC. @ 28 DAYS WITH #4 BARS @ 18" O.C.E.W. (DOUBLE MAT)
	DRIVEWAY PAVEMENT PROPOSED 8" 4,000 PSI CONC. @ 3 DAYS WITH #4 BARS @ 18" O.C.E.W.
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LEGEND

I.R.F.	IRON ROD FOUND		POWER POLE
I.R.S.	IRON ROD SET		LIGHT POLE
"X"	CUT X IN CONCRETE		WATER VALVE
F.C.P.	FENCE CORNER POST		SANITARY SEWER MANHOLE
	ASPHALT		FIRE HYDRANT
	TELEPHONE MANHOLE		WATER METER

PRELIMINARY PLANS

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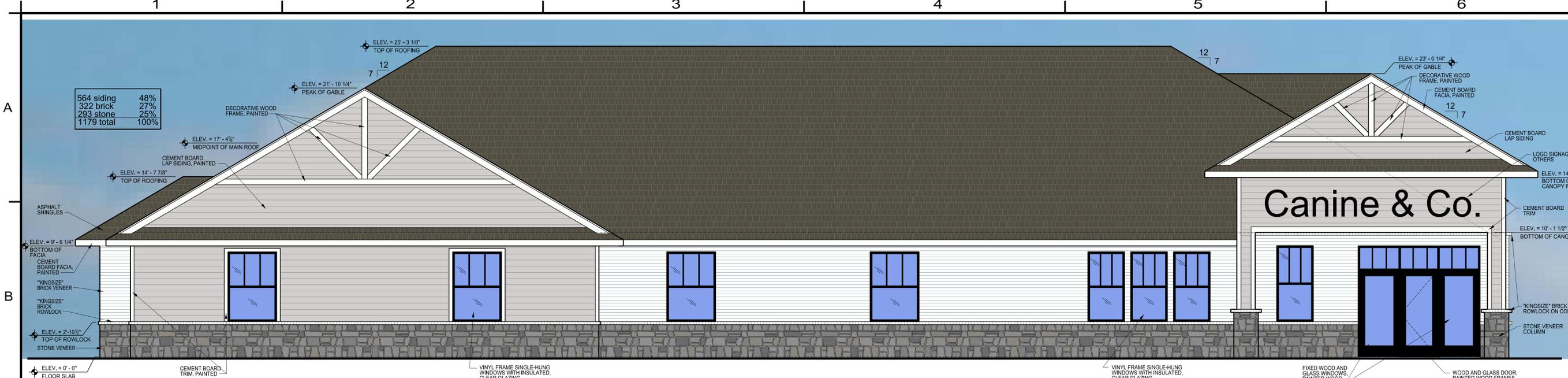
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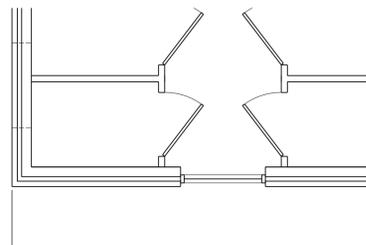
SITE PLAN

DRAWN: JAN
 DATE: 09/28/2018
 HEI #: 18-140
 SHEET NO:
 C2



01 Front (East) Elevation

1/4"=1'-0"



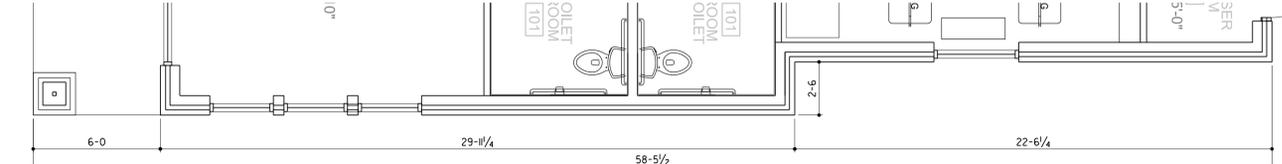
01A Plan Reference

1/4"=1'-0"



02 Side (North) Elevation

1/4"=1'-0"



02A Plan Reference

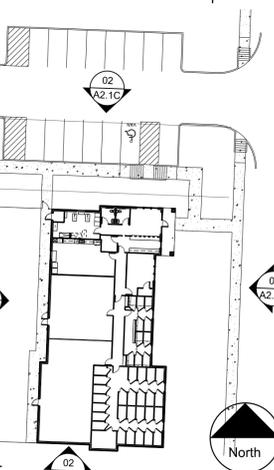
1/4"=1'-0"

03 Material Board



04 Key Plan

1"=40'



Phillip Morse, Architect
PlacesMade architecture
2840 Keller Springs Road
Suite 503
Carrollton, Texas 75006
214-888-7074
www.placesmadedetail.com

places **made** architecture
"made up places made real"

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PlacesMade architecture
Phillip Morse, TX Reg No. 17037
The Texas Board of Architectural Examiners has jurisdiction over complaints regarding the professional practices of persons registered as Architects in TX. PO Box 12337, Austin, TX 78711-2337. Ph. 512-305-9000. www.tbaa.org

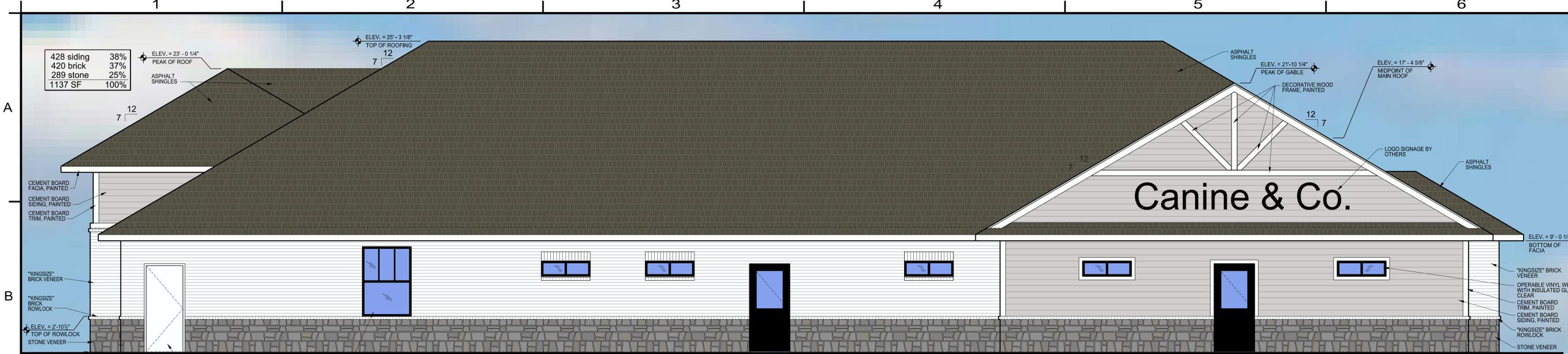
TRI-STAR CONSTRUCTION, INC.
GENERAL CONTRACTORS
Building #2
3601 Yucca Drive
Flower Mound, Texas 75028
972.221.5558
www.tristarcorp.org

New Building for:
Canine and Co. Resort, LLC
Alpha Drive @ Sigma Court
Rockwall, TX 75087

Project No. 17004
Date September 2017

Revisions
No. Date
For Review 05-02-19
For Review 05-14-19
For Review 05-15-19

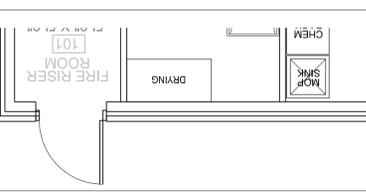
scale verification
1"=1'
Sheet
A2.1C
Color Elevations



428 siding	38%
420 brick	37%
289 stone	25%
1137 SF	100%

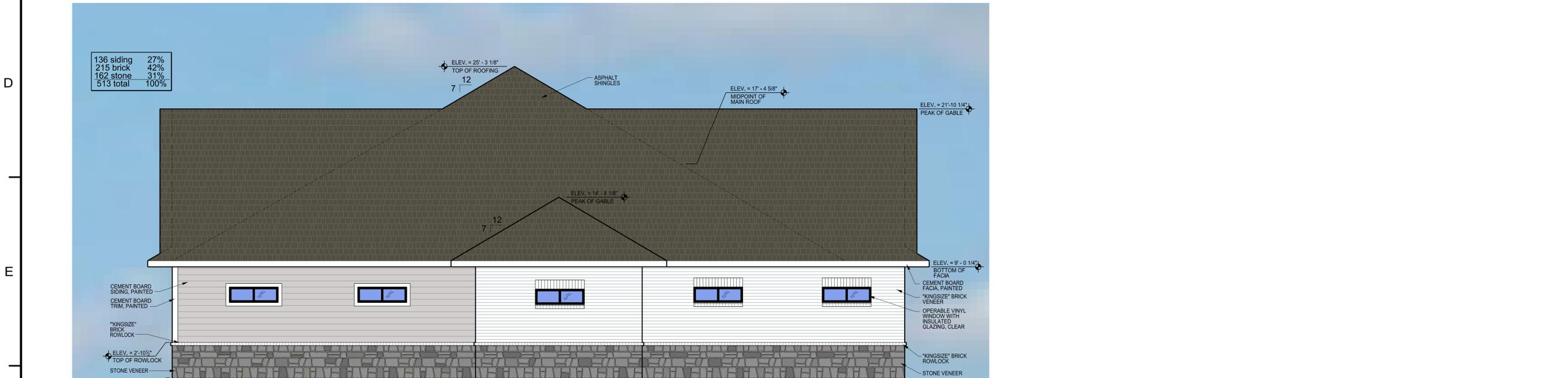
01 Rear (West) Elevation

1/4"=1'-0"



01A Plan Reference

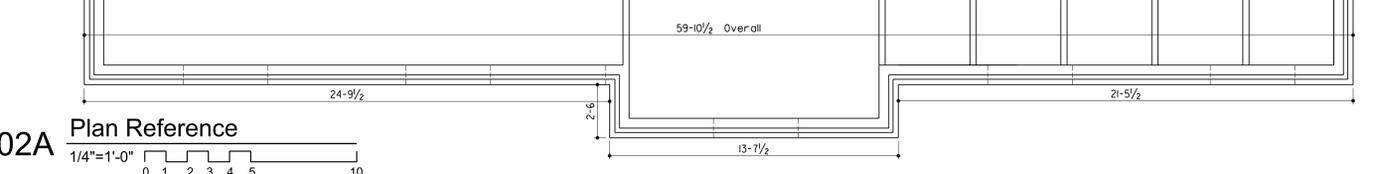
1/4"=1'-0"



136 siding	27%
215 brick	42%
162 stone	31%
513 total	100%

02 Side (South) Elevation

1/4"=1'-0"



02A Plan Reference

1/4"=1'-0"

places made
architecture
"made up places made real"

Phillip Morse, Architect
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New Building for:
Canine and Co. Resort, LLC
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Rockwall, TX 75087

Project No.	17004
Date	September 2017
Revisions	
No.	Date
	For Review 05-02-19
	For Review 05-14-19
	For Review 05-15-19

scale verification
1" = 1"

Sheet
A2.2C
Color Elevations

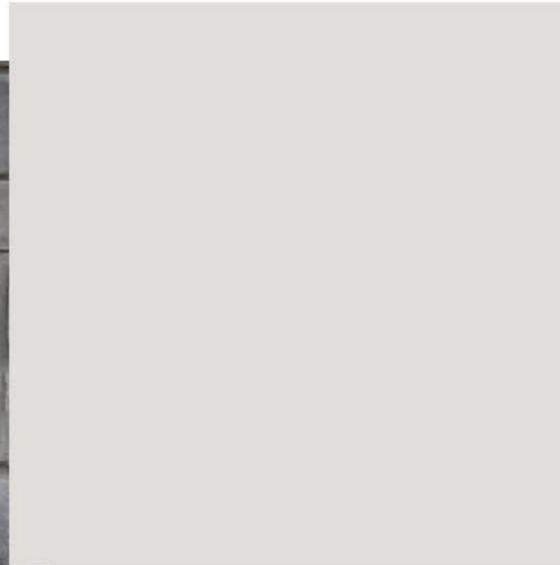
03 Material Board



REQUISITE GRAY
SHERWIN WILLIAMS
SW7023 PAINT



GREY LEUDERS STONE



ORIGINAL WHITE
SHERWIN WILLIAMS
SW7077 PAINT



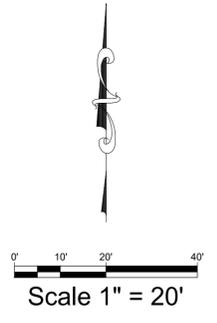
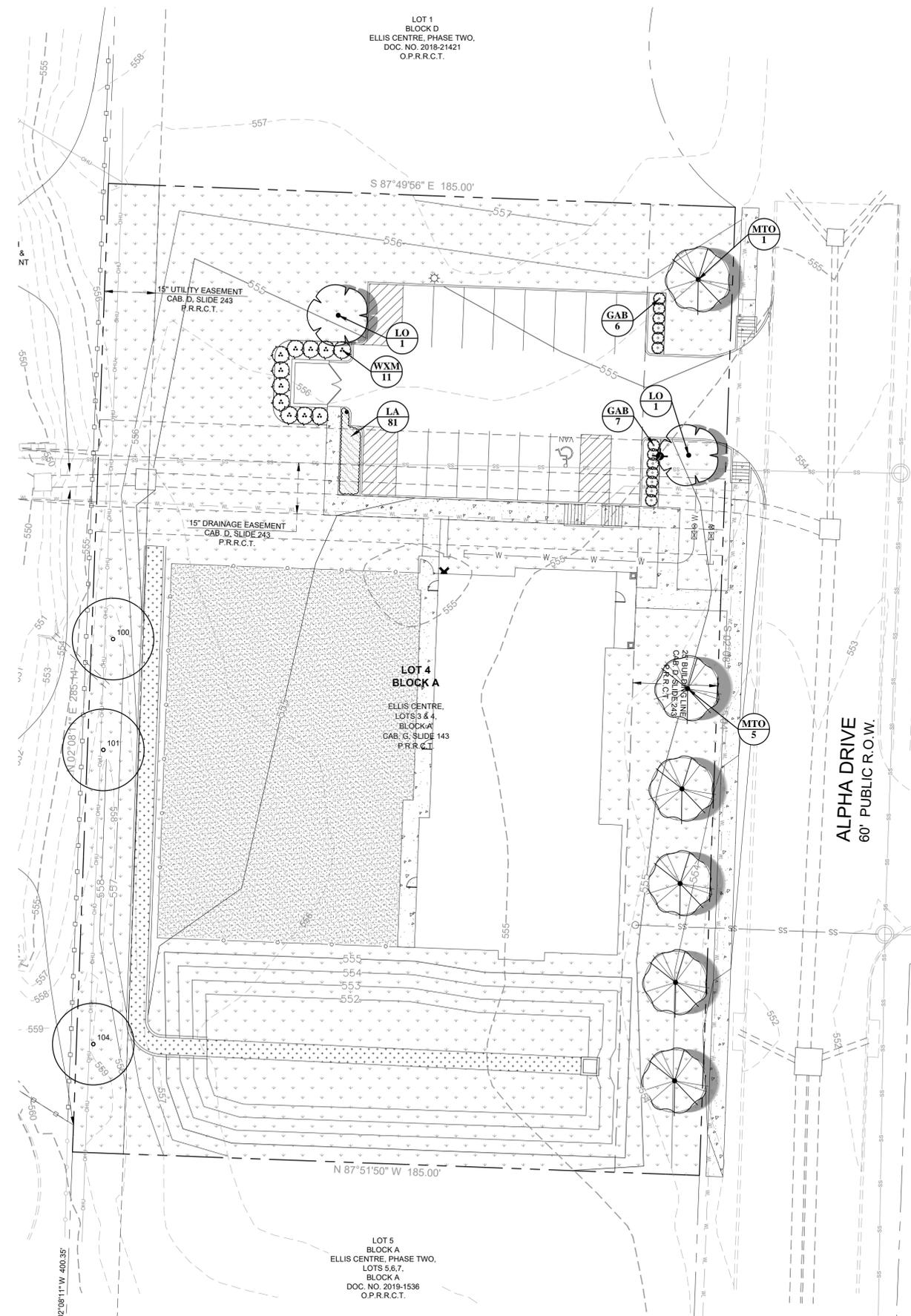
ONYX BLACK
OWENS CORNING
ASPHALT SHINGLES



PAINTED BRICK TO
MATCH SW7077



PLYGEM BLACK
VINYL WINDOWS



PLANT SCHEDULE

TREES	CODE	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE	QTY
EX		Existing Tree to Remain Reference TS sheets for additional info	EXIST.	EXIST.	EXIST.	3
LO		Live Oak / Quercus virginiana parking lot tree	CONT.	2" Cal	10-12' ht.	2
MTO		Cedar Elm / Ulmus crassifolia street tree	CONT.	2" Cal	10-12' ht.	6

SHRUBS	CODE	COMMON NAME / BOTANICAL NAME	SIZE	QTY
GAB		Glossy Abelia / Abelia grandiflora 36" o.c.	5 gal	13
WXM		Southern Wax Myrtle / Myrica cerifera 60" o.c.; 60" ht.	per ht.	11

SHRUB AREAS	CODE	COMMON NAME / BOTANICAL NAME	CONT	SPACING	QTY
LA		Aztec Grass / Liriope muscari 'Aztec'	1 gal	15" o.c.	81

GROUND COVERS	CODE	COMMON NAME / BOTANICAL NAME	CONT	QTY
AT		Artificial Turf - submit for owner approval install per manufacturer	n/a	7,939 sf
CT		Bermuda Grass / Cynodon dactylon 'Tif 419'	sod	28,574 sf

GENERAL PLANTING NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES IN LANDSCAPE AREAS AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ENSURE THAT THE GRADE IN SHRUB AREAS SHALL BE 2" BELOW FINISH GRADE AFTER INSTALLING SOIL AMENDMENTS, AND 1" BELOW FINISH GRADE IN SOD AREAS AFTER INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC (DeWITT "PRO-5" OR EQUAL) UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING BEDS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- INSTALL 1/4" GREEN STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS, AND BETWEEN GROUNDCOVERS AND OTHER PLANTS (WHERE INDICATED ON THE PLAN).
- HYDROMULCH ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD. ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE CALCULATIONS

CURRENT ZONING: GR (GENERAL RETAIL)
 TOTAL SITE AREA: 52,741 SF
 LANDSCAPE AREA REQUIRED: 7,911 SF (15% OF SITE AREA)
 LANDSCAPE AREA PROVIDED: 37,808 SF (71% OF SITE AREA)

LANDSCAPE BUFFER STRIP
 LANDSCAPE BUFFER STRIP REQUIRED @ ALPHA DR.: 25'
 LANDSCAPE BUFFER STRIP PROVIDED @ ALPHA DR.: 25'

STREET LANDSCAPING
 ALPHA DR.:
 TREES REQUIRED (1 PER 50 LF): 6 (285 LF / 50 = 6)
 TREES PROVIDED: 6 (3" CAL.)

RIGHT-OF-WAY LANDSCAPING
 R/W LANDSCAPE REQUIRED (GRASS OR GROUNDCOVER) PROVIDED

PARKING LOT LANDSCAPING
 TOTAL PARKING SPACES REQUIRED: 16 SPACES
 TOTAL PARKING SPACES PROVIDED: 20 SPACES
 PARKING LOT LANDSCAPING REQUIRED: N/A (LESS THAN 20,000 SF / 2 ROWS)

IRRIGATION
 PROPOSED IRRIGATION DESIGN WILL MEET THE REQUIREMENTS OF THE UDC.
 * UNDERSTORY TREES PROVIDED ADJACENT TO EXISTING OVERHEAD UTILITIES.

PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.

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REGISTERED LANDSCAPE ARCHITECT
 DANIEL RECCE
 STATE OF TEXAS
 5-16-19

DRAWN: JAN
 DATE: 09/28/2018
 HEI #: 18-140

SHEET NO:
 LP-1

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:**
- FURNISH PLANTS COMPLYING WITH ANSI Z60.1-2004. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-FOOT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD:** PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. SEED:** PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL:** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST:** WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 6.8, MOISTURE CONTENT 35 TO 65 PERCENT BY WEIGHT, 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE, SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER:** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- H. MULCH:** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- I. WEED FABRIC:** 5 OUNCE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL).
- J. TREE STAKING AND GUYING**
- STAKES: 1/2" LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- K. STEEL EDGING:** PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
- L. PRE-EMERGENT HERBICIDES:** ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
 - CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - AMMONIUM PHOSPHATE 16-20-4 - 15 LBS PER 1,000 S.F.
 - AGRICULTURAL GYPSUM - 100 LBS PER 1,000 S.F.
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER - 10 LBS. PER CU. YD.
 - AGRICULTURAL GYPSUM - 10 LBS. PER CU. YD.
 - IRON SULFATE - 2 LBS. PER CU. YD.
 - CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
 - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- B. GENERAL PLANTING**
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 - EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 - TRENCHING NEAR EXISTING TREES:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT BREST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

- C. TREE PLANTING**
- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
 - SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 - FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 - THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. IF TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1/2" TREES - TWO STAKES PER TREE
 - 2-1/2" 4" TREES - THREE STAKES PER TREE
 - TREES OVER 4" CALIPER - GUY AS NEEDED
 - MULTI-TRUNK TREES - THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).

- D. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING**
- DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

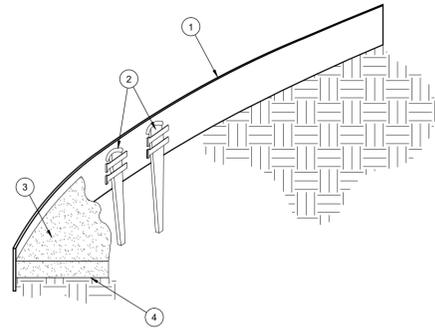
- E. SODDING**
- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

- F. HYDROMULCHING**
- TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - WINTER MIX (OCTOBER 1 - MARCH 31)
 - 50# CELLULOSE FIBER MULCH
 - 2# UNHULLED BERMUDA SEED
 - 2# ANNUAL RYE SEED
 - SUMMER MIX (APRIL 1 - SEPTEMBER 30)
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - 50# CELLULOSE FIBER MULCH
 - 2# HULLED BERMUDA SEED
 - SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - GENERAL
 - 50# CELLULOSE FIBER MULCH
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - SEED RATE PER LEGEND

- G. CLEAN UP**
- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- H. INSPECTION AND ACCEPTANCE**
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

- I. LANDSCAPE MAINTENANCE**
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 - SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
 - TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

- J. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 - AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- K. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.**

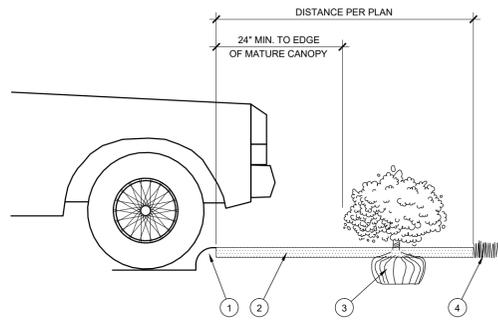


- ROLLED-TOP STEEL EDGING PER PLANS.
- TAPERED STEEL STAKES.
- MULCH, TYPE AND DEPTH PER PLANS.
- FINISH GRADE.

- NOTES:
- INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 - BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 - TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

C STEEL EDGING

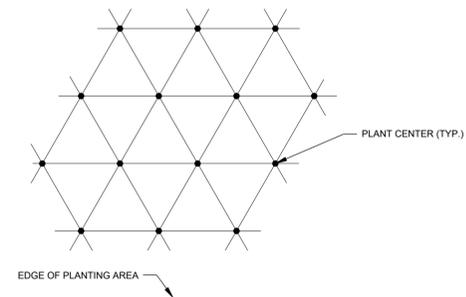
SCALE: NOT TO SCALE



- CURB.
- MULCH LAYER.
- PLANT.
- TURF (WHERE SHOWN ON PLAN).

D HEDGE PLANTING AT PARKING AREA

SCALE: NOT TO SCALE



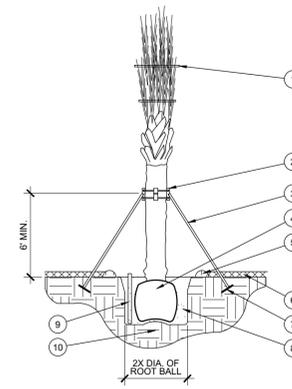
NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

PLANT SPACING	AREA DIVIDER TO DETERMINE NO. OF PLANTS
6"	0.25
8"	0.45
10"	0.69
12"	1
15"	1.56
18"	2.25
24"	4
30"	6.25
36"	9

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF OF PLANTING AREA = 100/2.25 = 44 PLANTS

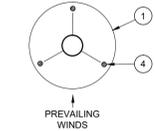
E PLANT SPACING

SCALE: NTS



- BIODEGRADABLE TWINE.
- PALM BRACE SYSTEM.
- 2" X 4" SUPPORT, TOENAIL TO BRACE SYSTEM (3) - DO NOT NAIL TO PALM.
- ROOT BALL.
- 4" HIGH TEMPORARY WATERING BASIN.
- MULCH PER PLANS. DO NOT ALLOW MORE THAN 1" OF MULCH WITHIN 12" OF TRUNK.
- 2" X 4" X 12" DEADMAN, BURIED 12" MIN. BELOW GRADE.
- BACKFILL MIX PER SPECIFICATIONS AND SOIL TEST RECOMMENDATIONS.
- 4" PERFORATED PVC WATER MONITORING TUBE WRAPPED IN FILTER FABRIC (ANY APPROVED) - TWO PLACES AROUND PALM.
- UNDISTURBED SUBGRADE.

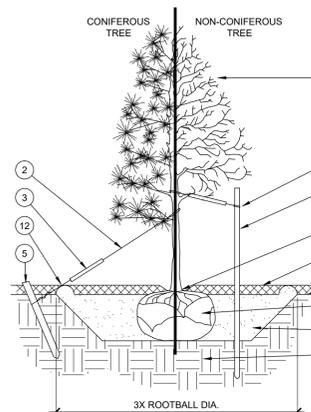
BRACING - PLAN VIEW



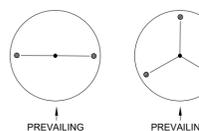
- NOTES:
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING PALM.
 - THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ZONE OF ROOT INITIATION IS 3" BELOW FINISH GRADE.
 - DO NOT REMOVE ANY LIVE TWINE SO THAT THE FRONDS MAY MOVE, BUT THE TERMINAL BUD IS PROTECTED.

F PALM PLANTING

SCALE: NOT TO SCALE



STAKING EXAMPLES (PLAN VIEW)

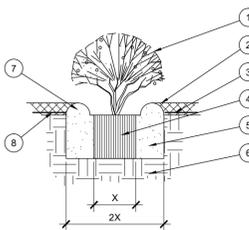


- NOTES:
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3" ABOVE FINISH GRADE.
 - FOR 8-8 TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 - REMOVE ALL NURSERY STAKES AFTER PLANTING.
 - FOR TREES OVER 3" CALIPER AND TREES 36" BOX AND LARGER, USE THREE STAKES OR DEADMAN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
 - STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING

SCALE: NOT TO SCALE

- SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.
- WEED FABRIC UNDER MULCH.



B SHRUB/PERENNIAL PLANTING

SCALE: NTS

HOMEYER ENGINEERING, INC.
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 TBE FIRM REGISTRATION NO. F-8440
 P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029
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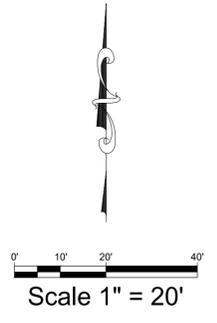
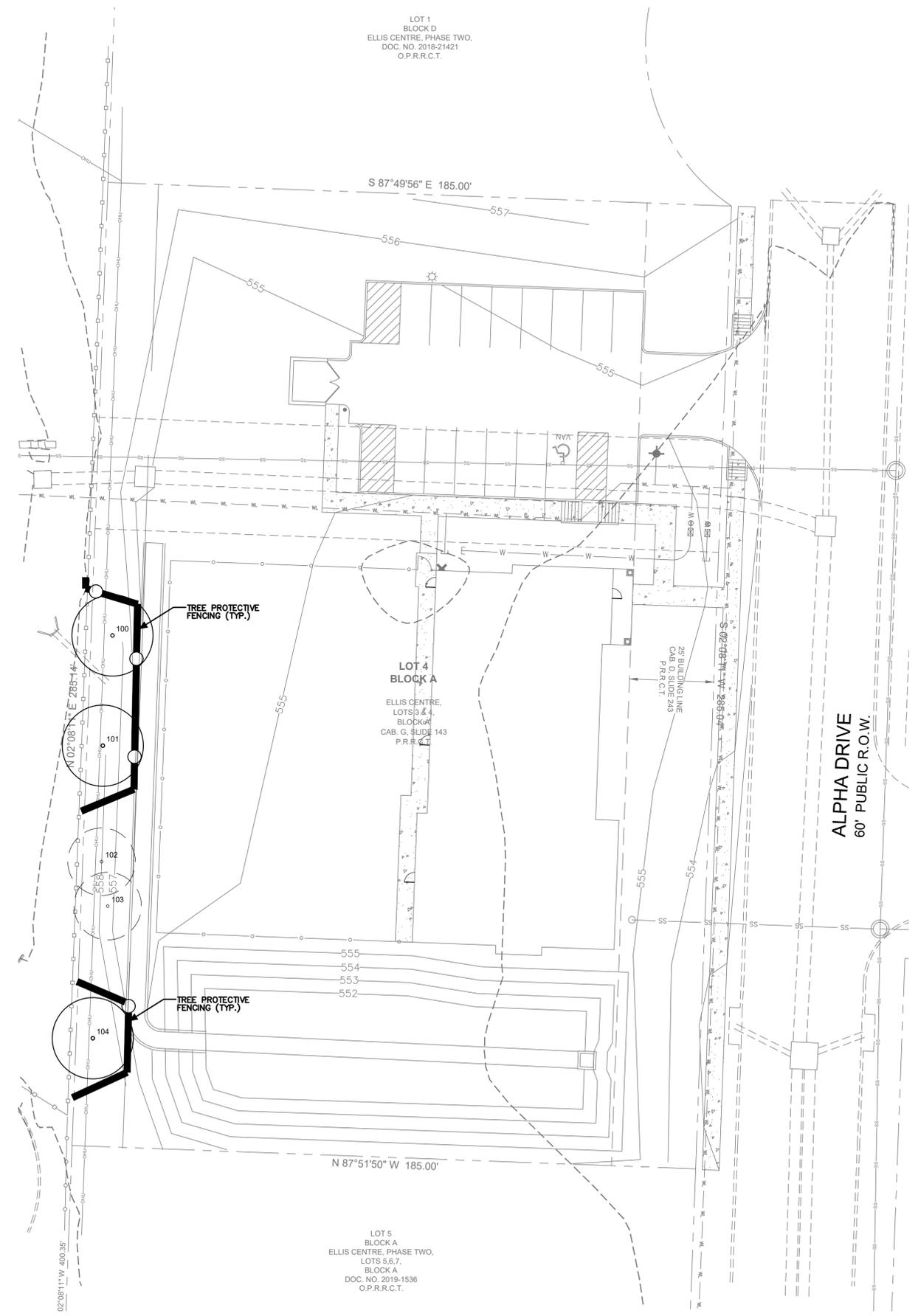


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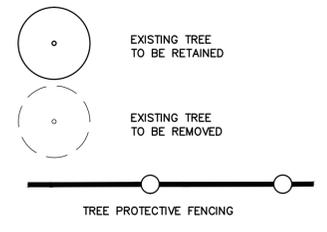
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 DATE: 09/28/2018
 HEI #: 18-140

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DOC. NO. 2018-21421
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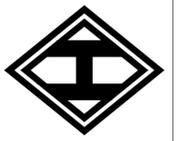


LEGEND



ID	SIZE/TYPE	REMOVED	MITIGATION
100	12" CEDAR	NO	NO
101	12" CEDAR	NO	NO
102	10" CEDAR	YES	NO
103	10" CEDAR	YES	NO
104	12" CEDAR	NO	NO

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DRAWN: JAN
DATE: 09/28/2018
HEI #: 18-140

SHEET NO:
TS-1

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TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

ALL TREES AND SHRUBS (SHOWN TO REMAIN) WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.

EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST (AND OBTAIN ALL REQUIRED PERMITS) TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING. ENSURE ALL TREES RECEIVE A COMMERCIAL-GRADE ROOT STIMULATOR APPLICATION AFTER PRUNING.

PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE DRIFLINE AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST OR IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS AT THE DRIP LINE OF TREES (ROOT PROTECTION ZONE, RPZ) AND/OR LANDSCAPE PLANT MATERIAL INCLUDING NATURAL AREAS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.

PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.

THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.

THE INSTALLATION POSTS WILL BE PLACED EVERY 6 FEET AROUND THE DRIP LINE OR RPZ AND EMBEDDED TO 18 INCHES DEEP. FABRIC ATTACHMENT SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE 'T-POSTS' TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.

- DO NOT CLEAR, FILL OR GRADE IN THE RPZ OF ANY TREE.
- DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
- DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE SPREAD OF THE TREE BRANCHES.
- DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE SPREAD OF THE TREE BRANCHES (EX. PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
- DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
- DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE RPZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE RPZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.

ROUTE UNDERGROUND UTILITIES TO AVOID THE RPZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

THE CONTRACTOR SHOULD AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION.

REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.

TREES DAMAGED OR LOST DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S SATISFACTION.

ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER PRIOR TO ITS REMOVAL.

COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.

IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THOSE AREAS WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

WATER ALL TREES, MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

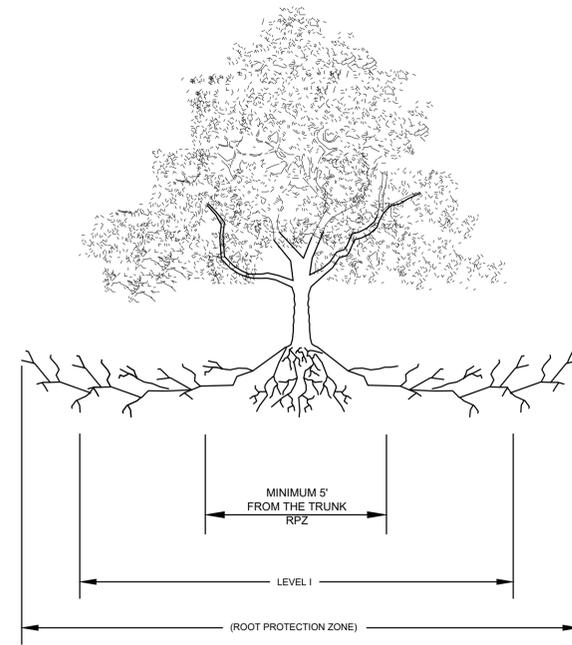
WHEN AN EXCAVATION OR EMBANKMENT IS PLACED WITHIN THE DRIFLINE OF ANY TREE GREATER THAN EIGHT INCHES IN DIAMETER, A TREE WELL SHALL BE CONSTRUCTED TO PROTECT THE TREE AS INDICATED, WHEN THE CUT OR FILL EXCEEDS EIGHT INCHES.

WHERE PAVING OR FILLING IS NECESSARY WITHIN THE DRIFLINE OF ANY TREE EIGHT INCHES OR GREATER, A PERMEABLE PAVEMENT AND AERATION SYSTEM MUST BE INSTALLED.

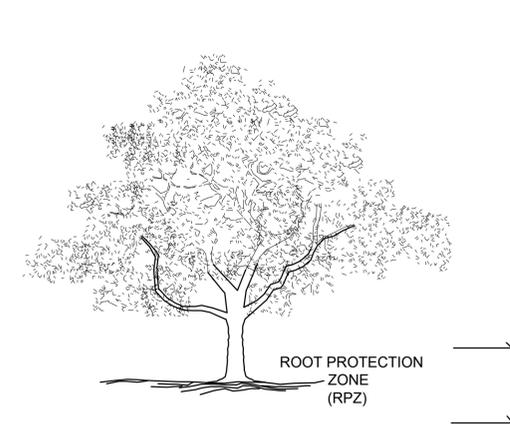
CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION REQUIREMENTS

- A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADIUS EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAR FOOT FOR EACH INCH DIAMETER INCH AT BREAST HEIGHT (4.5') OF THE TREE. EXAMPLE: A 10-INCH DIAMETER TREE WILL HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE.
- NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
- ALL ROOTS LARGER THAN ONE-INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
- EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
- NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR MIGRATE TO THE ROOT PROTECTION ZONE.
- NO GRADE CHANGE MORE THAN 3" IS ALLOWED WITHIN THE ROOT PROTECTION ZONE.
- ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. ALL WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT OAK WILT INFECTION (OAK TREES ONLY).
- ANY TREE REMOVAL SHALL BE APPROVED BY THE LOCAL JURISDICTION'S ARBORIST.
- TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE REPLACED WITH TREE QUANTITIES AND SIZES ACCEPTABLE TO THE LOCAL JURISDICTION.
- TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND/OR WASHING FOLIAGE.
- NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.
- THE ROOT PROTECTION ZONE SHALL BE PRESERVED AT NATURAL GRADE. NO CUTTING, FILLING, TRENCHING, ROOT DISTURBANCE, SOIL DISTURBANCE, OR CONSTRUCTION SHALL OCCUR CLOSER TO THE TRUNK THAN ONE-HALF (1/2) THE ROOT PROTECTION ZONE RADIUS EXCEPT IN PARKING AREAS, WHERE APPROVED ALTERNATIVE MATERIALS AND METHODS MAY BE USED AND CONSTRUCTION MAY OCCUR AS CLOSE AS FIVE (5) FEET FROM THE ROOT FLARES ON ONE SIDE OF THE TREE. NATIVE UNDERSTORY VEGETATION WITHIN THE ROOT PROTECTION ZONE SHALL BE PRESERVED, HOWEVER THE REQUIREMENT DOES NOT APPLY TO ROOT PROTECTION ZONE AREAS THAT HAVE BEEN LANDSCAPED. THE ROOT PROTECTION ZONE MAY BE SHIFTED AND CLUSTERED AS LONG AS THERE IS NO CONSTRUCTION CLOSER TO THE TRUNK THAN ONE-HALF (1/2) THE ROOT PROTECTION ZONE RADIUS. THE CONSTRUCTION OF SIDEWALKS SHALL BE ALLOWED IN THE ROOT PROTECTION ZONE, AS LONG AS EXCAVATION DOES NOT EXCEED THREE (3) INCHES.
- DURING CONSTRUCTION ACTIVITY ON SITE, AT LEAST A SIX-INCH LAYER OF A COARSE MULCH SHALL BE PLACED AND MAINTAINED OVER THE ROOT PROTECTION ZONE. THE IMPERVIOUS COVER MAY ENCR OACH WITHIN THE ROOT PROTECTION ZONE IF SAID ENCR OACHMENT IS APPROVED BY THE ARBORIST.



A TREE PROTECTION FENCE - ELEVATION
SCALE: NOT TO SCALE



6" MULCH INSIDE RPZ

NOTES:

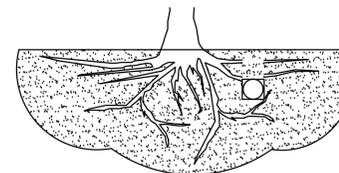
- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

B TREE PROTECTION FENCE
SCALE: NOT TO SCALE

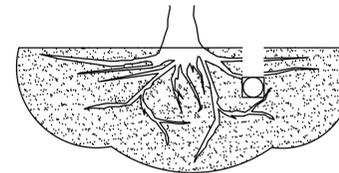
TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.

12" MIN & 48" MAX DEPTH

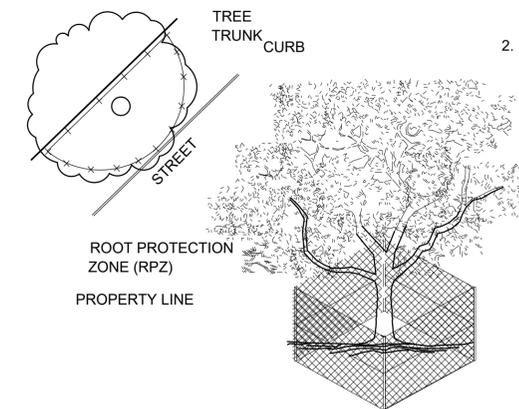


TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

D BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

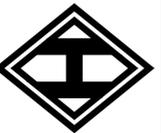


6" MULCH INSIDE RPZ
IF BARE DIRT

8" MULCH OUTSIDE RPZ
AND UNDER DRIP LINE AS MINIMAL
PROTECTION FOR ROOTS FROM
CONSTRUCTION ACTIVITIES

C TREE PROTECTION FENCE - LEVEL 2
SCALE: NOT TO SCALE

HOMEYER
ENGINEERING, INC.
TBE FIRM REGISTRATION NO. F-8440
P.O. BOX 294527 • LEWISVILLE, TEXAS • 75029
972-906-9985 PHONE • 972-906-9987 FAX
WWW.HEI.US.COM



CANINE AND CO. RESORT
1.21 ACRES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

EVERGREEN
DESIGN GROUP
(800) 680-6630
15305 Dallas Pkwy., Ste 300
Addison, TX 75001
www.EvergreenDesignGroup.com



5-16-19

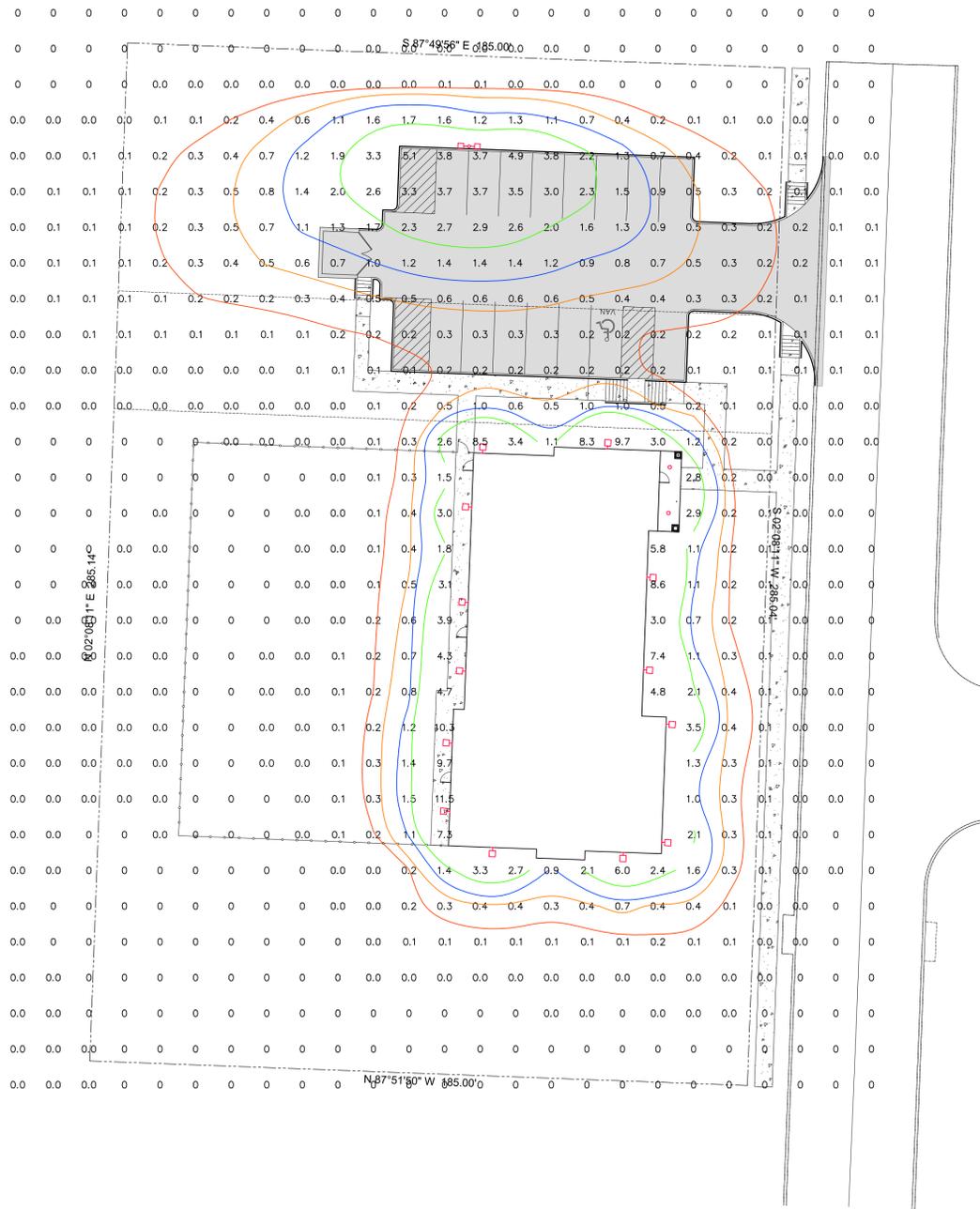
DRAWN: JAN

DATE: 09/28/2018

HEI #: 18-140

SHEET NO:
TS-2

TREE SURVEY



LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	QUANTITY
C	○	1200 lumen RL56 LED Downlight	ELECTRONIC	CEILING	EATON - HALO, RL560WH12940	120V 1P 2W	2
S2	□	PREVALE AREA AND ROADWAY LUMINAIRE(2) 70 CRI, 3000K LEDS AND TYPE III OPTICS WITH HOUSE SIDE SHIELD, BRONZE PAINTED FINISH.	ELECTRONIC	POLE	EATON - LUMARK, PRV-A40-D-UNV-T3-BZ-7030-HSS	120V 1P 2W	1
W	□	SAYLITE DCC150 SERIES	ELECTRONIC	WALL	SAYLITE - DCC150, DCC150L42W3424LMV50K	120V 1P 2W	13

GENERAL PHOTOMETRIC SCHEDULE

AVERAGE FOOT-CANDLES	0.46
MAXIMUM FOOT-CANDLES	11.5
MINIMUM FOOT-CANDLES	0.0
MINIMUM TO MAXIMUM FC RATIO	0.00
MAXIMUM TO MINIMUM FC RATIO	11.47 / 0.00
AVERAGE TO MINIMUM FC RATIO	0.46 / 0.00

CITY OF ROCKWALL OUTDOOR LIGHTING FOR NONRESIDENTIAL PROPERTIES MINIMUM REQUIREMENTS:

- A. GLARE. IN ORDER TO PRESERVE THE NIGHT SKY AND TO REDUCE GLARE ON ROADWAYS, PEDESTRIAN AREAS AND ADJACENT DEVELOPMENT, LIGHT SOURCES (E.G. LIGHT BULBS) SHALL BE ORIENTED DOWN AND TOWARD THE CENTER OF THE SITE OR SHIELDED SO AS TO NOT BE VISIBLE FROM THE PROPERTY LINE. THIS APPLIES TO REFRACTORY LENSES WHICH EXTEND BEYOND THE LIGHTING FIXTURE AND ARE DESIGNED TO REDIRECT THE LIGHTING SOURCE HORIZONTALLY. THIS DOES NOT APPLY TO NEON OR INTERNALLY LIT SIGNS, OR TO DECORATIVE LIGHTING WITH 15 WATTS OR LESS PER BULB.
- B. LIGHT AT RESIDENTIAL PROPERTY LINE. THE ALLOWABLE MAXIMUM LIGHT INTENSITY MEASURED AT THE PROPERTY LINE OF A RESIDENTIALLY ZONED LOT SHALL BE 0.2 OF ONE FOOTCANDLE.
- C. LIGHT AT NONRESIDENTIAL PROPERTY LINE. THE ALLOWABLE MAXIMUM LIGHT INTENSITY MEASURED AT THE PROPERTY LINE OF ANY NONRESIDENTIALLY ZONED LOT SHALL BE 0.2 OF ONE FOOTCANDLE. FOR PLANNED SHOPPING CENTERS OR OTHER COMMERCIAL DEVELOPMENTS THAT CONTAIN MORE THAN ONE LOT, THE PLANNING AND ZONING COMMISSION MAY CONSIDER LIGHTING PLANS THAT ARE INTENDED TO INCREASE LIGHTING EFFICIENCY AND REDUCE THE NUMBER OF OVERALL LIGHT FIXTURES, BUT RESULT IN LIGHT SPILLOVER ACROSS COMMON LOT LINES WITHIN THE SAME DEVELOPMENT. HOWEVER, IN NO CASE SHALL LIGHT LEVELS EXCEED 0.2 FC AT THE PROPERTY LINES ADJACENT TO THE STREET AND/OR ALONG THE PERIMETER OF THE DEVELOPMENT.
- D. HEIGHT. NO LIGHT POLE, BASE OR COMBINATION THEREOF SHALL EXCEED 30 FEET, UNLESS FURTHER RESTRICTED WITHIN AN OVERLAY DISTRICT AS SPECIFIED IN ARTICLE V OF THIS [UNIFIED DEVELOPMENT] CODE.
- E. BUILDING AND POLE MOUNTED LIGHTING. ALL BUILDING AND POLE MOUNTED LUMINARIES EXCEEDING 15 WATTS SHALL BE DIRECTED DOWN WITH EITHER A PARTIAL CUT-OFF OR FULL CUT-OFF SOURCE.
- F. UNDER-CANOPY LIGHTING. ALL UNDER-CANOPY LIGHTING, INCLUDING, BUT NOT LIMITED TO, THOSE FIXTURES UTILIZED AT FUELING STATIONS, DRIVE-THROUGH LANES, AND COVERED PARKING STRUCTURES, SHALL BE FULLY RECESSED INTO THE CANOPY
- G. ILLUMINATION. THE MAXIMUM OUTDOOR MAINTAINED, COMPUTED AND MEASURED ILLUMINATION LEVEL WITHIN ANY NONRESIDENTIAL DEVELOPMENT SHALL NOT EXCEED 20 FC OUTDOORS AT ANY POINT ON THE SITE, WITH THE FOLLOWING EXCEPTIONS:
 1. UNDER-CANOPY LIGHTING (E.G., FUEL STATIONS, DRIVE-THROUGH LANES AND COVERED PARKING STRUCTURES) SHALL NOT EXCEED 35 FC. THE REMAINDER OF THE PROPERTY SHALL COMPLY WITH THE 20-FC MAXIMUM.
 2. LIGHTING FOR MOTOR VEHICLE DEALERSHIPS SHALL NOT EXCEED 30 FC WITHIN THE FRONT YARD(S) OF THE DEVELOPMENT. THE REMAINDER OF THE PROPERTY SHALL COMPLY WITH THE 20-FC MAXIMUM.
- H. EXEMPTIONS. HISTORIC OR ANTIQUE-STYLE PEDESTRIAN LIGHT FIXTURES APPROVED BY THE PLANNING AND ZONING COMMISSION ARE EXCLUDED FROM THESE STANDARDS.



PROJECT:
 TRISTAR
 ROCKWALL PET RESORT
 LOT 3 & 4 BLOCK A, ELLIS CENTRE
 ROCKWALL, TX, 75087



J. MARTIN MONTGOMERY
 REGISTERED PROFESSIONAL
 ENGINEER STATE OF TEXAS - NO.
 90427
 RCS ENTERPRISES, LP F-2071

NO.	DATE	REVISION HISTORY	
		DESCRIPTION	

ISSUE DATE: 05/09/2019

DRAWN BY: RF

SCALE: N.T.S. 24x36

SHEET NUMBER:

E1.1

City of Rockwall Project Plan Review History



Project Number SP2019-018	Owner SARO Partners LLC	Applied 5/21/2019	DG
Project Name Office/Warehouse	Applicant Platinum Construction	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
Site Address 1491 T L Townsend Dr		City, State Zip ROCKWALL, TX 75087	
Subdivision Bodin Industrial Addition		Tract	Block A
		Lot No 6	Parcel No
			General Plan
			Zoning

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/21/2019	5/28/2019	5/24/2019	3	APPROVED	
ENGINEERING (5/23/2019 3:56 PM SH) - 4% Engineering Fees. - Impact fees. - All parking adjacent to the building to be 20'x9' and others to be 18'x9'. - Must show all existing and proposed utilities. - If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'. Minimum width is 24'. - Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls. - Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line. - Easements must be included on the plat. - Must have detention. Manning's C value is per zoning and is for the entire site. - There are multiple drainage basins on this site. Must not increase water to any basin. - Dumpster is currently blocked by parking. - No walls in detention. Grading at 4:1 max. - Line up the driveway with Trowbridge. - Must install a 5' sidewalk along Townsend. - Water and sewer available. - Must meet all City Standards of Design and Construction. - No trees within 5' of water line in Townsend Blvd. ROW. ROW must be sodded prior to acceptance.	Sarah Hager	5/21/2019	5/28/2019	5/23/2019	2	COMMENTS	
FIRE	Ariana Hargrove	5/21/2019	5/28/2019	5/23/2019	2	COMMENTS	see comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(5/23/2019 4:25 PM AA)							
An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.							
Fire hydrants shall be provided within 600-ft. to all portions of the buildings exterior walls.							
Fire hydrants utilized to meet the requirements of this section shall be available to fire department personnel with no obstructions, which cannot be crossed by fire fighters pulling hose lines.							
Proposed new fire hydrants shall be indicated on the plans.							
Existing fire hydrants to be considered for the use shall be indicated on the plans.							
Presence of automatic fire sprinkler system shall be indicated on the plans.							
Size and location of the underground water line servicing the fire sprinkler system shall be indicated on the plans.							
The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.							
A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.							
GIS	Lance Singleton	5/21/2019	5/28/2019	5/22/2019	1	APPROVED	See comments
(5/22/2019 11:52 AM LS)							
Address will be: 1491 S T L TOWNSEND DR, ROCKWALL, TX 75032							
PLANNING	Korey Brooks	5/21/2019	5/28/2019	5/23/2019	2	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-018 Site Plan for Office/Warehouse: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
1.						This is a request by Annalyse Valk of Platinum Construction on behalf of Shawn Valk of Saro Partners, LLC for the approval of a site plan for a multi-tenant office/warehouse facility on a 2.21-acre tract of land identified as Lot 6, Block A, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive.
2.						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
3.						For reference, include the case number (SP2019-018) in the lower right hand corner of all pages on future submittals.
4.						Sheet S-1—Please add the following to the site data table: pervious vs. impervious area and %, req. parking, office SF, warehouse SF.
5.						Sheet S-1—Please add engineering information (e.g. all easements, radii, topo, etc) graphic scale, vicinity map.
6.						Sheet S-1—Please label property line.
7.						Sheet S-1---Please show full extent of T.L. Townsend and label centerline.
8.						Sheet S-1—What is the hatch pattern covering the site? Please remove
9.						Sheet S-1—Please show fireline and one shade of grey and non-firelane/sidewalks as a lighter shade.
10.						Sheet S-1—Please show all sidewalks
11.						Sheet S-1—Please provide paving material and depth.
12.						Sheet S-1--what is the hatch pattern closest to the buildings?
13.						Sheet S-1—Please show all building setbacks and landscape buffers.
14.						Sheet S-1—Please show adjacent properties and provide property information.
15.						Sheet S-1—Please note that as drawn, this will need variances to horizontal articulation.
16.						Sheet S-1—Please note that Building B appears to be too close to the property line. Please provide dimension from building to all property lines.
17.						Sheet S-1—Please note that parking spaces are 9x20. Please dimension a typical parking space.
18.						Sheet S-1—Please label the space between each group of parking spaces.
19.						Sheet S-1—What are the “L” shape lines next to each of the doors on Building A?
20.						Sheet S-1—Please note that no parking space shall be more than 80-feet from a large tree.
21.						Sheet S-1—Please provide owner/engineer/developer information on site plan.
22.						Sheet S-1—Please note that the dumpster enclosure shall be 6-feet in height and constructed of materials matching main structure with opaque self-latching gate. Please add note to plans.
23.						Sheet S-1—Please note that all plans need to be prepared by a registered architect, engineer, or landscape architect. There does not appear to be any engineer/architect seal on the site plan.
24.						Sheet L-1—Please note that the min caliper-inch off trees is 4 caliper inches.
25.						Sheet L-1—Please provide vicinity map
26.						Sheet L-1—For clarity, please do not show stippling under the tree symbols.
27.						Sheet L-1—Please show the full extent of TL. Townsend and show and label centerline.
28.						Sheet L-1—Please note that no parking space shall be more than 80-feet from a large tree.
29.						Sheet L-1—For clarity, please see note above regarding pavement/firelane shading.
30.						Sheet L-1—Please dimension a typical parking space.
31.						Sheet L-1—Please label the large space between the groups of parking spaces at Building B.
32.						Sheet L-1—Please show all sidewalks
33.						Sheet L-1—Please note that the building footprints are not consistent with the site plan.
34.						Sheet L-1—Please provide site data table
35.						Sheet L-1—Please show and label adjacent properties.
36.						Sheet L-1—Please dimension drive approach.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
37.						Sheet T-1—Please see notes from L-1
38.						Sheet E1.1—Please remove the hatch from the site.
39.						Sheet E1.1—Please darken and label property line
40.						Sheet E1.1—Please site data table
41.						Sheet E1.1—Please provide vicinity map
42.						Sheet E1.1—Please show and label adjacent properties.43. Sheet E1.1—Please provide graphic scale
44.						Sheet E1.2—Please note that all fixtures must be fully shielded and pointed downward. The third fixture shown on this page is not fully shielded.
45.						Sheet E1.1—Please note that the building footprints are not consistent with site plan and landscape plan.
46.						Sheet A-2—Please add site data table
47.						Sheet A-2—Please note that each building needs its own set of elevations.
48.						Sheet A-2—Please indicate which elevation faces the street.
49.						Sheet A-2—Please note that as drawn, the building elevations will need several variances: vertical and horizontal articulation, 4-sided architecture, no stone. All 4 sides of the buildings will need to be architectural finished with the same materials and elements as the front.
50.						Sheet A-2—Please note that the min stone requirement is 20%
51.						Sheet A-2—Please dash-in rooftop units on all elevations and show how they will be screened.
52.						Sheet A-2—Please note that although this sheet refers to Building B, the two material percentage charts at the bottom of the page refer to Building A.
53.						Sheet A-2—Building B, South Elevation notes the same scale as the North Elevation, however, they are not drawn to the same scale.
54.						Sheet A-2—Building B, North Elevation appears to show a tower element projecting from the facade; however, the South Elevation does not show a projecting element.
55.						The Architectural Review Board (ARB) meeting for this case will be held on May 28, 2019 at 5:00 p.m.
56.						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 4, 2019. The Planning and Zoning Worksession for this case will be May 28, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be June 11, 2019

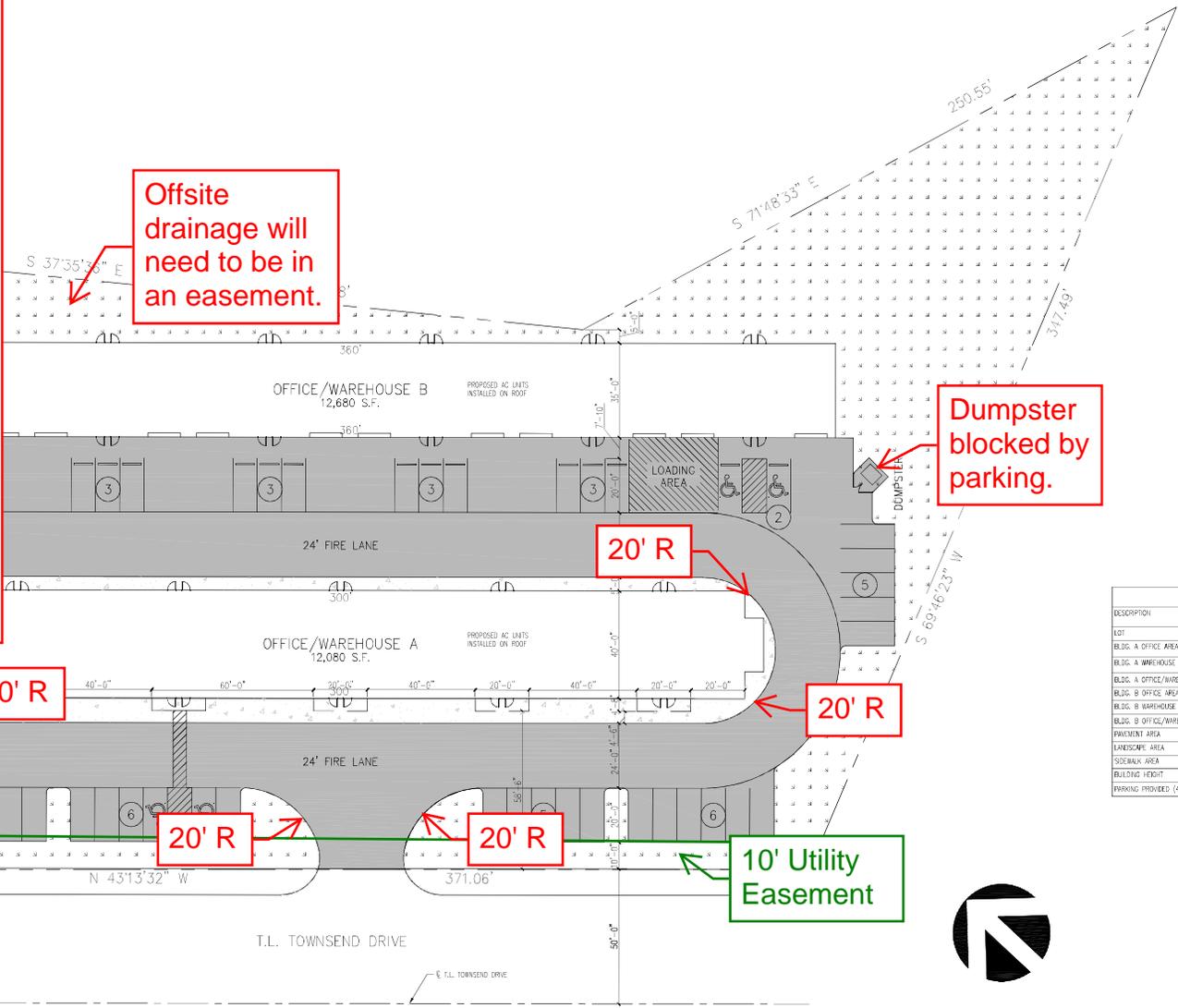
- 4% Engineering Fees.
- Impact fees.
- All parking adjacent to the building to be 20'x9' and others to be 18'x9'.
- Must show all existing and proposed utilities.
- If building height exceeds 30' tall, the fire lane radii must be 30' or radius of 20'.
- Minimum width is 24'.
- Retaining walls 3' and over must be designed by an engineer. All retaining walls to be rock or stone face. No smooth concrete walls.
- Min easement is 20'. Water, sewer, and storm lines must have 10' of easement on both sides of the line.
- Easements must be included on the plat.
- Must have detention. Manning's C value is per zoning and is for the entire site.
- There are multiple drainage basins on this site. Must not increase water to any basin.
- Dumpster is currently blocked by parking.
- No walls in detention. Grading at 4:1 max.
- Line up the driveway with Trowbridge.
- Must install a 5' sidewalk along Townsend.
- Water and sewer available.
- Must meet all City Standards of Design and Construction.

Offsite drainage will need to be in an easement.

Dumpster blocked by parking.

18" RCP storm inlet here. May need to adjust per final grades.

10' Utility Easement



SITE SUMMARY		
DESCRIPTION	LOT	LOT PERCENTAGE
LOT	2,21 S.F.	100 %
BLDG. A OFFICE AREA	-	-
BLDG. A WAREHOUSE AREA	-	-
BLDG. A OFFICE/WAREHOUSE TOTAL AREA	12,080 S.F.	12.5 %
BLDG. B OFFICE AREA	-	-
BLDG. B WAREHOUSE AREA	-	-
BLDG. B OFFICE/WAREHOUSE TOTAL AREA	12,080 S.F.	13.1 %
PAVEMENT AREA	36,137 S.F.	39.5 %
LANDSCAPE AREA	28,762 S.F.	29.8 %
SIDEWALK AREA	4,770 S.F.	4.9 %
BUILDING HEIGHT	24 FT.	-
PARKING PROVIDED (4 H.C. INCLUDED)	46 SPACES	-



SITE PLAN
SCALE: 1" = 20'

RAMSAY & REYES
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087

Revisions
Description
Date

Project Name and Location
PLATINUM BUSINESS PARK II
1491 S.T.L. TOWNSEND DR.
BODIN INDUSTRIAL SUBDIVISION
2.21 ACRES
LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	1 of 7

Drawn Name:

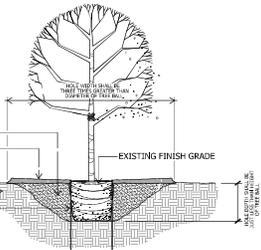
SITE PLAN

S-1

DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION
 TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY
 SHREDDED CEDAR MULCH AS SPECIFIED TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE
 MODEL 656G-NS BELOW-GRADE TREE STAKING AS MNFG. BY "TREE STAKE SOLUTIONS" (www.treestakesolutions.com)

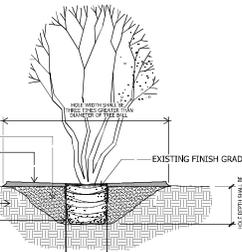


TREE PLANTING
 SHADE TREE - 3" CAL. and smaller
 not to scale

DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION
 TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY
 SHREDDED CEDAR MULCH AS SPECIFIED TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE
 MODEL 656G-NS BELOW-GRADE TREE STAKING AS MNFG. BY "TREE STAKE SOLUTIONS" (www.treestakesolutions.com)



TREE PLANTING
 TYPICAL MULTI-TRUNK TREE
 not to scale

EXISTING TREE MITIGATION



DESIGNATED MITIGATION TREE
 TOTAL - 24 - 3" CALIPER

CITY REQUIREMENTS

STREET FRONTAGE
 10' LANDSCAPE BUFFER REQUIRED
 10' LANDSCAPE BUFFER PROVIDED
 STREET TREES
 1 PER 50 LF STREET FRONTAGE
 T.L. TOWNSEND
 371.26' = 7.42 = 8 TREES REQUIRED
 50 = 8 TREES PROVIDED

PARKING LOT LANDSCAPING
 5% INTERIOR LANDSCAPE REQUIRED
 45,948 SF x 5% = 2,297 SF REQUIRED
 3,232 SF PROVIDED (7.03%)
 1 TREE PER 10 SPACES
 46 SPACES = 4.6 = 5 TREES REQUIRED
 5 TREES PROVIDED

TOTAL LANDSCAPE AREA
 20% TOTAL LANDSCAPE REQUIRED
 TOTAL SITE
 96,499 SF x 20% = 19,299 SF REQUIRED
 28,712 SF PROVIDED (28.70%)

LANDSCAPE NOTES

1. PLANT LIST FOR THIS SHEET ONLY.
2. PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY, LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES
3. ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE, IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
4. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
5. AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
6. APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL, ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:
 VITAL EARTH COMPOST
 BACK-TO-EARTH SOIL CONDITIONER
 LIVING EARTH COMPOST
 SOIL BUILDING SYSTEMS COMPOST
 SILVER CREEK MATERIALS COMPOST
7. TOPRESSURE ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
8. ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
9. ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER, SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DAILY LICENSED UNDER ARTICLE NO. 8751 VTCIS (LICENSED IRRIGATORS ACT), S.B. NO. 229.

PLANTLIST

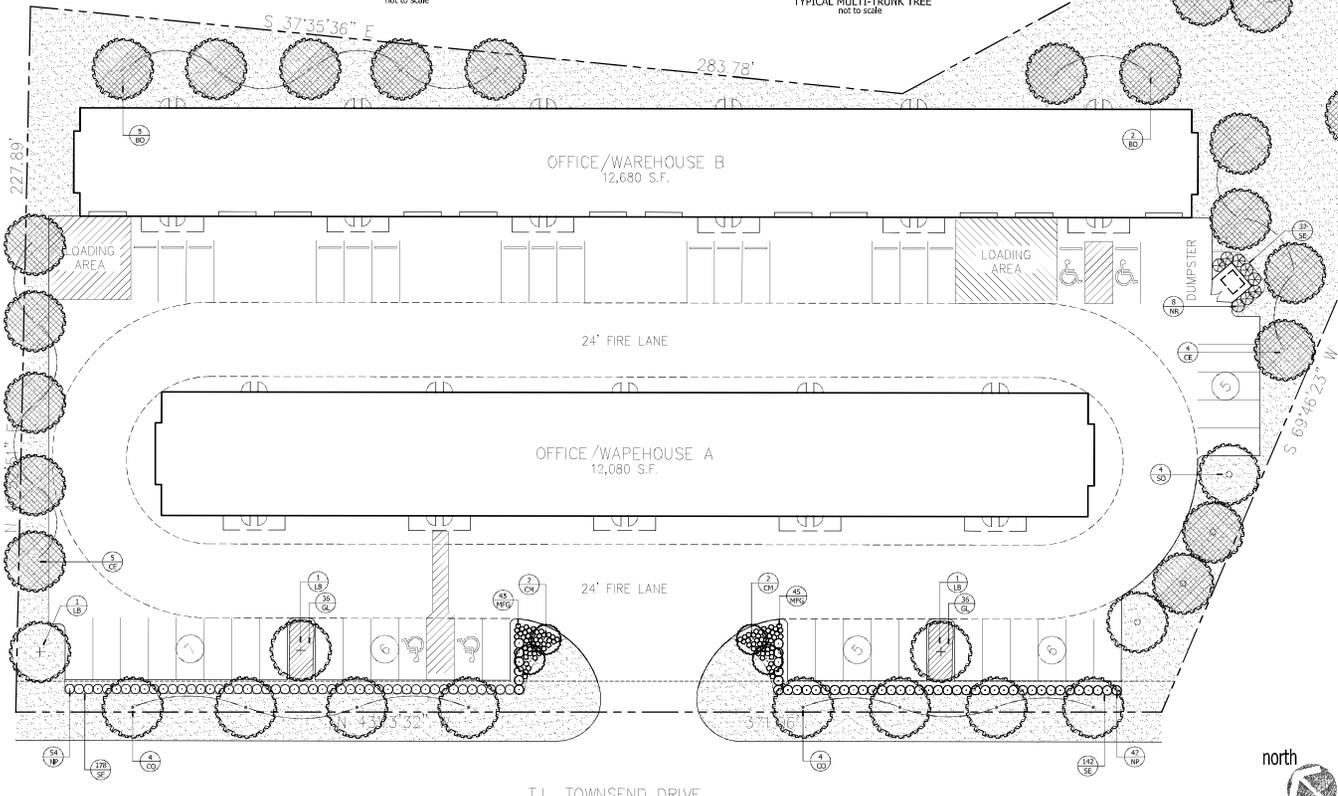
SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
BO	BURR OAK	7	3" CAL.	10-12'	5-6'	NURSERY GROWN	
CO	QUERCUS MACROCARPA	8	3" CAL.	10-12'	5-6'	NURSERY GROWN	
RO	CHINKAPIN OAK	4	3" CAL.	10-12'	5-6'	NURSERY GROWN	
RD	QUERCUS MUEHLBERGIA	4	3" CAL.	10-12'	5-6'	NURSERY GROWN	
RD	RED OAK	4	3" CAL.	10-12'	5-6'	NURSERY GROWN	
LB	QUERCUS SHUMARDI	3	3" CAL.	10-12'	6-7'	NURSERY GROWN	
LB	LACEBARK ELM	3	3" CAL.	10-12'	6-7'	NURSERY GROWN	
CE	ULMUS PARVIFOLIA SEMPERVIRENS	15	3" CAL.	10-12'	6-7'	NURSERY GROWN	
CE	CEDAR ELM	15	3" CAL.	10-12'	6-7'	NURSERY GROWN	
CH	ULMUS CRASSIFOLIA	4	30 CAL.	8-10'	4-5'	CONTAINER GROWN	
CH	LAGERSTROEMIA INDICA 'BASHAM PINK'	4	30 CAL.	8-10'	4-5'	CONTAINER GROWN	
NR	N.R. STEVENS HOLLY	8	7 GAL.	42"	24"	CONT. GROWN	4'oc
NP	ILEX X 'NELLIE R. STEVENS'	96	5 GAL.	26"	18"	FULL	36"oc
MFG	NEEDLEPOINT HOLLY	96	5 GAL.	26"	18"	FULL	36"oc
GL	ILEX CORNUTA 'NEEDLEPOINT'	90	1 GAL.	12"	10"	FULL	18"oc
GL	MEX. FEATHERGRASS	72	1 GAL.	10"	10"	FULL	18"oc
SE	NASSELLA TENJISSIMA	72	1 GAL.	10"	10"	FULL	18"oc
SE	GREEN LIRIOPE	352	1 LIN. FT.	REF. DETAIL			
SE	LIRIOPE MUSCARI	352	1 LIN. FT.	REF. DETAIL			

LANDSCAPE LEGEND

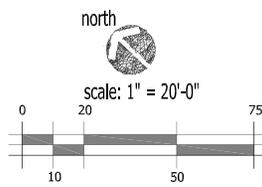
ODINON
 BERMUDA SOD
 (CYNODON DACTYLON)

SOD INSTALLATION NOTES:

1. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE, IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
2. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
3. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
4. SOD SHALL BE LAID WITH ALTERNATING JOINTS.
5. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.



No trees within 5' of water line in Townsend Blvd. ROW.
 Row must be sodded prior to acceptance.



appr. by: _____
 drawn by: _____
 date: 05-16-19

revisions



Learning Design Group
 Landscape Architecture
 4010 West Loop South, Suite 1000
 Houston, Texas 77027
 www.learningdesigngroup.com

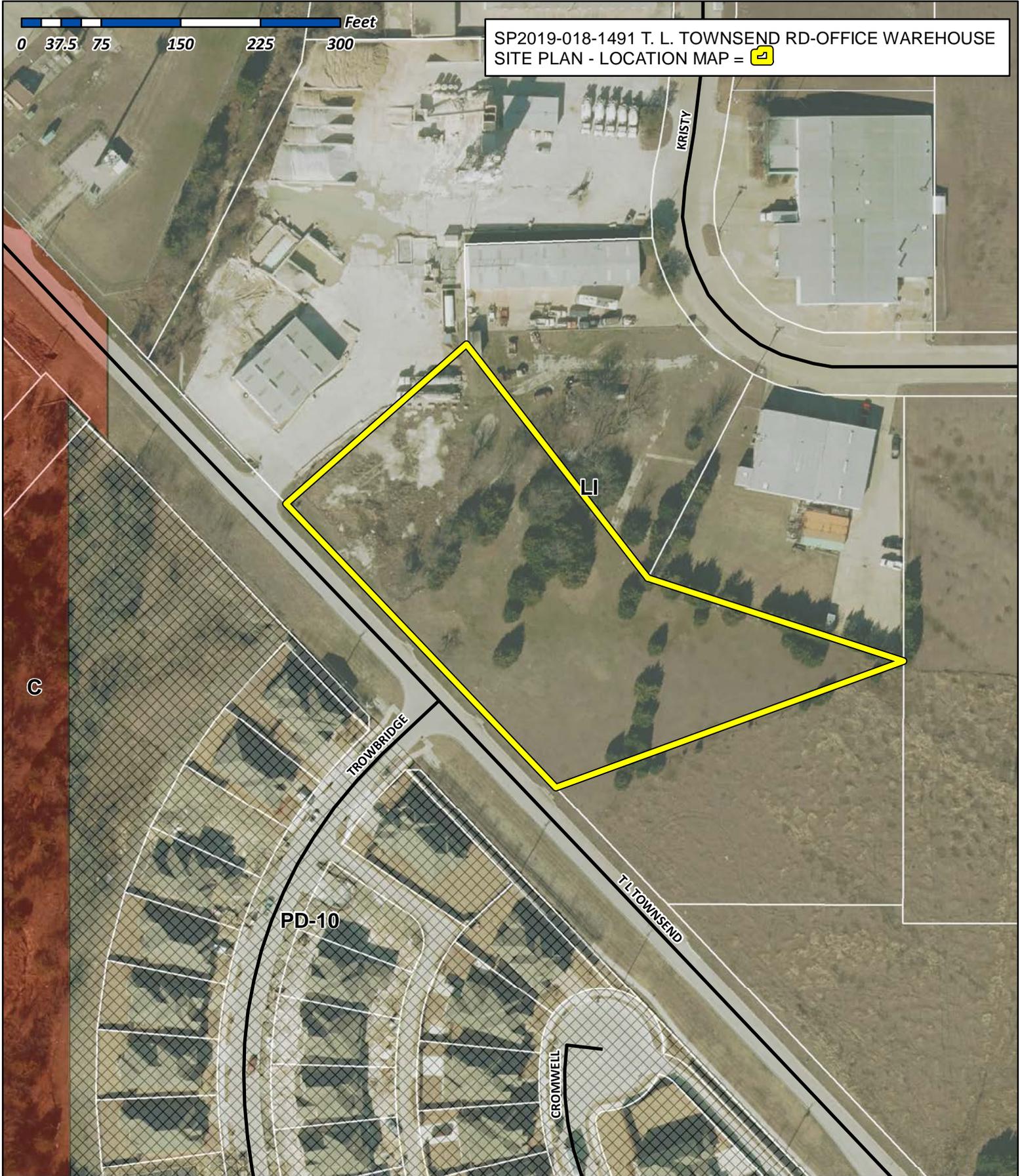
LANDSCAPE PLAN

BODIN TRACT
 T.L. TOWNSEND DRIVE
 ROCKWALL, TEXAS

file name: 01RockwallBodinTract_Landscape_SitePlan sheet [1]

0 37.5 75 150 225 300 Feet

SP2019-018-1491 T. L. TOWNSEND RD-OFFICE WAREHOUSE
SITE PLAN - LOCATION MAP = 

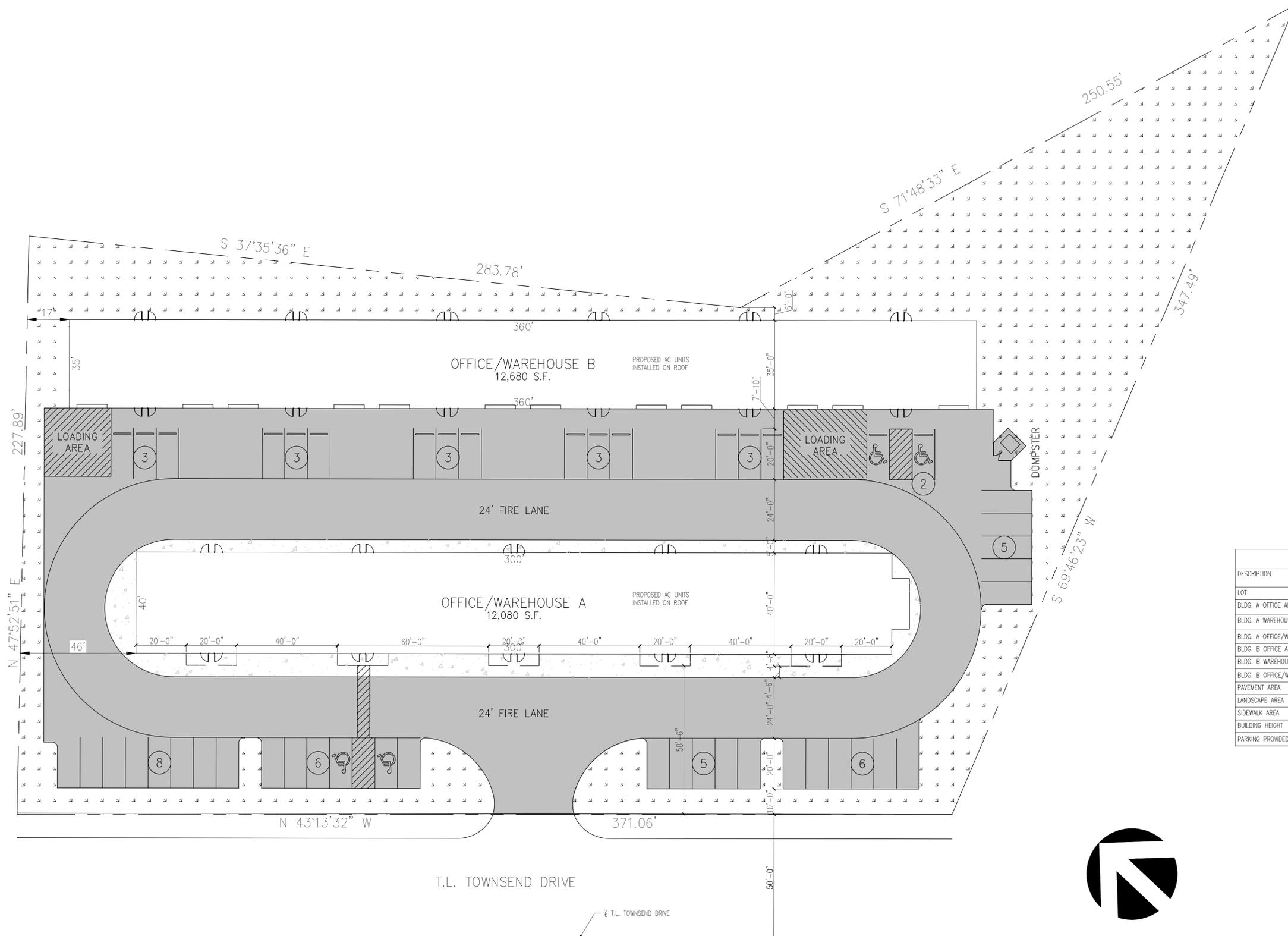


City of Rockwall

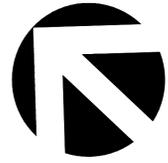
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE SUMMARY		
DESCRIPTION		LOT PERCENTAGE
LOT	2.21 S.F.	100 %
BLDG. A OFFICE AREA		-
BLDG. A WAREHOUSE AREA		-
BLDG. A OFFICE/WAREHOUSE TOTAL AREA	12,080 S.F.	12.5 %
BLDG. B OFFICE AREA		
BLDG. B WAREHOUSE AREA		
BLDG. B OFFICE/WAREHOUSE TOTAL AREA	12,680 S.F.	13.1 %
PAVEMENT AREA	38,137 S.F.	39.5 %
LANDSCAPE AREA	28,762 S.F.	29.8 %
SIDEWALK AREA	4,770 S.F.	4.9 %
BUILDING HEIGHT	24 FT.	
PARKING PROVIDED (4 H.G. INCLUDED)	46 SPACES	



SITE PLAN
SCALE: 1" = 20'

RAMSAY & REYES
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087

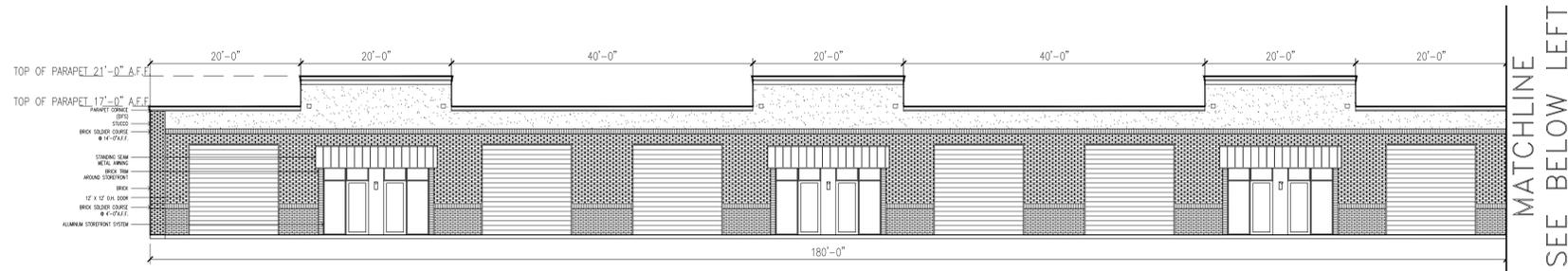
No.	Revisions	Date

PLATINUM BUSINESS PARK II
1491 S T.L. TOWNSEND DR.
BODIN INDUSTRIAL SUBDIVISION
2.21 ACRES
LIGHT INDUSTRIAL ZONING

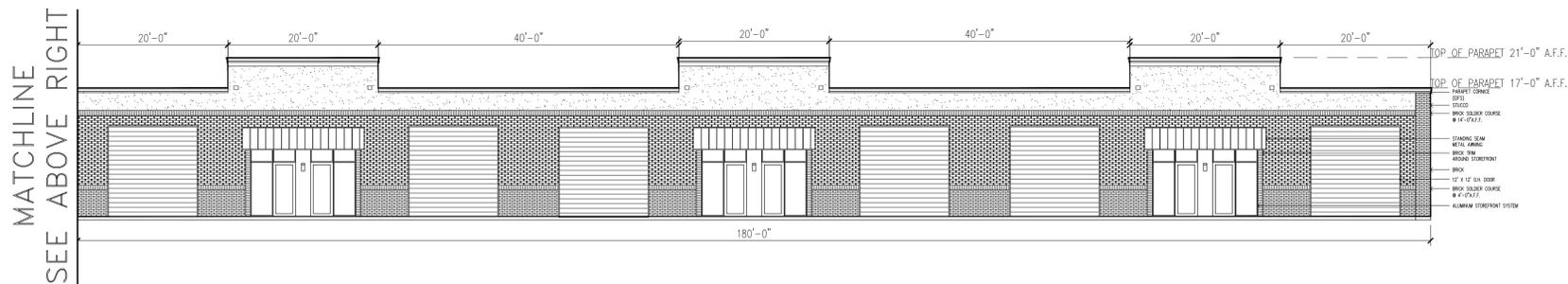
Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	1 of 7

Drawing Name:
SITE PLAN

S-1

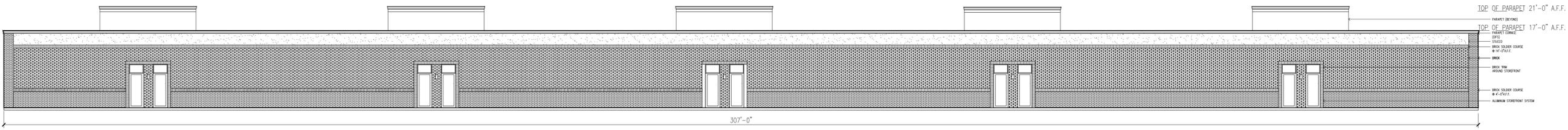


MATERIAL USAGE (%) - BLDG B WEST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		6,600	
DOORS & WINDOWS (DEDUCTED)		2,376	
ACCOUNTABLE AREA		4,224	100%
MASONRY (BRICK)		2,661	67%
MASONRY (3-STEP STUCCO)		1,262	27%
EIFS (MOLDING)		280	6%



BUILDING B - WEST ELEVATION
SCALE: 3/32" = 1'

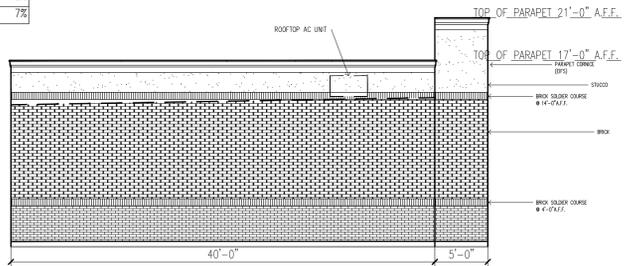
MATERIAL USAGE (%) - BLDG B. EAST			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		6,120	
DOORS & WINDOWS (DEDUCTED)		252	
ACCOUNTABLE AREA		5,868	100%
METAL		5,868	100%
		0	0%
		0	0%



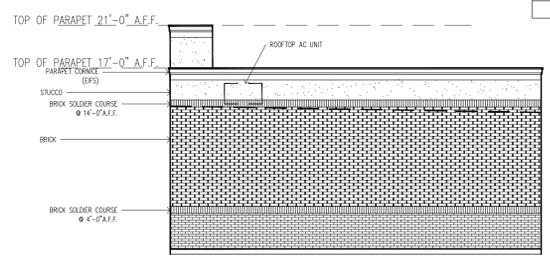
BUILDING B - EAST ELEVATION
SCALE: 3/32" = 1'

MATERIAL USAGE (%) - BLDG A SOUTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		785	
DOORS & WINDOWS (DEDUCTED)		21	
ACCOUNTABLE AREA		764	100%
MASONRY (BRICK)		614	80%
MASONRY (3-STEP STUCCO)		100	13%
EIFS (MOLDING)		50	7%

MATERIAL USAGE (%) - BLDG A NORTH			
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		765	
DOORS & WINDOWS (DEDUCTED)		0	
ACCOUNTABLE AREA		765	100%
MASONRY (BRICK)		612	80%
MASONRY (3-STEP STUCCO)		103	13%
EIFS (MOLDING)		50	7%



BUILDING B - NORTH ELEVATION
SCALE: 1/8" = 1'



BUILDING B - SOUTH ELEVATION
SCALE: 1/8" = 1'

RAMSAY & REYES
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087

Revisions	Date
No.	
Description/Issue	

Project Name and Location:
PLATINUM BUSINESS PARK II
1491 S T.L. TOWNSEND DR.
BODIN INDUSTRIAL SUBDIVISION
2.21 ACRES
LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	AS SHOWN
Sheet No.	3 of 7

Drawing Name:
BLDG. B ELEVATIONS



PROPOSED NEW OFFICE/ WAREHOUSE FACILITY

MAY 16, 2019

PLATINUM SELF STORAGE
TOWNSEND DR.
ROCKWALL, TEXAS 75087

PORTION OF BUILDING AT THE
EAST



PROPOSED NEW OFFICE/ WAREHOUSE FACILITY

MAY 16, 2019

PLATINUM SELF STORAGE
TOWNSEND DR.
ROCKWALL, TEXAS 75087

NORTH ELEVATION

appr. by:
 drawn by:
 date: 05-16-19

revisions



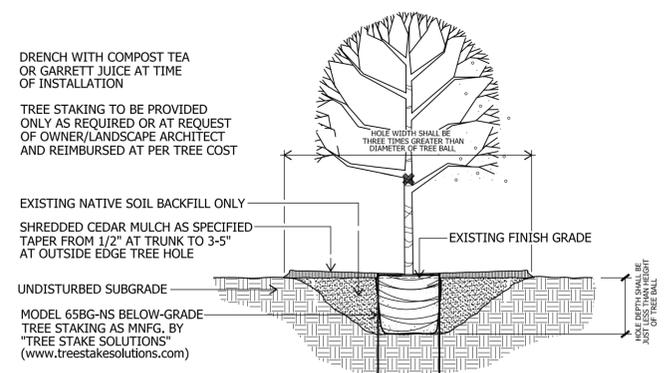
Learning Design Group
 Landscape Architecture
 4013 Bullis Snow Drive, Suite 101-38
 North Richland Hills, Texas 76180
 (817) 577-6889 Fax: (817) 577-6896

LANDSCAPE PLAN

BODIN TRACT
 T.L. TOWNSEND DRIVE
 ROCKWALL, TEXAS

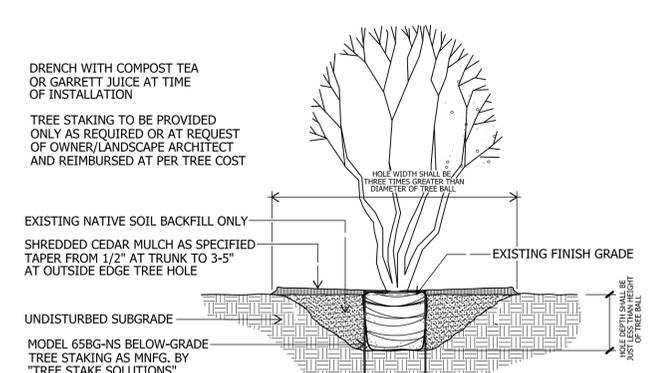
file name:
 c:\Rockwall-Bodin Tract\ldg-base_Bodin.dwg
 sheet
 1-1

EXISTING TREE MITIGATION



TREE PLANTING

SHADE TREE - 3" CAL. and smaller not to scale



TREE PLANTING

TYPICAL MULTI-TRUNK TREE not to scale

CITY REQUIREMENTS

STREET FRONTAGE
 10' LANDSCAPE BUFFER REQUIRED
 10' LANDSCAPE BUFFER PROVIDED

STREET TREES
 1 PER 50 LF STREET FRONTAGE
 T.L. TOWNSEND
 $\frac{371.06'}{50} = 7.42 = 8$ TREES REQUIRED
 8 TREES PROVIDED

PARKING LOT LANDSCAPING
 5% INTERIOR LANDSCAPE REQUIRED
 45,948 SF x 5% = 2,298 SF REQUIRED
 3,232 SF PROVIDED (7.03%)

1 TREE PER 10 SPACES
 $\frac{46 \text{ SPACES}}{10} = 4.6 = 5$ TREES REQUIRED
 5 TREES PROVIDED

TOTAL LANDSCAPE AREA
 20% TOTAL LANDSCAPE REQUIRED
 TOTAL SITE
 96,490 SF x 20% = 19,298 SF REQUIRED
 28,712 SF PROVIDED (29.76%)

LANDSCAPE NOTES

- PLANT LIST FOR THIS SHEET ONLY.
- PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
- ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
- APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:
 VITAL EARTH COMPOST
 BACK-TO-EARTH SOIL CONDITIONER
 LIVING EARTH COMPOST
 SOIL BUILDING SYSTEMS COMPOST
 SILVER CREEK MATERIALS COMPOST
- TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
- ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
- ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCs (LICENSED IRRIGATORS ACT), S.B. NO. 259.

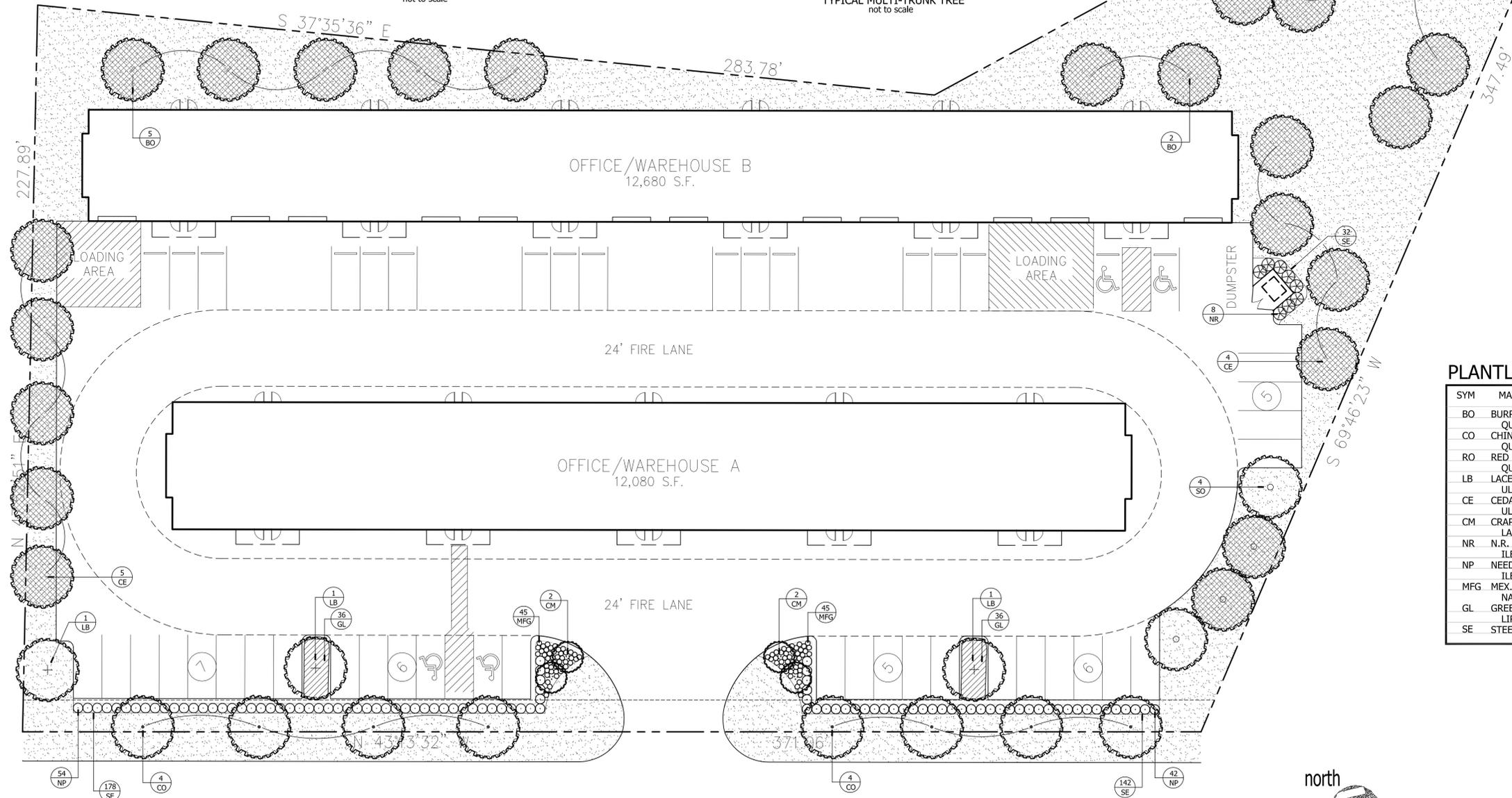
PLANTLIST

SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
BO	BURR OAK	7	3" CAL.	10-12'	5-6'	NURSERY GROWN	
	QUERCUS MACROCARPA						
CO	CHINKAPIN OAK	8	3" CAL.	10-12'	5-6'	NURSERY GROWN	
	QUERCUS MUHLENBERGIA						
RO	RED OAK	4	3" CAL.	10-12'	5-6'	NURSERY GROWN	
	QUERCUS SHUMARDI						
LB	LACEBARK ELM	3	3" CAL.	10-12'	6-7'	NURSERY GROWN	
	ULMUS PARVIFOLIA SEMPERVIRENS						
CE	CEDAR ELM	15	3" CAL.	10-12'	6-7'	NURSERY GROWN	
	ULMUS CRASSIFOLIA						
CM	CRAPE MYRTLE	4	30 GAL.	8-10"	4-5"	CONTAINER GROWN	
	LAGERSTROEMIA INDICA 'BASHAM PINK'						
NR	N.R. STEVENS HOLLY	8	7 GAL.	42"	24"	CONT. GROWN	4'oc
	ILEX x 'NELLIE R. STEVENS'						
NP	NEEDLEPOINT HOLLY	96	5 GAL.	26"	18"	FULL	36"oc
	ILEX CORNUTA 'NEEDLEPOINT'						
MFG	MEX. FEATHERGRASS	90	1 GAL.	12"	10"	FULL	18"oc
	NASSELLA TENUISSIMA						
GL	GREEN LIRIOPE	72	1 GAL.	10"	10"	FULL	18"oc
	LIRIOPE MUSCARI						
SE	STEEL EDGING	352	LIN. FT.	REF. DETAIL			

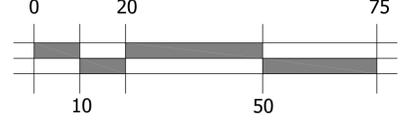
LANDSCAPE LEGEND

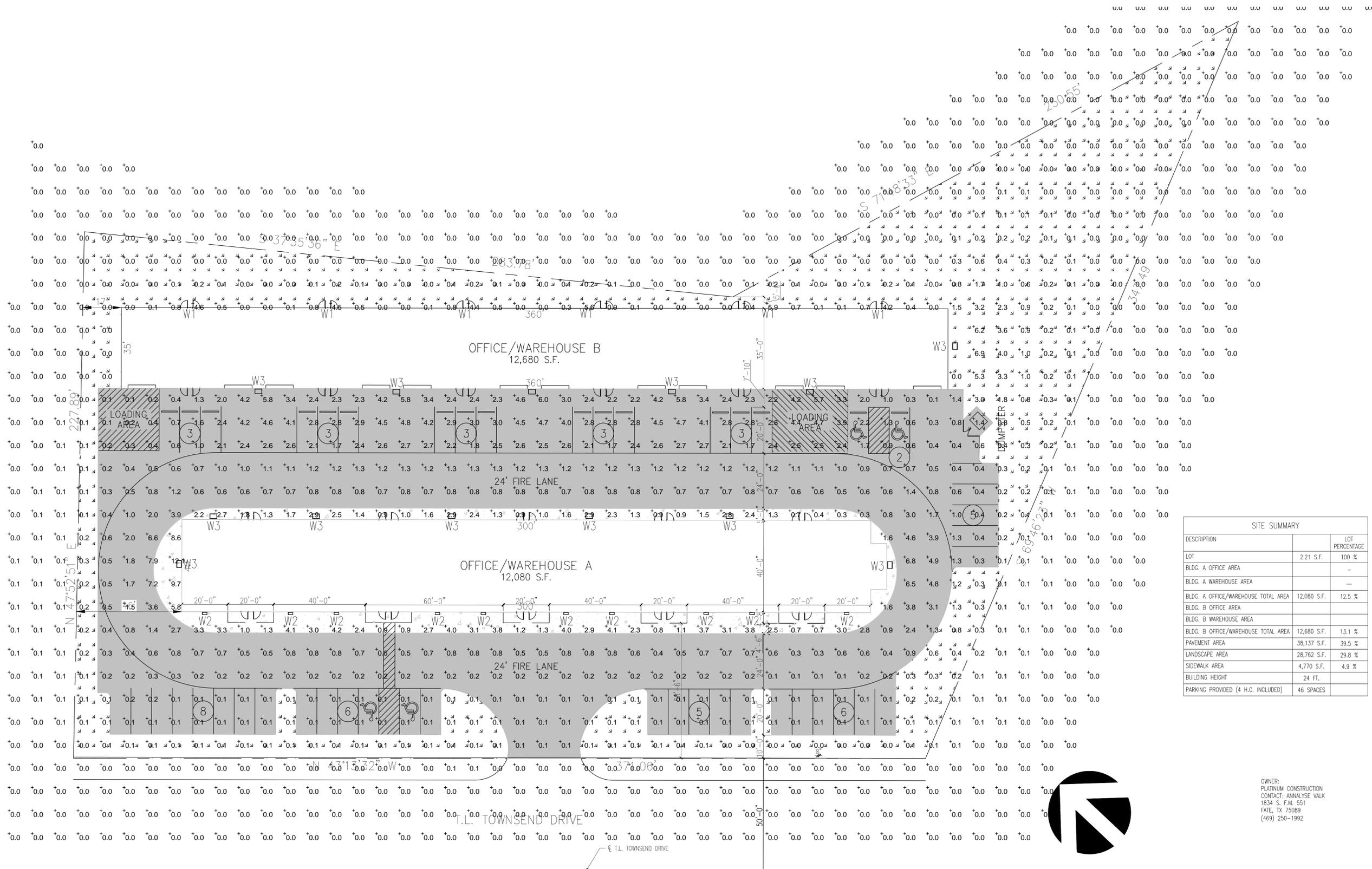
COMMON
 BERMUDA SOD
 (CYNODON DACTYLON)

SOD INSTALLATION NOTES:
 a. ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
 b. AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
 c. SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
 d. SOD SHALL BE LAID WITH ALTERNATING JOINTS.
 e. ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.



scale: 1" = 20'-0"





SITE SUMMARY		
DESCRIPTION	AREA	PERCENTAGE
LOT	2,21 S.F.	100 %
BLDG. A OFFICE AREA		-
BLDG. A WAREHOUSE AREA		-
BLDG. A OFFICE/WAREHOUSE TOTAL AREA	12,080 S.F.	12.5 %
BLDG. B OFFICE AREA		-
BLDG. B WAREHOUSE AREA		-
BLDG. B OFFICE/WAREHOUSE TOTAL AREA	12,680 S.F.	13.1 %
PAVEMENT AREA	38,137 S.F.	39.5 %
LANDSCAPE AREA	28,762 S.F.	29.8 %
SIDEWALK AREA	4,770 S.F.	4.9 %
BUILDING HEIGHT	24 FT.	
PARKING PROVIDED (4 H.C. INCLUDED)	46 SPACES	

OWNER:
PLATINUM CONSTRUCTION
CONTACT: ANNALYSE WALK
1834 S. F.M. 551
FATE, TX 75089
(469) 250-1992

PHOTOMETRIC SITE PLAN
SCALE: 1" = 20'

RAMSAY & REYES
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087

Revisions	Description/Issue	Date
No.		

Project Name and Location:
PLATINUM BUSINESS PARK II
1491 S T.L. TOWNSEND DR.
BODIN INDUSTRIAL SUBDIVISION
2.21 ACRES
LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	6 of 7

Drawing Name:
PHOTOMETRIC SITE PLAN

E1.1



Contractor Select™
LIL LED
Wall Mount Lighting

The Lithonia Lighting® LIL LED pack is just 5 inch x 3 inch in size and delivers 200 lumens using only 8 watts. It's the ideal compact "over the door" lighting solution for commercial and residential applications.

FEATURES:

- Reflects up to 100W incandescent lamps, saves 90% energy
- Elegant and compact LED solution. Wet/dry and battery pack options available
- Back box accessory available for conduit wiring



PROJECT: PLATINUM BUSINESS PARK II	TYPE: W1
PREPARED BY: RAMSAY & REYES ARCHITECTURE - MANAGEMENT 2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087	DATE: 5/17/2019

Catalog Number	
Notes	
Type	



FEATURES & SPECIFICATIONS

INTENDED USE — For hallway and work room applications.

CONSTRUCTION — Rugged die cast, single piece aluminum housing. Die cast die with a 1/8" thick lens and 2" lens. Die frame is fully gasketed with cast-in-place seal. Lens, finish, powder coated metal housing and powder coated metal, with rubber weatherstripping available. Shipping in a protective case.

OPTICS — High quality reflector for superior uniformity and control. Medium throw (MT) full cutoff distribution.

ELECTRICAL — Compact fluorescent utilizes an electronic, high frequency ballast. Compact fluorescent socket is four pin profile (locking thermoplastic, UL listed). Quick disconnect plug easily disconnects reflector from ballast and fixture from supply wires.

INSTALLATION — Easily installed using provided mounting strap. Mount to any non-combustible vertical surface using a 1/2" metal square recessed outlet box (by others). Back access through slotted gasket.

LISTINGS — ETL listed and listed in UL Catalog. Listed and labeled to UL standard (see Options) 3000 Certified (see Options) ETL listed. See technical sheet.

WARRANTY — 3 year limited warranty. Complete warranty terms located at: www.lithonia.com/Support/Options/Parts_and_Warranty.asp

Note: Specifications subject to change without notice.

PROJECT: PLATINUM BUSINESS PARK II	TYPE: W2
PREPARED BY: RAMSAY & REYES ARCHITECTURE - MANAGEMENT 2235 RIDGE RD. STE. 200 ROCKWALL, TEXAS 75087	DATE: 5/17/2019

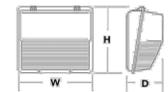


Specification	
Length: 12.5 (31.8)	
Depth: 7.5 (19.0)	
Height: 5.5 (14.0)	
Weight: 16.8 lbs (7.6 kg)	



TWH LED
LED Wall Luminaire

Width	16-1/4" (412mm)
Height	15-3/4" (399mm)
Depth	6" (152mm)
Weight	28 lbs (12.7 kg)



Catalog Number	
Notes	
Type	

CSA Capable Luminaire

This luminaire is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency

- This luminaire is A+ Certified when ordered with DTL* (color only marked by a shaded background). DTL, DLI equipped luminaires meet the A+ specification for luminaire to photocell interoperability

- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background

To learn more about A+, visit www.acuitybrands.com/roam

1. See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM mode per luminaire. Sold Separately.

Link to Ordering Link to DTL DLI

A+ Capabilities indicated by the color background

RAMSAY & REYES
ARCHITECTURE - MANAGEMENT
2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087

No.	Revisions	Description/Issue	Date

Project Name and Location:
PLATINUM BUSINESS PARK II
1491 S.T.L. TOWNSEND DR.
BODIN INDUSTRIAL SUBDIVISION
2.21 ACRES
LIGHT INDUSTRIAL ZONING

Project No.	17031
Drawn By	S.R.
Checked By	R.R.
Date	5/16/2019
Scale	1" = 20'
Sheet No.	7 of 7

Drawing Name:
OUTDOOR LIGHT SPECS.

E1.2