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Z2015-003	34
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Z2015-007 - Hold a public hearing to discuss and consider approval of an ordinance for a request by Kevin Carr of GearHeads Hot Rod Garage for the approval of a Specific Use Permit (SUP) to allow truck rental in conjunction with an existing minor automotive repair garage on a two (2) acre tract of land identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 3920 E. IH-30, and take any action necessary. (1st reading)

Z2015-007 37
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Z2015-008 - Hold a public hearing to discuss and consider approval of an ordinance for a request by Herman Douglas Utley for a zoning change from an Agricultural (AG) District to a Single Family Estate 2.0 (SFE-2.0) District for a 4.502-acre tract of land identified as Tract 1 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass (SH-205 BY OV) District, addressed as 1815 E. Quail Road, and take any action necessary. (1st reading)

Z2015-008 50
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Z2015-009 - Hold a public hearing to discuss and consider approval of an ordinance for a request by Chris and Jill Blasé for a Specific Use Permit (SUP) for a detached garage that does not conform to the requirements as stipulated by Section 2.1.2, Residential and Lodging Use Conditions, of Article IV, Permissible Uses, of the Unified Development Code for a 4.05-acre parcel of land identified as Lot 1, Block 1, Blasé Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 1220 East Fork Drive, and take any action necessary. (1st reading)

Z2015-009 65
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Z2015-010 - Hold a public hearing to discuss and consider approval of an ordinance for a request by Noah Flabiano of the Skorburg Company for a zoning change from Planned Development District 70 (PD-70) for limited commercial/retail land uses to a Planned Development District for townhomes on a 10.142-acre tract of land being identified as a portion of a larger 164.812-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70), situated within the North SH-205 Overlay (N-SH205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [N. SH-205], and take any action necessary. (1st reading) [Requested Postponement to the April 6, 2015 City Council Meeting].

Z2015-010 82
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SP2015-003 - Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects on behalf of the owner Dr. Umar Burney of the North Dallas Rockwall Land Investors, LLC for the approval of certain variances in association with a site plan for a medical office building on a 1.6121-acre tract of land identified as Lot 2, Block A, Ridge/Summer Lee Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9), situated within the Scenic Overlay (SOV) District, located east of the intersection Ridge Road and Summer Lee Drive, and take any action necessary.

SP2015-003	85
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SP2015-004 - Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects on behalf of the owner Russell Phillips for the approval of a waiver to Planned Development District 32 (PD-32) [Ordinance No. 10-28] and variances to the building material requirements stipulated by the Unified Development Code in conjunction with a site plan for a 265 unit, condo development situated on a 7.58-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict of PD-32, located south of the intersection of Summer Lee Drive and Sunset Ridge Drive, and take any action necessary.

SP2015-004	93
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AGENDA
ROCKWALL CITY COUNCIL
Monday, March 16, 2015
4:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

I. CALL PUBLIC MEETING TO ORDER

II. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding the position of Chief of Police pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding possible claim or settlement agreement related to enforcing the city's sign ordinance regarding a billboard pursuant to Section 551.071 (Consultation with Attorney).
3. Discussion regarding Gary Jackson vs. City of Rockwall pursuant to Section 551.071 (Consultation with Attorney)
4. Discussion regarding appointments to the Board of Adjustments (city regulatory board) pursuant to Section 551.074 (Personnel Matters)

III. ADJOURN EXECUTIVE SESSION

AGENDA
ROCKWALL CITY COUNCIL
Monday, March 16, 2015
6:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

IV. RECONVENE PUBLIC MEETING

V. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

VI. INVOCATION AND PLEDGE OF ALLEGIANCE – MAYOR PRUITT

VII. PROCLAMATIONS / AWARDS

- p.9** 1. Police Department (Re)Recognition - Texas Police Chiefs Association Best Practices

VIII. CONSENT AGENDA

- p.11** 1. Consider approval of the minutes from the March 2, 2015 regular city council meeting, and take any action necessary.

- p.23** 2. Consider approval of an **ordinance** for a City initiated request for the purpose of designating the Historic Downtown Courthouse as a Local Landmark per the designation procedures stipulated by Section 6.2, Historic Overlay (HO) District, of the Unified Development Code, being a 0.918-acre parcel of land identified as Rockwall O T Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 101 E. Rusk Street, and take any action necessary. **(2nd Reading)**

- p.28** 3. **P2015-007** - Consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of D. R. Horton 3. Homes for the approval of a replat of Lakeview Summit, Phase IV for the purpose of reducing the number of single-family residential lots from 97 to 93 for a 38.056-acre subdivision currently composed of 97 single-family residential lots situated within the J. H. B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 29 (PD-29) for Single-Family 10 (SF-10) District land uses, located north of the intersection of Petaluma Drive and N. Lakeshore Drive, and take any action necessary.

IX. APPOINTMENTS

1. Appointment with the Planning and Zoning Chairman to discuss and answer any questions regarding cases on the agenda and related issues and take any action necessary.

X. PUBLIC HEARING ITEMS

- p.34 1.** **Z2015-003** - Hold a public hearing to discuss and consider approval of an **ordinance** for a request by Cole Franklin of the Skorburg Company on behalf of the owner Larry Hance for a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) and General Retail (GR) District land uses for a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the northwest corner of FM-552 and John King Boulevard, and take any action necessary. (1st reading) ***[Requested Postponement to the April 6, 2015 Planning and Zoning Commission Meeting].***
- p.37 2.** **Z2015-007** - Hold a public hearing to discuss and consider approval of an **ordinance** for a request by Kevin Carr of GearHeads Hot Rod Garage for the approval of a Specific Use Permit (SUP) to allow truck rental in conjunction with an existing minor automotive repair garage on a two (2) acre tract of land identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 3920 E. IH-30, and take any action necessary. **(1st reading)**
- p.50 3.** **Z2015-008** - Hold a public hearing to discuss and consider approval of an **ordinance** for a request by Herman Douglas Utley for a zoning change from an Agricultural (AG) District to a Single Family Estate 2.0 (SFE-2.0) District for a 4.502-acre tract of land identified as Tract 1 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass (SH-205 BY OV) District, addressed as 1815 E. Quail Road, and take any action necessary. **(1st reading)**
- p.65 4.** **Z2015-009** - Hold a public hearing to discuss and consider approval of an **ordinance** for a request by Chris and Jill Blasé for a Specific Use Permit (SUP) for a detached garage that does not conform to the requirements as stipulated by Section 2.1.2, Residential and Lodging Use Conditions, of Article IV, Permissible Uses, of the Unified Development Code for a 4.05-acre parcel of land identified as Lot 1, Block 1, Blasé Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 1220 East Fork Drive, and take any action necessary. **(1st reading)**

- p.82** 5. **Z2015-010** - Hold a public hearing to discuss and consider approval of an **ordinance** for a request by Noah Flabiano of the Skorburg Company for a zoning change from Planned Development District 70 (PD-70) for limited commercial/retail land uses to a Planned Development District for townhomes on a 10.142-acre tract of land being identified as a portion of a larger 164.812-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70), situated within the North SH-205 Overlay (N-SH205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [N. SH-205], and take any action necessary. (1st reading) ***[Requested Postponement to the April 6, 2015 City Council Meeting].***

XI. ACTION ITEMS

- p.85** 1. **SP2015-003** - Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects on behalf of the owner Dr. Umar Burney of the North Dallas Rockwall Land Investors, LLC for the approval of certain variances in association with a site plan for a medical office building on a 1.6121-acre tract of land identified as Lot 2, Block A, Ridge/Summer Lee Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9), situated within the Scenic Overlay (SOV) District, located east of the intersection Ridge Road and Summer Lee Drive, and take any action necessary.
- p.93** 2. **SP2015-004** - Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects on behalf of the owner Russell Phillips for the approval of a waiver to Planned Development District 32 (PD-32) [Ordinance No. 10-28] and variances to the building material requirements stipulated by the Unified Development Code in conjunction with a site plan for a 265 unit, condo development situated on a 7.58-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict of PD-32, located south of the intersection of Summer Lee Drive and Sunset Ridge Drive, and take any action necessary.

XII. EXECUTIVE SESSION

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding the position of Chief of Police pursuant to Section 551.074 (Personnel Matters)

2. Discussion regarding possible claim or settlement agreement related to enforcing the city's sign ordinance regarding a billboard pursuant to Section 551.071 (Consultation with Attorney).
3. Discussion regarding Gary Jackson vs. City of Rockwall pursuant to Section 551.071 (Consultation with Attorney)
4. Discussion regarding appointments to the Board of Adjustments (city regulatory board) pursuant to Section 551.074 (Personnel Matters)
5. Discussion regarding City Manager performance evaluation pursuant to Section, § 551.074 (Personnel Matters).

XIII. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

XIV. ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code § 551.071 (Consultation with Attorney) § 551.072 (Deliberations about Real Property) § 551.074 (Personnel Matters) and § 551.086 (Economic Development)

I, Kristy Ashberry, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 13th day of March, 2015 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Ashberry, City Secretary

Date Removed

Jacky Casey, Assistant Secretary



City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager
FROM: Mark Moeller, Chief of Police
DATE: March 9, 2015
SUBJECT: Police Department Attains “Re-Recognized” Status

The Texas Police Chiefs Association Recognition Program is a voluntary process where police agencies in Texas prove their compliance with law enforcement’s current Best Practices. Several member police chiefs of the TPCA developed this program several years ago to assist Texas agencies in meeting their professional obligations to their citizens. The committee also conducts the final review of an agency’s efforts and awards the “Recognized” status.

Being “Recognized” means that the agency meets or exceeds all of the identified Best Practices, which cover every aspect of law enforcement from pursuits, use of force, protection of citizen rights, evidence and property management, and other patrol and investigative operations. This “Recognized” status ensures that an agency has carefully planned for these critical issues, has developed policies and procedures to address them, as well as put systems in place to identify and correct problems.

Police officers exercise government’s highest powers – the power to stop and question an individual; the power to arrest and seize a person and his property; and the power to use force, including deadly force, in that process. Police agencies direct and control an officer’s activity through supervision, training, and written policies and procedures. Since supervisors cannot always be present, officers often operate alone. This means training and policies, along with the appropriate equipment, are even more critical to ensure proper performance.

The Recognition Program assures city management and citizens that their Police Department is operating within the best practices of law enforcement. After becoming “Recognized” an agency must submit annual reports to ensure continued compliance with all standards. After four years the review process of our policies, the on-site visit to inspect equipment and facilities, interviews of staff, and proof of compliance in all areas is repeated.

We were initially “Recognized” in March, 2011. We were approved for “Re-Recognized” status by the committee on March 2, 2015.

A member of the committee will make a public presentation of our Certificate of Re-Recognition at the March 16, 2015, City Council meeting. I would like to request this presentation be scheduled in the Proclamations/Awards segment of our meeting.

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MINUTES
ROCKWALL CITY COUNCIL
Monday, March 02, 2015
4:00 p.m. Regular City Council Meeting
City Hall - 385 S. Goliad, Rockwall, Texas 75087

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I. CALL PUBLIC MEETING TO ORDER

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Mayor Pruitt called the meeting to order at 4:00 p.m. Present were Mayor Jim Pruitt, Mayor Pro Tem Dennis Lewis and City Council Member David White, Mike Townsend, John Hohenshelt, Scott Milder, and Bennie Daniels. Also present were City Manager Rick Crowley, Assistant City Managers Mary Smith and Brad Griggs and legal counsel Patrick Lindner. Mayor Pruitt read the below listed discussion items into the record before recessing the public meeting to go into Executive Session.

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II. EXECUTIVE SESSION.

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THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

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1. Discussion regarding proposed Development Agreement with Lakefront Trail Rockwall Hotel pursuant to Section 551.071 (Consultation with Attorney).
 2. Discussion regarding possible claim or settlement agreement related to enforcing the city's sign ordinance regarding a billboard pursuant to Section 551.071 (Consultation with Attorney).
 3. Discussion regarding Rockwall Harbor Landing, Inc. vs. City of Rockwall pursuant to Section 551.071 (Consultation with Attorney)
 4. Discussion regarding right-of-way land acquisition located near Justin Road and John King Blvd. pursuant to Section 551.072 (Real Property) and status of Temunovic condemnation proceeding pursuant to Section 551.071 (Consultation with Attorney).
 5. Discussion regarding Economic Development prospects and potential incentive agreement pursuant to Section 551.087 (Economic Development)
 6. Discussion regarding the position of Chief of Police pursuant to Section 551.074 (Personnel Matters)

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III. ADJOURN EXECUTIVE SESSION

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Executive Session was adjourned at 5:00 p.m.

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IV. RECONVENE PUBLIC MEETING

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Mayor Pruitt reconvened the public meeting at 6:00 p.m.

48 V. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

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50 Mayor Pro Tem Lewis made a motion to authorize the city manager to finalize and sign
51 the agreement between the City of Rockwall and Lakepointe Trail Rockwall Hotel, LP
52 related to construction and operation of a hotel on an approximately 2.968-acre tract of
53 land identified as Lot 3A, Block A, Shoreline Plaza Addition and Lot 1-1, Block A, Henry
54 Africa Subdivision, City of Rockwall related to the rebate of city hotel occupancy taxes
55 provided, however, this approval and authorization is subject to council's approval of
56 items Z2014-040 and SP2014-034. Councilmember White seconded the motion, which
57 passed by a vote of 7 ayes to 0 nays.

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59 VI. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER HOHENSHELT

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61 Councilmember Hohenshelt delivered the invocation and led the Pledge of Allegiance.

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63 VII. PROCLAMATIONS / AWARDS

- 64
65 1. Severe Weather Awareness Week

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67 Mayor Pruitt invited Rockwall County Emergency Management Coordinator, Joe DeLane,
68 to come forth. He then read the proclamation and asked Mr. DeLane if he would like to
69 say a few words. Mr. DeLane shared that the National Weather Service will be hosting a
70 Storm Spotter training class on Saturday, March 7 that is free to the public and will be
71 held at the Rockwall County Library. He encouraged the public to attend.

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73 VIII. OPEN FORUM

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75 Mayor Pruitt explained how Open Forum is conducted and asked if anyone would like to
76 come forth and speak during this time. There being no one indicating such, Mayor Pruitt
77 then closed Open Forum.

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79 IX. CONSENT AGENDA

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81 1. Consider approval of the minutes from the February 16, 2015 regular city
82 council meeting, and take any action necessary.
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84 2. Consider approval of a resolution for the naming of the neighborhood
85 park located with the Stone Creek subdivision, and take any action
86 necessary.
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88 3. Consider approval of a resolution for the naming of the neighborhood
89 park located with the Breezy Hill subdivision, and take any action
90 necessary.
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92 4. **Z2015-001** - Consider approval of an **ordinance** for a request by James
93 Jackson of Jackson Automotive for the approval of a Specific Use Permit
94 to allow for automotive vehicles to be stored outside overnight in
95 conjunction with an existing minor automotive repair garage on a 0.88-
96 acre parcel of land identified as Lot 2B-2, Block A, Panex LTD Addition,
City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District,
situated within the IH-30 Overlay (IH-30 OV) District, located at 608 White
Hills Drive, and take any action necessary. **(2nd reading)**

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5. **Z2015-002** - Consider approval of an **ordinance** for a request by Lawrence H. Ringley of Ringley & Associates, Inc. on behalf of Jill Fisher of Steger Dunhill, LLC for the approval of a Specific Use Permit to allow an automobile rental facility on a 0.215-acre portion of a larger 4.218-acre parcel of land identified as Lot 3, Block A, Steger Towne Crossing, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located at 898 Steger Towne Drive, and take any action necessary. **(2nd reading)**
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6. Consider approval of a resolution establishing the pro rata equipment fee related to the City's mandatory neighborhood park land dedication regulations and take any action necessary.
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7. Consider approval of a resolution regarding the cost per acre related to the City's mandatory neighborhood park land dedication regulations and take any action necessary.
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8. **P2015-005** - Consider a request by Harold Fetty of H. D. Fetty Land Surveyor, LLC on behalf of the owner Andrea Holliman for the approval of a replat for Lot 1, Block A, Hoardstroms Addition being a 0.47-acre tract of land identified as a portion of Lot 1 of the W. D. Austin Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 904 N. Goliad Street, and take any action necessary.
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9. **P2015-006** - Consider a request by Harold Fetty of H. D. Fetty Land Surveyor, LLC on behalf of the owners Chris and Jill Blasé for the approval of a replat for Lot 3, Block A, Blasé Addition being a 4.28-acre tract of land currently identified as Lot 3, Block A, Blasé Addition and a portion of Tract 11-3 of the A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 1220 East Fork Drive, and take any action necessary.
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10. Consider authorizing the city manager to execute a contract with MHS Planning and Design for the Stone Creek Neighborhood Park construction plans in the amount of \$71,200 to be funded from fees collected from developer contributions in accordance with the Mandatory Neighborhood Park Land Dedication ordinance and take any action necessary.
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11. Consider approval of a professional engineering services contract with Birkhoff, Hendricks & Carter, LLP. for the Wastewater Flow Monitoring Study in the amount of \$285,800.00 to be funded from Revenue Bonds, and take any action necessary.
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12. Consider approval of a resolution authorizing the city manager to apply for and accept grant funding from the Violent Crimes Against Women (VCAW) Grant Program through the Criminal Justice Division of the Governor's Office for continuation of a previously received grant associated with the Domestic Violence Investigator / Prevention Officer, and take any action necessary.

143 Councilmember Milder requested to pull item #11 for further discussion. Councilmember
144 Townsend then made a motion to approve the remaining Consent Agenda Items (#1, 2, 3,
145 4, 5, 6, 7, 8, 9, 10, and 12). Councilmember Daniels seconded the motion. The
146 ordinances were read as follows:

147
148 CITY OF ROCKWALL
149 ORDINANCE NO. 15-06
150 SPECIFIC USE PERMIT NO. S-132
151

152 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,
153 TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE*
154 *NO. 04-38*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY
155 AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP)
156 ALLOWING FOR VEHICLES TO BE STORED OUTSIDE OVERNIGHT IN
157 CONJUNCTION WITH AN EXISTING AUTOMOTIVE REPAIR GARAGE,
158 MINOR WITHIN A COMMERCIAL (C) DISTRICT, BEING A 0.88-ACRE
159 PARCEL OF LAND IDENTIFIED AS LOT 2B-2, BLOCK A, PANEX LTD
160 ADDITION, AND GENERALLY LOCATED AT 608 WHITE HILLS DRIVE,
161 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE
162 SPECIFICALLY DEPICTED IN EXHIBIT 'A'; PROVIDING FOR SPECIAL
163 CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED
164 THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH
165 OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR
166 A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

167
168 CITY OF ROCKWALL
169 ORDINANCE NO. 15-07
170 SPECIFIC USE PERMIT NO. S-133
171

172 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,
173 TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE*
174 *NO. 04-38*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY
175 AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP)
176 ALLOWING FOR AN AUTOMOBILE RENTAL FACILITY, WITHIN A
177 COMMERCIAL (C) DISTRICT, BEING A 0.215-ACRE PORTION OF A
178 LARGER 4.218-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK
179 A, STEGER TOWNE CROSSING, PHASE 1 ADDITION, AND GENERALLY
180 LOCATED AT 898 STEGER TOWNE DRIVE, CITY OF ROCKWALL,
181 ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED IN
182 EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A
183 PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND
184 DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A
185 SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE;
186 PROVIDING FOR AN EFFECTIVE DATE.
187

188 The motion passed unanimously of council (7 ayes to 0 nays).
189

190 Regarding Consent Agenda item #11, Councilmember Milder expressed concern about
191 this large of an expenditure amount being placed on Consent for approval. He asked for
192 some clarification regarding the expenditure. City Engineer Tim Tumulty indicated that
193 this expense is related to hiring a consultant and sub-consultant to install thirty-eight
194 meters within the sanitary sewer storm system, meters that will stay in place for forty-five
195 (45) days. As it rains, these meters will help monitor what is really getting into the
196 sanitary sewer system. The data will be plugged into a model, and the Environmental

197 Protection Agency (EPA) and the Texas Commission on Environmental Quality (TCEQ)
198 will be for this information any time they look at a city's sewer system. Mr. Crowley
199 indicated that the money to fund this item will be taken out of revenue bonds.
200

201 Councilmember White made a motion to approve Consent Agenda item #11.
202 Councilmember Milder seconded the motion, which passed by a vote of 7 ayes to 0 nays.
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204 **X. APPOINTMENTS**

205
206 1. Appointment with the Planning and Zoning Chairman to discuss and
207 answer any questions regarding cases on the agenda and related issues
208 and take any action necessary.

209 Chairman of the Planning and Zoning Commission, Craig Renfro, came forth and
210 provided brief information concerning recommendations of the Commission relative to
211 items on tonight's city council meeting agenda. The Council took no action concerning
212 this appointment item.
213

214 2. Appointment with representatives of Republic Waste to make
215 presentation of annual downtown improvement fund donation, and take
216 any action necessary.

217 **Rick Bernas**
218 **Republic Services / Allied Waste**
219 **171 Pelican Cove Drive**
220 **Rockwall, TX**
221

222 Mr. Bernas indicated that Republic is making two donations to the city this year. One
223 check is money that will go toward the downtown project, and the second one is for a
224 scholarship program that has been ongoing for many years. He stated that, over the
225 years, more than \$120,000 has been donated to the city. Tonight, they are donating
226 \$12,000 to the City of Rockwall.
227

228 The council accepted the check and thanked the company for what it does for the city.
229 No action was taken.
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232 **XI. PUBLIC HEARING ITEMS**
233

234 1. **Z2015-003** - Hold a public hearing to discuss and consider approval of an
235 ordinance for a request by Cole Franklin of the Skorburg Company on
236 behalf of the owner Larry Hance for the approval of a zoning change from
237 an Agricultural (AG) District to a Planned Development District for Single
238 Family 7 (SF-7) District land uses for a 44.56-acre tract of land identified
239 as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall,
240 Rockwall County, Texas, zoned Agricultural (AG) District, situated within
241 the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the
242 northwest corner of FM-552 and John King Boulevard, and take any
243 action necessary. **(1st Reading) - [Postponed to the March 16, 2015**
244 **City Council Meeting]**

245 Mayor Pruitt announced that the applicant for this item has requested postponement
246 until the March 16, 2015 city council meeting. No discussion took place, and no action
247 was taken.

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- 2. **Z2015-005** - Hold a public hearing to discuss and consider approval of an ordinance for a City initiated request for the purpose of designating the Historic Downtown Courthouse as a Local Landmark per the designation procedures stipulated by Section 6.2, Historic Overlay (HO) District, of the Unified Development Code, being a 0.918-acre parcel of land identified as Rockwall O T Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 101 E. Rusk Street, and take any action necessary. **(1st Reading)**

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Planning Director, Robert LaCroix, provided background information related to this agenda item. He indicated that the city is bringing forth this item for consideration on behalf of the city’s Historic Preservation Advisory Board. It is related to designating the courthouse on the historic downtown square as a local landmark property. City staff has received positive support for this designation from the Rockwall County Historic Foundation, the Rockwall County Historic Commission and the Rockwall County Commissioners Court. The ultimate goal will be to seek entry of the courthouse into the National Registry. He explained that this designation will, in essence, result in a zoning change. One-hundred and fifty-five notices were sent out to property owners located within 500’ of the subject property. Six notices were received back in favor of the request. Also, the Planning & Zoning Commission has unanimously recommended approval of this request.

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Mayor Pruitt asked if there are other properties that are designated as historic in the area. Mr. LaCroix explained that there are about eight properties in and around the area that are also designated as historic.

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Councilmember Townsend asked if this designation will inhibit any future updates to the courthouse. Mr. LaCroix generally indicated that, no, this would not be inhibited.

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Mayor Pro Tem Lewis asked for clarification regarding if approval of this item will result in any additional restrictions. Mr. LaCroix indicated that, no, it will not result in any more restrictions beyond those that may already be in place. He indicated that the Rockwall courthouse, like most all other courthouses in Texas, have to go through the Texas Historic Commission for approval of various things. Those rules were already in place, and approval of this designation this evening will not result in any further rules.

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Mayor Pruitt opened the public hearing and asked if anyone would like to come forth and speak. There being no one indicating such, Mayor Pruitt then closed the public hearing.

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Councilmember Milder made a motion to approve Z2015-005. Councilmember White seconded the motion. The ordinance was read as follows:

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CITY OF ROCKWALL
ORDINANCE NO. 15-_____

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AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A CHANGE IN ZONING BY IN ACCORDANCE WITH THE PROCEDURES OF ARTICLE V, SECTION 6.2 HISTORIC OVERLAY DISTRICT FOR THE PURPOSE OF DESIGNATING A LANDMARK DISTRICT ON PROPERTY KNOWN AS THE HISTORIC DOWNTOWN COURTHOUSE, BEING A 0.918-ACRE PARCEL OF LAND IDENTIFIED AS ROCKWALL O T ADDITION, AND LOCATED AT 101 EAST RUSK STREET, AND MORE SPECIFICALLY DEPICTED IN

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EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

303 The motion passed by a vote of 7 ayes to 0 nays.

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XII. ACTION ITEMS

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- 1. **Z2015-004** - Discuss and consider approval of an ordinance for a request by Zack Amick of Gordon Rockwall Investments, LLC on behalf of Keith Young for the purpose of amending Specific Use Permit (SUP) S-107 to allow for a new car dealership on a ten (10) acre tract of land identified as Tract 4-02 and Tract 4 of the N. M. Ballard Survey, Abstract No. 24 and the A. Hanna Survey, Abstract No. 99, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Corridor Overlay (IH-30 OV) District, addressed as 1530 E. IH-30, and take any action necessary. **(2nd reading)**

316 Councilmember White made a motion to approve Z2015-004. Councilmember
317 Townsend seconded the motion. The ordinance was read as follows:

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CITY OF ROCKWALL
ORDINANCE NO. 15-07
SPECIFIC USE PERMIT NO. S-133

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AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) ALLOWING FOR AN AUTOMOBILE RENTAL FACILITY, WITHIN A COMMERCIAL (C) DISTRICT, BEING A 0.215-ACRE PORTION OF A LARGER 4.218-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, STEGER TOWNE CROSSING, PHASE 1 ADDITION, AND GENERALLY LOCATED AT 898 STEGER TOWNE DRIVE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

338 Mayor Pruitt indicated that he was opposed to this item upon first reading. He
339 expressed that he believes this location is located within an important corridor
340 along IH-30, and he is not comfortable with it being placed so near to the other
341 two car dealerships in the area. He believes car dealerships in this area should be
342 more spread out.

343 The motion passed by a vote of 5 ayes to 2 nays (Pruitt and Milder).

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346

- 2. **Z2014-040** - Discuss and consider approval of an ordinance for a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of Tekmak Development Company for the approval of a Specific

347 Use Permit (SUP) for a hotel on a 2.968-acre tract of land identified as
348 Lot 3A, Block A, Shoreline Plaza Addition and Lot 1-1, Block A, Henry
349 Africa Subdivision, City of Rockwall, Rockwall County, Texas, zoned
350 Planned Development District 32 (PD-32), situated within the IH-30
351 Overlay (IH-30 OV) District, located at the southeast corner of the
352 intersection of the IH-30 Frontage Road and Lakefront Trail, and take any
353 action necessary. **(2nd Reading)**

354 **Mayor Pro Tem Lewis made a motion to approve Z2014-040. Councilmember**
355 **White seconded the motion. The ordinance was read as follows:**

356 **CITY OF ROCKWALL**
357 **ORDINANCE NO. 15-08**
358 **SPECIFIC USE PERMIT NO. S-134**
359

360 **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF**
361 **ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT**
362 **CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL,**
363 **TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC**
364 **USE PERMIT (SUP) FOR A HOTEL WITHIN PLANNED**
365 **DEVELOPMENT DISTRICT 32 (PD-32), FOR A 2.968-ACRE LOT,**
366 **CONTAINING TWO (2) PARCELS OF LAND IDENTIFIED AS LOT 3A,**
367 **BLOCK A, SHORELINE PLAZA ADDITION (1.824-ACRES) AND LOT**
368 **1-1, BLOCK A, HENRY AFRICA ADDITION (1.143-ACRES), CITY OF**
369 **ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR**
370 **SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT**
371 **TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00)**
372 **FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE;**
373 **PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN**
374 **EFFECTIVE DATE.**
375

376 **The motion passed unanimously of council (7 ayes to 0 nays).**

377 **3. SP2014-034 - Discuss and consider a request by Cameron Slown of FC**
378 **Cuny Corporation on behalf of Tom Kirkland of Tekmak Development**
379 **Company for the approval of waivers to Planned Development District 32**
380 **(PD-32) [Ordinance No. 10-21] and variances to the Unified Development**
381 **Code associated with a site plan for a hotel on a 2.968-acre tract of land**
382 **identified as Lot 3A, Block A, Shoreline Plaza Addition and Lot 1-1, Block**
383 **A, Henry Africa Subdivision, City of Rockwall, Rockwall County, Texas,**
384 **zoned Planned Development District 32 (PD-32), situated within the IH-30**
385 **Overlay (IH-30 OV) District, located at the southeast corner of the**
386 **intersection of the IH-30 Frontage Road and Lakefront Trail, and take any**
387 **action necessary.**

388 **Planning Director Robert LaCroix provided background information related to this**
389 **agenda item, indicating that the applicant is asking for certain waivers and variances**
390 **related to building placement, landscape requirements, parking setback requirements,**
391 **parking garage design standards, and an increased building height.**
392

393 **Regarding the variances, these are standard variances to the Unified Development Code**
394 **on things like building materials and masonry requirements. The applicant would like to**
395 **put stone on the building, but it is a cultured stone with a limestone base. The stone**
396 **looks very good, and it looks very similar to real stone. It is the same type of material**

397 that was utilized on the Trend Tower. In addition, the applicant would like to utilize an
398 efface type material on the remainder of the building. It is a product that would be
399 applied in a three-part process. It is the same sort of higher grade efface material that
400 was utilized on the Hilton Hotel. Mr. LaCroix went on to explain that the applicant would
401 like to utilize alternative type trees that will be more of accent trees in lieu of canopy type
402 trees.

403
404 The Planning & Zoning Commission has recommended approval of these waivers and
405 variances by a vote of 6 in favor with 1 against. The one dissenting vote pertained to
406 concerns surrounding the alternative tree mitigation plan.

407
408 Mr. Tom Kirkland, applicant, came forth and addressed the council. He explained that
409 this particular site location presents several challenges related to development. For
410 example, the need to have only surface level parking for, not only the hotel guests but
411 also for the meeting space visitors, has posed challenges. He explained that regarding
412 the building materials, a Tuscan type stone cladding will be utilized with a three part
413 application process. Regarding the request related to tree mitigation, he explained that
414 requiring canopy type trees would negatively impact the surface level parking availability
415 by limiting the number of spaces. So, he is requesting to plant some alternative type
416 trees that are smaller in size. The site will be heavily landscaped, though, he explained.

417
418 Mayor Pruitt asked for clarification regarding the parking lot that comes from the Oar
419 House. He asked if there is a requirement for that parking lot to adjoin with the parking
420 lot on the hotel site. Mr. LaCroix explained that the applicant could include 'cross
421 access' to the adjacent property (owned by Mr. Clements), and the council could require
422 this. However, he explained that the existing plat on Mr. Clement's property does not
423 show any sort of 'cross access' between it and the adjacent property on which the hotel
424 will be located. This would have to be a mutual agreement between Mr. Clements and the
425 applicant.

426
427 Councilmember Milder made a motion to approve SP2014-034. Councilmember Daniels
428 seconded the motion. The motion passed by a vote of 7 ayes to 0 nays.

429
430 4. Discuss and consider a request from Mrs. Brandi Lewellwn with Sign Mart
431 representing At Waters Edge for a setback variance for a monument sign
432 located at 204 N Fannin St, and take any action necessary.

433 Building Official Jeffrey Widmer provided brief background information related to this
434 agenda item. He generally explained that the applicant is making this request because
435 placement of a sign in front of the building poses challenges related to the city's set back
436 requirements due to the fact the 'front yard' is not very deep.

437
438 Mayor Pro Tem Lewis made a motion to approve the variance request associated with a
439 monument sign at 204 N. Fannin Street. Councilmember Townsend seconded the
440 motion, which passed unanimously of council present.

441
442 5. Discuss and consider authorizing the city manager to enter into an
443 agreement with the Texas Parks and Recreation Foundation regarding
444 future park land located within the Breezy Hill development, and take any
445 action necessary.

446 **Assistant City Manager Brad Griggs explained that the developer is prepared to dedicate**
447 **the park land (11 acres) in accordance with the city's mandatory parkland dedication**
448 **regulations. In addition, 19 acres will be donated to the city as open space (mainly**
449 **heavily treed). He explained that the grant application is not until March 31. A Phase 1**
450 **environmental study (about \$9500) is required on all three parcels that will be dedicated.**
451 **There will also be a \$300 annual fee on the property to the Foundation to manage the**
452 **asset. This action would place the land in a trust for parks and wildlife grants.**

453 **Councilmember Townsend authorized the city manager to enter into an agreement with**
454 **the Texas Parks and Recreation Foundation regarding future park land located within the**
455 **Breezy Hill development. Councilmember Hohenshelt seconded the motion, which**
456 **passed unanimously of council (7 ayes to 0 nays).**

457 **6. Discuss and consider approval of a resolution supporting an application**
458 **for assistance from the Texas Recreation Parks Account Program**
459 **through the Texas Parks and Wildlife Department, authorizing the City**
460 **Manager to enter into a contract with MHS Planning and Design for grant**
461 **application submittal for the neighborhood park within Breezy Hill and**
462 **take any action necessary.**

463 **Mr. Griggs indicated that this item corresponds to Action Item #5 and is related to a grant**
464 **application which has a deadline of March 31. He explained that the city should know**
465 **something regarding approval of its application and receipt of the grant sometime in**
466 **August. Councilmember Milder pointed out that last year, the city council discussed**
467 **investing \$9,000 to hire a consultant to assist with a similar grant application that did end**
468 **up resulting in receipt of a \$400,000 grant.**

469 **Councilmember Townsend made a motion to approve the resolution. Mayor Pruitt**
470 **seconded the motion, which passed by a vote of 7 ayes to 0 nays.**

471 **XIII. CITY MANAGER'S REPORT TO DISCUSS CURRENT CITY ACTIVITIES, UPCOMING MEETINGS,**
472 **FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.**
473

474 **1. Departmental Reports**
475 **Building Inspections Monthly Report - January 2015**
476 **Fire Department Monthly Reports - January 2015**
477 **Harbor PD Monthly Report - January 2015**
478 **Internal Operations Department Monthly Report - January 2015.**
479 **Police Department Monthly Report - January 2015**
480 **Recreation Monthly Report - January 2015**
481 **Rockwall Animal Adoption Center Monthly Report - January 2015**

482 **2. City Manager's Report**
483

484 **Mayor Pruitt announced that the annual Citizens Fire Academy is coming up from March**
485 **17 through May 26. He encouraged anyone interested to apply to participate in this**
486 **program.**
487

488 **City Manager Rick Crowley indicated that departmental reports have been included in**
489 **council member packets, and staff stands prepared to answer any questions the council**
490 **may have. There being none, Mayor Pruitt adjourned the public meeting (6:54 p.m.).**
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494 **XIV. EXECUTIVE SESSION**

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THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

- 500 1. Discussion regarding proposed Development Agreement with Lakefront
501 Trail Rockwall Hotel pursuant to Section 551.071 (Consultation with
502 Attorney).
- 503 2. Discussion regarding possible claim or settlement agreement related to
504 enforcing the city's sign ordinance regarding a billboard pursuant to
505 Section 551.071 (Consultation with Attorney).
- 506 3. Discussion regarding Rockwall Harbor Landing, Inc. vs. City of Rockwall
507 pursuant to Section 551.071 (Consultation with Attorney)
- 508 4. Discussion regarding right-of-way land acquisition located near Justin
509 Road and John King Blvd. pursuant to Section 551.072 (Real Property)
510 and status of Temunovic condemnation proceeding pursuant to Section
511 551.071 (Consultation with Attorney).
- 512 5. Discussion regarding Economic Development prospects and potential
513 incentive agreement pursuant to Section 551.087 (Economic
514 Development)
- 515 6. Discussion regarding the position of Chief of Police pursuant to Section
516 551.074 (Personnel Matters)

517 **XV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION**

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The Council did not reconvene in Executive Session following the close of the public meeting. See action taken as a result of the first Executive Session (at start of 6:00 p.m. public meeting).

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523 **XVI. ADJOURNMENT**

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525 **The meeting was adjourned at 6:54 p.m.**

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528 **PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,**
529 **THIS 16th day of MARCH, 2015.**

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ATTEST:

Jim Pruitt, Mayor

Kristy Ashberry, City Secretary

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This is 2nd reading. 1st reading was on 3/2, and passed by 7-0 vote

CITY OF ROCKWALL

ORDINANCE NO. 15-09

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A CHANGE IN ZONING BY IN ACCORDANCE WITH THE PROCEDURES OF ARTICLE V, SECTION 6.2 HISTORIC OVERLAY DISTRICT FOR THE PURPOSE OF DESIGNATING A LANDMARK DISTRICT ON PROPERTY KNOWN AS THE HISTORIC DOWNTOWN COURTHOUSE, BEING A 0.918-ACRE PARCEL OF LAND IDENTIFIED AS ROCKWALL O T ADDITION, AND LOCATED AT 101 EAST RUSK STREET, AND MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has initiated a request for designation of a Landmark District and in accordance with the City of Rockwall Unified Development Code [Ordinance No. 04-38]; Article V, Section 6.2 Historic Overlay District for the property located at 101 East Rusk Street, also known as the Historic Downtown Courthouse, being a 0.918-acre parcel of land identified as Rockwall O T Addition; City of Rockwall, Rockwall County, Texas, and more specifically depicted in Exhibit 'A' and Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the City of Rockwall Historic Preservation Advisory Board, Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to designate the Historic Downtown Courthouse a Landmark District as set forth in *Article V, Section 6.2 Historic Overlay District of the Unified Development Code [Ordinance No. 04-38]* for the *Subject Property*.

Section 2. That the *Subject Property* shall be recognized as a Landmark District as set forth in *Article V, Section 6.2 Historic Overlay District of the Unified Development Code [Ordinance No. 04-38]* of the City of Rockwall as heretofore amended, as amended herein by granting of

this zoning change, and as may be amended in the future.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 5. That if any section paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code No. 04-38 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 16th DAY OF MARCH, 2015.**

Jim Pruitt, Mayor

ATTEST:

Kristy Ashberry, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: 03-02-2015

2nd Reading: 03-16-2015



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Exhibit 'B' - Front Facade (Facing Rusk St.)



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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 03/16/2015

APPLICANT: Dub Douphrate, *Douphrate & Associates, Inc.*

AGENDA ITEM: **P2015-007**; *Replat of Lakeview Summit, Phase IV*

SUMMARY:

Discuss and consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of D. R. Horton Homes for the approval of a replat of Lakeview Summit, Phase IV for the purpose of reducing the number of single-family residential lots from 97 to 93 for a 38.056-acre subdivision currently composed of 97 single-family residential lots situated within the J. H. B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 29 (PD-29) for Single-Family 10 (SF-10) District land uses, located north of the intersection of Petaluma Drive and N. Lakeshore Drive, and take any action necessary.

COMMENTS:

- A final plat for Lakeview Summit, Phase IV was approved on May 15, 2006 [Case No. P2006-014] and filed with Rockwall County of April 11, 2007 [Cab. G, Vol. 129-130]. Since this time, the applicant has submitted updated civil drawings reconfiguring the lot layout in order to reduce some of the retaining walls required by the original plan. As part of this reconfiguration, the new lot layout calls for a reduction in the number of lots from 97 to 93 single-family lots. Generally, this could be approved at the staff level; however, the applicant has incorporated the required franchise utility easements that were omitted from the filed plat. The addition of these entitlements will require the approval of the Planning and Zoning Commission and City Council. The proposed replat does conform to all the requirements of Planned Development District 29 (PD-29). *Staff has included a copy of the current final plat and proposed replat in the attached packet.*
- The Surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for replats as stated in the *Subdivision Ordinance* in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

RECOMMENDATIONS:

Staff recommends approval of the replat for *Lakeview Summit, Phase IV* in conformance with the following conditions of approval:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

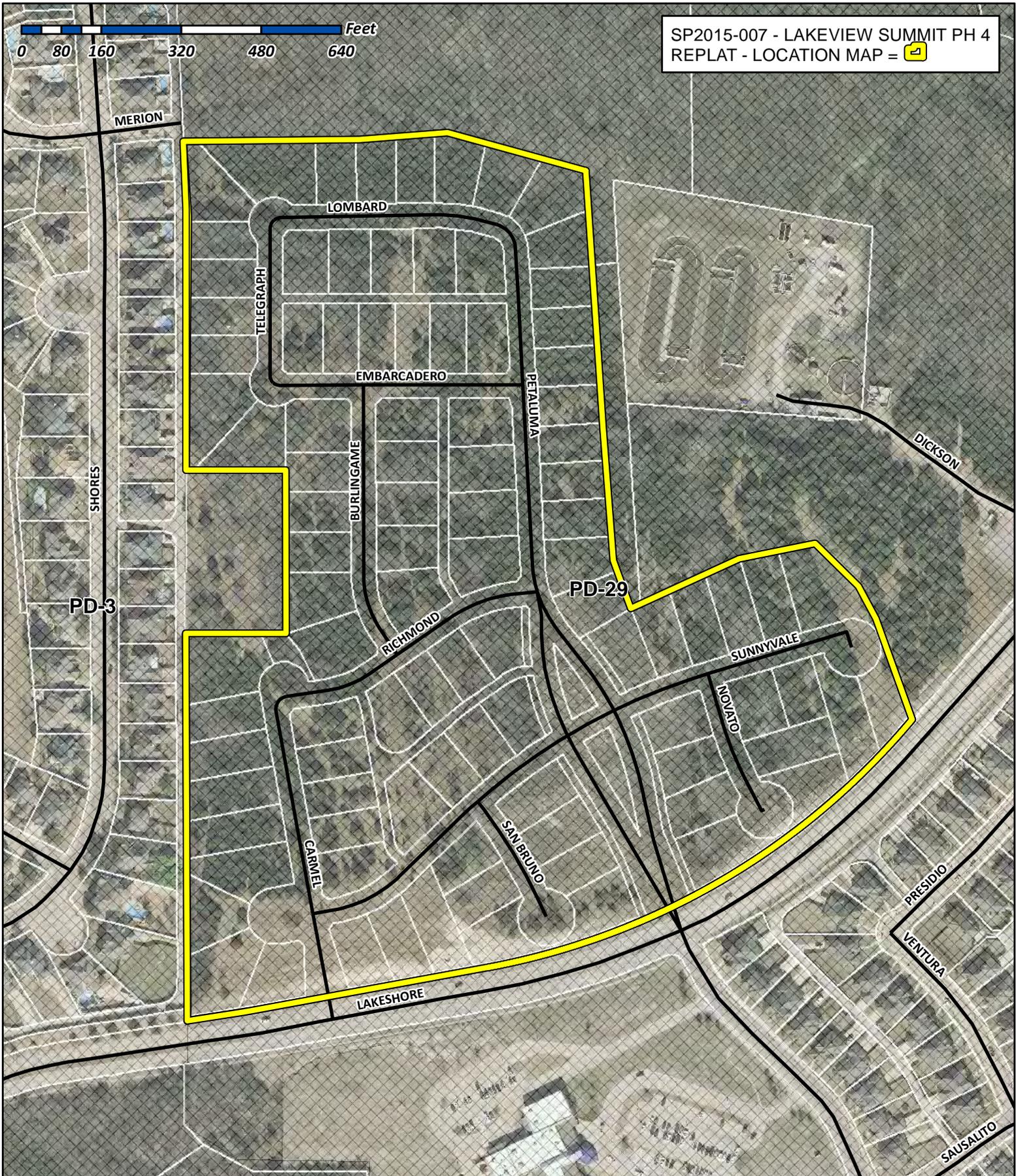
- 2) All open space, common lots and boulevards shall be maintained by the Homeowner's Association.
- 3) All conditions established under the preliminary plat (*Case No. P2012-028*) shall be satisfied as part of this development. Specifically, the following conditions shall be satisfied:
 - a) A wrought iron fence shall be installed on all four (4) sides (*i.e. north, south, east and west*) of the Butler Cemetery.
 - b) A wrought iron fence shall be constructed along the entire length of N. Lakeshore Drive and the landscape buffer strips on Petaluma Drive.
 - c) The Homeowner's Association shall be responsible for maintaining the boulevard space (*i.e. Blocks F & G*) along Petaluma Drive.
 - d) The Homeowner's Association shall be responsible for maintaining the *Drainage & Utility Easement* identified as *Lot 22, Block A* on the replat.
 - e) The development will need to adhere to the approved Park Board recommendations, which are as follows:
 - i) The developer shall constructed an eight (8) foot trail along N. Lakeshore Drive.
 - ii) The developer shall be responsible for paying pro-rata equipment fees of \$226.00 per lot (*i.e. \$21,018*).
- 4) Any construction resulting from the approval of this *plat* shall conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On March 10, 2015, the Planning and Zoning Commission approved a motion to recommend approval of the replat per staff's recommendations by a vote 6-0, with Commissioner Conley absent.

0 80 160 320 480 640 Feet

SP2015-007 - LAKEVIEW SUMMIT PH 4
REPLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

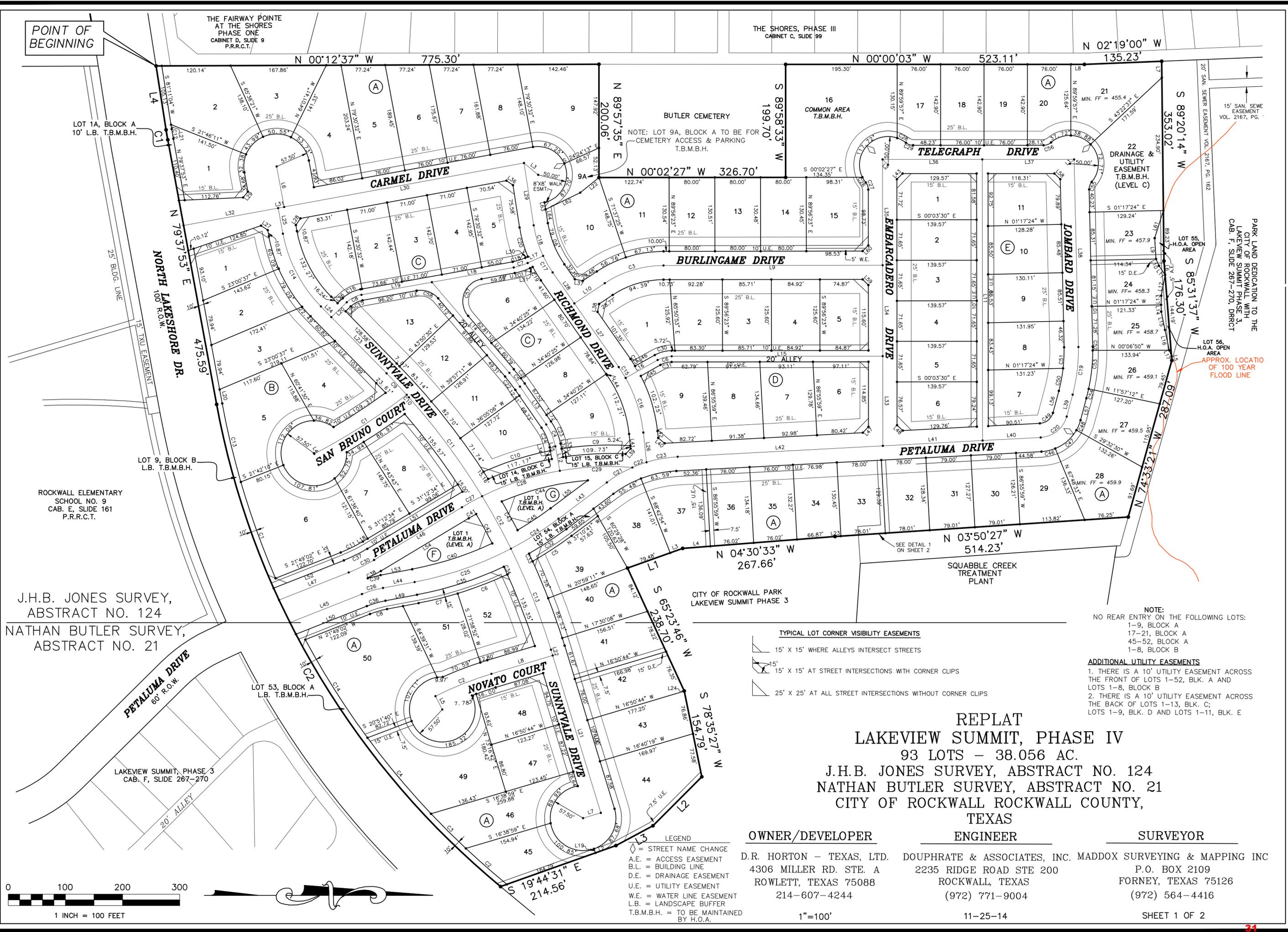
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POINT OF BEGINNING

THE FAIRWAY POINTE AT THE SHORES PHASE ONE CABINET D, SLIDE 9 P.R.R.C.T.

THE SHORES, PHASE III CABINET C, SLIDE 99



ROCKWALL ELEMENTARY SCHOOL NO. 9 CAB. E, SLIDE 161 P.R.R.C.T.

J.H.B. JONES SURVEY, ABSTRACT NO. 124

NATHAN BUTLER SURVEY, ABSTRACT NO. 21

LAKEVIEW SUMMIT, PHASE 3 CAB. F, SLIDE 267-270

BUTLER CEMETERY
NOTE: LOT 9A, BLOCK A TO BE FOR CEMETERY ACCESS & PARKING T.B.M.B.H.

CITY OF ROCKWALL PARK LAKEVIEW SUMMIT PHASE 3

SQUABBLE CREEK TREATMENT PLANT

15' SAN. SEWER EASEMENT VOL. 2167, PG. 1

PARK LAND DEDICATION TO THE CITY OF ROCKWALL WITH LAKEVIEW SUMMIT PHASE 3, CAB. F, SLIDE 267-270, DIRECT

APPROX. LOCATIO OF 100 YEAR FLOOD LINE

NOTE:
NO REAR ENTRY ON THE FOLLOWING LOTS:
1-9, BLOCK A
17-21, BLOCK A
45-52, BLOCK A
1-8, BLOCK B

ADDITIONAL UTILITY EASEMENTS
1. THERE IS A 10' UTILITY EASEMENT ACROSS THE FRONT OF LOTS 1-52, BLK. A AND LOTS 1-8, BLOCK B
2. THERE IS A 10' UTILITY EASEMENT ACROSS THE BACK OF LOTS 1-13, BLK. C; LOTS 1-9, BLK. D AND LOTS 1-11, BLK. E

- TYPICAL LOT CORNER VISIBILITY EASEMENTS
- 15' X 15' WHERE ALLEYS INTERSECT STREETS
 - 15' X 15' AT STREET INTERSECTIONS WITH CORNER CLIPS
 - 25' X 25' AT ALL STREET INTERSECTIONS WITHOUT CORNER CLIPS

REPLAT
LAKEVIEW SUMMIT, PHASE IV
93 LOTS - 38.056 AC.
J.H.B. JONES SURVEY, ABSTRACT NO. 124
NATHAN BUTLER SURVEY, ABSTRACT NO. 21
CITY OF ROCKWALL ROCKWALL COUNTY,
TEXAS

OWNER/DEVELOPER	ENGINEER	SURVEYOR
D.R. HORTON - TEXAS, LTD. 4306 MILLER RD. STE. A ROWLETT, TEXAS 75088 214-607-4244	DOUPHRAE & ASSOCIATES, INC. 2235 RIDGE ROAD STE 200 ROCKWALL, TEXAS (972) 771-9004	MADDOX SURVEYING & MAPPING INC P.O. BOX 2109 FORNEY, TEXAS 75126 (972) 564-4416



- LEGEND
- ◇ = STREET NAME CHANGE
 - A.E. = ACCESS EASEMENT
 - B.L. = BUILDING LINE
 - D.E. = DRAINAGE EASEMENT
 - U.E. = UTILITY EASEMENT
 - W.E. = WATER LINE EASEMENT
 - L.B. = LANDSCAPE BUFFER
 - T.B.M.B.H. = TO BE MAINTAINED BY H.O.A.

1"=100'

11-25-14

SHEET 1 OF 2

Legal Description

BEING, a tract of land situated in the J.H.B. Jones Survey, Abstract No. 124 and the Nathan Butler Survey, Abstract No. 21, City of Rockwall, Rockwall County, Texas, and being a part of that called 237.167 acre tract as conveyed to Pulte Homes of Texas, L.P., as recorded in Volume 01778, Page 00075 of the Deed Records of Rockwall County, Texas, and further being all of Lakeview Summit, Phase IV as recorded in Cabinet G, Slide 129, Plat Records Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a point on the northerly right of way line of North Lakeshore Drive (a 100' right of way) at the southeast corner of The Fairway Pointe at the Shores, an addition to the City of Rockwall as recorded in Cabinet D, Slide 9 of the Plat Records of Rockwall County, Texas, and also being on the westerly line of said Pulte Homes of Texas, L.P. tract;

THENCE, leaving the northerly right of way line of North Lakeshore Drive and along the westerly line of said Pulte Homes of Texas, L.P. tract, the following:

North 00 degrees 12 minutes 37 seconds West, a distance of 275.30 feet to a point at the southwest corner of the Butler Cemetery (unrecorded);

North 89 degrees 57 minutes 35 seconds East, a distance of 200.06 feet to a point at the southeast corner of said Butler Cemetery;

North 00 degrees 02 minutes 27 seconds West, a distance of 326.70 feet to a point at the northeast corner of said Butler Cemetery;

South 89 degrees 58 minutes 33 seconds West, a distance of 199.70 feet to a point at the northwest corner of said Butler Cemetery and also being on the easterly line of The Shores, Phase III, an addition to the City of Rockwall as recorded in Cabinet C, Slide 99 of said Plat Records;

THENCE North 00 degrees 00 minutes 03 seconds West, along the common line of said The Shores, Phase III with the westerly line of said Pulte Homes of Texas, L.P. tract, a distance of 523.11 feet to a point;

THENCE North 02 degrees 19 minutes 00 seconds West, continuing along the common line of said The Shores, Phase III with the westerly line of said Pulte Homes of Texas, L.P. tract, a distance of 135.23 feet to a point for corner;

THENCE leaving the common line of said The Shores, Phase III with the westerly line of said Pulte Homes of Texas, L.P. tract and over and across said Pulte Homes of Texas, L.P. tract, the following:

North 89 degrees 20 minutes 14 seconds East, a distance of 353.02 feet to a point;
North 85 degrees 31 minutes 37 seconds East, a distance of 176.30 feet to a point;
North 74 degrees 33 minutes 21 seconds East, a distance of 287.09 feet to a point;
South 03 degrees 50 minutes 27 seconds East, a distance of 514.23 feet to a point;
South 04 degrees 30 minutes 23 seconds East, a distance of 267.66 feet to a point;
South 19 degrees 49 minutes 23 seconds East, a distance of 102.53 feet to a point;
North 65 degrees 23 minutes 46 seconds East, a distance of 238.70 feet to a point;
North 78 degrees 35 minutes 27 seconds East, a distance of 154.79 feet to a point;
South 45 degrees 22 minutes 49 seconds East, a distance of 121.83 feet to a point;
South 28 degrees 25 minutes 00 seconds East, a distance of 73.44 feet to a point;
South 19 degrees 44 minutes 31 seconds East, a distance of 214.56 feet to a point on the existing northerly right of way line of North Lakeshore Drive;

THENCE along the existing northerly right of way line of North Lakeshore Drive, the following:

Along a curve to the right having a central angle of 39 degrees 46 minutes 37 seconds, a radius of 1450.00 feet, a chord distance of 986.55 feet that bears South 59 degrees 44 minutes 34 seconds West, around said curve an arc distance of 1006.65 feet to a point;

South 79 degrees 37 minutes 53 seconds West, a distance of 475.59 feet to a point;

Along a curve to the right having a central angle of 1 degree 33 minutes 11 seconds, a radius of 650.00 feet, a chord distance of 17.62 feet that bears South 80 degrees 24 minutes 28 seconds West, around said curve an arc distance of 17.62 feet to a point;

South 81 degrees 11 minutes 04 seconds West, a distance of 114.45 feet to the POINT OF BEGINNING and containing 38.056 acres of land.

SURVEYORS CERTIFICATE

I, HEREBY CERTIFY, THAT I PREPARED THIS SURVEY PLAT SHOWN HEREON FROM AN ACTUAL SURVEY ON THE GROUND BY ME AND THAT ALL CORNERS ARE MARKED, AND THAT ALL DIMENSIONS SHOWN THEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND FURTHERMORE THERE ARE NO ENCROACHMENTS, PROTRUSIONS, IMPROVEMENTS, EASEMENTS, RIGHT-OF-WAY, OR 100 YEAR FLOOD PLAIN AFFECTING THE PROPERTY EXCEPT AS SHOWN THEREON.

WITNESS UNDER MY HAND THIS THE _____ DAY OF _____, 2014.

BRIAN J. MADDOX, R.P.L.S. NO. 5430

STATE OF TEXAS COUNTY OF KAUFMAN

Before me, the undersigned authority, on this day personally appeared BRIAN J. MADDOX known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2014

Notary Public in and for the State of Texas

My Commission Expires:

RECOMMENDED FOR FINAL APPROVAL

Planning And Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2014

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, 2014

Mayor, City of Rockwall City Secretary City of Rockwall

City Engineer

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS COUNTY OF ROCKWALL

We, the undersigned owner of the land shown on this plat, and designated herein as REPLAT PLAT OF LAKEVIEW SUMMIT PHASE IV ADDITION, an addition to the City of Rockwall, Rockwall County, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in REPLAT OF LAKEVIEW SUMMIT PHASE IV ADDITION, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall.

OWNER: D.R. HORTON - TEXAS, LTD.

By: David L. Booth, Assistant V.P.

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2014

Notary Public in and for the State of Texas My Commission Expires:

Signature of Party with Mortgage or Lien Interest

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared David L. Booth known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ Day of _____, 2014

Notary Public in and for the State of Texas

My Commission Expires:

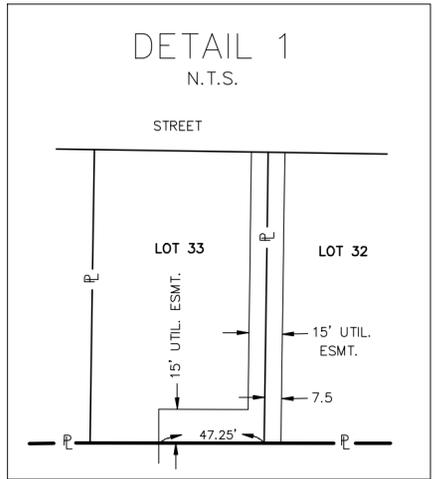
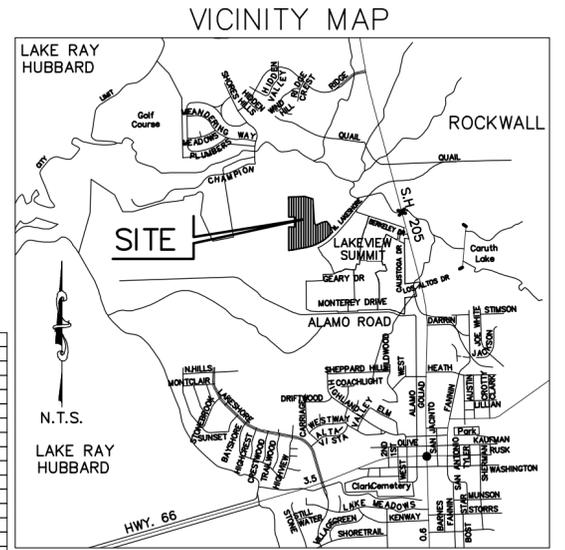
Table with 6 columns: CURVE, RADIUS, DELTA ANGLE, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Contains 30 rows of curve data.

Table with 3 columns: LINE, BEARING, DISTANCE. Contains 47 rows of lot line data.

Table with 5 columns: CURVE, RADIUS, DELTA ANGLE, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Contains 2 rows of boundary curve data.

Table with 3 columns: LINE, BEARING, DISTANCE. Contains 4 rows of boundary line data.

Table with 5 columns: CURVE, RADIUS, DELTA ANGLE, ARC LENGTH, CHORD BEARING, CHORD LENGTH. Contains 58 rows of lot curve data.



REPLAT LAKEVIEW SUMMIT, PHASE IV 93 LOTS - 38.056 AC. J.H.B. JONES SURVEY, ABSTRACT NO. 124 NATHAN BUTLER SURVEY, ABSTRACT NO. 21 CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: D.R. HORTON - TEXAS, LTD. 4306 MILLER RD. STE. A ROWLETT, TEXAS 75088 214-607-4244
ENGINEER: DOUPHRATE & ASSOCIATES, INC. 2235 RIDGE ROAD STE 200 ROCKWALL, TEXAS (972) 771-9004
SURVEYOR: MADDOX SURVEYING & MAPPING INC. P.O. BOX 2109 FORNEY, TEXAS 75126 (972) 564-4416

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CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Robert LaCroix, *Director of Planning and Zoning*

FROM: Ryan Miller, *Planning Manager*

DATE: March 16, 2015

SUBJECT: Hance Property (AG to PD) [Z2015-003]

At their regularly scheduled meeting on March 10, 2015, the Planning and Zoning Commission, at the request of the applicant (*John Arnold*), postponed the public hearing to March 31, 2015. This means that the projected City Council public hearing will be held at the April 6, 2015 meeting. According to Section 6.2, *Public Hearing Postponements, Recess, and Continuations*, of the Article II of the Unified Development Code (UDC), a public hearing may be postponed by announcing the postponement at the public hearing and indicating the time and place the new hearing is scheduled to begin; however, the date and time of the postponed public hearing cannot be greater than 60 days from the original public hearing date. The announcement of a postponement shall be sufficient notice and no additional notice shall be required. Per these requirements this will be the last meeting the applicant will be eligible to request a postponement. Should the applicant need to postpone the public hearing from the April 6, 2015 meeting the case will need to be withdrawn and resubmitted with a new application and fee.

Exhibit 'A': Applicant's Letter



8214 Westchester Drive, Suite 710
Dallas, TX 75225

March 6, 2015

Mr. Ryan Miller, Planning Manager
City of Rockwall Planning Department
385 S. Goliad Street
Rockwall, Texas 75087

Re: Request to table Agenda Item Z2015-003: Hance Property

Dear Mr. Miller:

As discussed, please accept this letter as Skorburg Company's official request to table Agenda Item Z2015-003 (the Hance property) at the Planning & Zoning Commission meeting for March 10th.

We respectfully request to be postponed to the March 31, 2015 Planning & Zoning Commission meeting for action.

Sincerely,

A handwritten signature in blue ink, appearing to read "John Arnold", written over a light blue circular stamp or watermark.

John Arnold
Development Partner

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 03/16/2015

APPLICANT: Kevin Carr of Gearheads Hot Rod Garage

AGENDA ITEM: **Z2015-007**; Truck Rental - SUP

SUMMARY:

Hold a public hearing to discuss and consider a request by Kevin Carr of GearHeads Hot Rod Garage for the approval of a Specific Use Permit (SUP) to allow truck rental in conjunction with an existing minor automotive repair garage on a two (2) acre tract of land identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 3920 E. IH-30, and take any action necessary.

BACKGROUND INFORMATION:

U-Haul Co. of North East Dallas is proposing a *Neighborhood Dealer* location for the GearHeads Hot Rod Garage facility. U-Haul will provide the rental of no more than five (5) U-Haul trucks and five (5) trailers for this location at any given time. The applicant has indicated that the trucks and trailers will be parked at the rear of the facility where there is less visibility from IH-30. The purpose of the rental trucks and trailers is to provide their customers with an additional service associated with the existing automotive repair garage. GearHeads Hot Rod Garage is located at 3920 E. IH-30, is within the IH-30 Overlay district and is zoned Light Industrial (LI) District. This particular location is adjacent to the eastern City Limits boundary line and is the last property seen as you travel east bound along IH-30 and/or the frontage road.

According to the Unified Development Code, Article IV Permissible Uses, Sec. 2.1.10. - Wholesale, distribution and storage.

Outside storage and/or outside display.

2. No outside storage shall be allowed in any zoning district adjacent to IH-30. However, on property that is zoned (LI) Light Industrial and adjacent to IH-30, a specific use permit (SUP) may be considered on a case-by-case basis to allow for outside storage and/or display in conjunction with a use that is permitted under this article. An SUP approved for this use may be subject to time limitations, site/landscaping or building enhancements, or other restrictions deemed appropriate by the planning and zoning commission or city council.

Included in your packet is a letter from U-Haul Company of North East Dallas requesting the Specific Use Permit. The letter also includes a purpose statement for the business. The applicant has included a conceptual site plan indicating the general location of the facility and the area designated for the storage of the trucks and trailers which is at the rear of the building within a fenced-in area.

A request for an Specific Use Permit is a discretionary act upon the Planning and Zoning Commission and City Council.

NOTIFICATION:

On February 20, 2015, staff mailed two (2) notices to property owners within 500 feet of the subject property; however, since there are no HOA/Neighborhood Organizations within 1500 feet participating in the notification program, there was no additional notice forwarded by e-mail. Additionally, staff posted a sign on the property as required by the Unified Development Code (UDC). A public notice has been published in the Rockwall Herald Banner and posted on the City's web-site. At the time this report was drafted, staff has received no notices "for" or "against" the zoning change requested.

RECOMMENDATIONS:

Should the SUP be approved, staff would offer the following conditions of approval:

1. Adherence to all Engineering and Fire Department standards.
2. That the specific use permit (SUP) shall be valid for a period of three years from the date of passage of the SUP ordinance. If an extension to the 3-year time limit is desired, the owner shall petition the City Council for such extension at least 90 days prior the expiration of the SUP. The City Council shall review the SUP and determine if an extension of time is warranted.
3. That the commercial operation of a truck rental facility shall be limited to no more than five (5) U-Haul trucks and five (5) U-Haul trailers on the premises at any one time.
4. That the rental trucks and trailers be parked/stored on the premises, to the rear of the building, behind the fenced area as indicated on the conceptual site plan submitted so as to not be visible from the adjacent street rights-of-way (i.e. IH-30).

Planning and Zoning Commission Recommendation:

On March 10, 2015, the Planning and Zoning Commission recommended approval of the Specific Use Permit (SUP) request with staff conditions by a vote of 6 to 0 [Conley – absent].



Z2015-007 - Truck Rental SUP
 ZONING - LOCATION MAP = [icon]

0 80 160 320 480 640 Feet

VAUGHN

INTERSTATE 30

INTERSTATE 30

INTERSTATE 30

INTERSTATE 30

LI

CARRINGTON



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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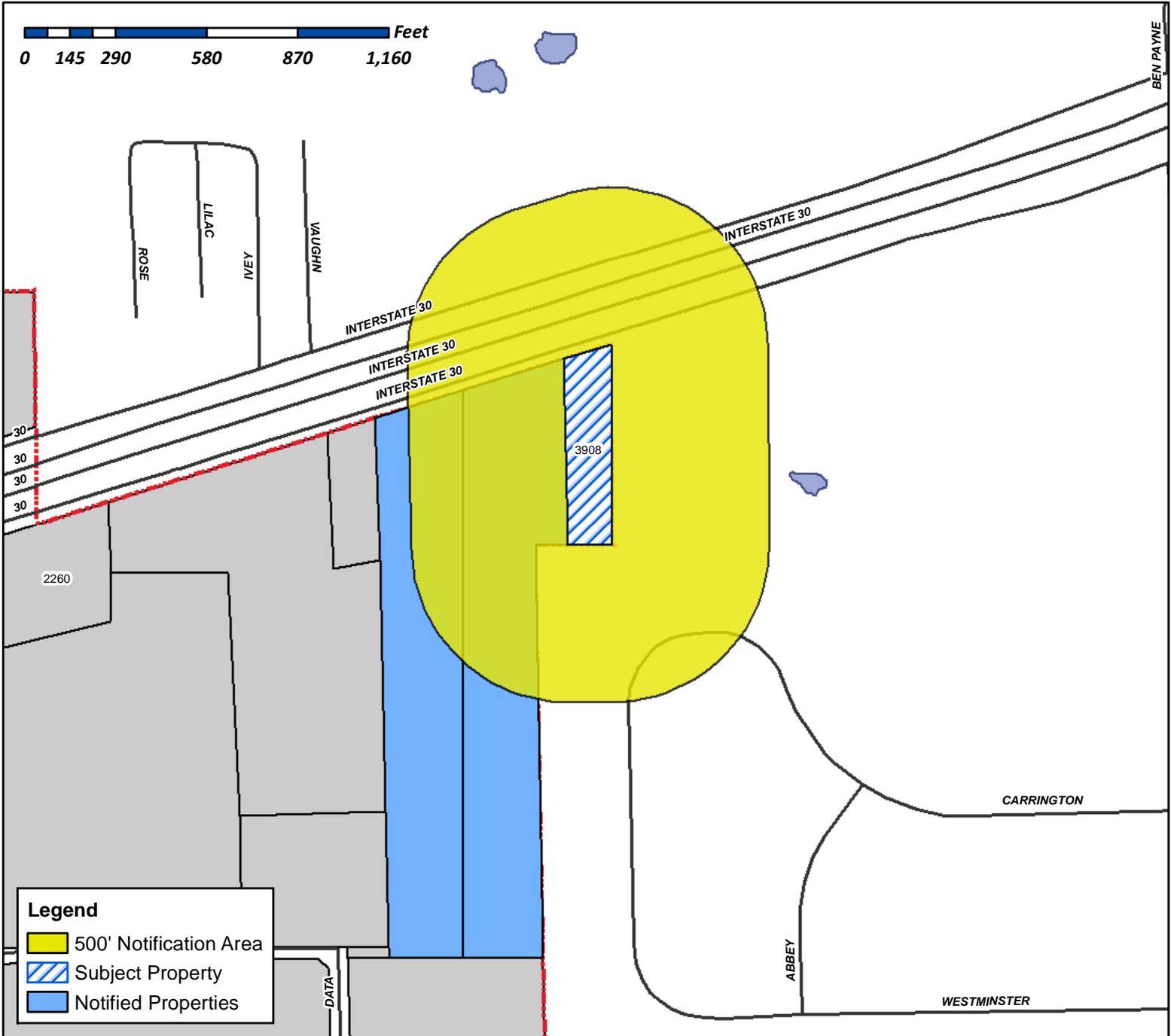




City of Rockwall

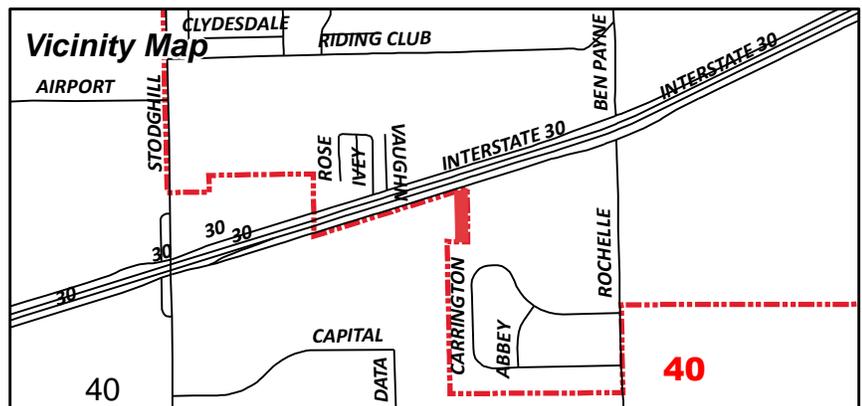
Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2015-007
Case Name: Truck Rental SUP
Case Type: Specific Use Permit
Zoning: Light Industrial
Case Address: 3920 E I30

Date Created: 2/13/2015
For Questions on this Case Call (972) 771-7745

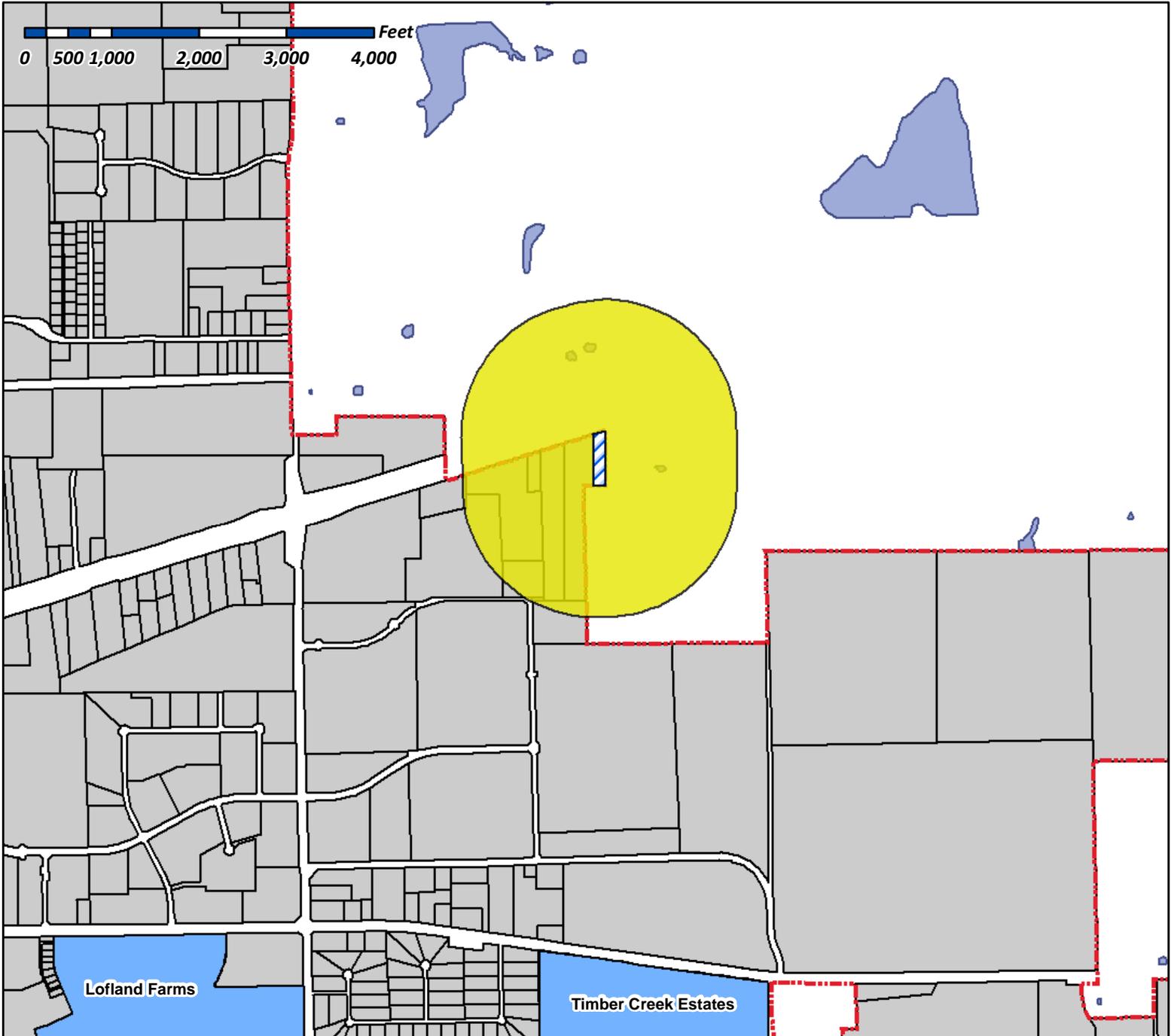




City of Rockwall

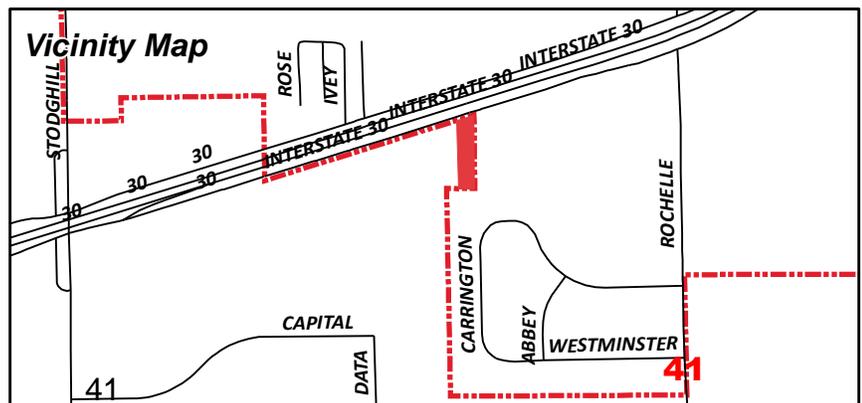
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Case Number: Z2015-007
Case Name: Truck Rental SUP
Case Type: Specific Use Permit
Zoning: Light Industrial
Case Address: 3920 E I30

Date Created: 2/13/2015
For Questions on this Case Call (972) 771-7745



Reference No.	Name	Legal Description	Address 1	Address 2	Address 3	City	State	Zip
0120-0000-0025-00-OR	HERDING PEIRRE & JUNG JA &	A0120 R B IRVINE, TRACT 25, ACRES 11.12	VEERARAGHAVAN LTD PARTNERSHIP	120 BLUE HERON LN		HEATH	TX	75032
0120-0000-0025-01-OR	PHASE 17 INVESTMENTS LP	A0120 R IRVINE, TRACT 25-1, ACRES 11.12		PO BOX 601638		DALLAS	TX	75360



U-HAUL COMPANY OF NORTH EAST DALLAS
4101 W. Plano Parkway * Plano, Texas 75093 * Phone: (972) 263-4176

To Whom It May Concern:

I am writing on behalf of the U-Haul Co. of NE Dallas.

U-Haul would like to establish a Neighborhood Dealer location with: Kevin Carr at Gearheads Hotrod Garage located at 3920 E Interstate 30 Rockwall, TX 75087.

We are looking to rent U-Haul Trucks and Trailers at this location. We are planning on having no more than five of each at any given time. The location is fenced and equipment will be displayed in an organized fashion.

Having locations such as this as a U-Haul Dealership will allow customers more convenience by reducing the travel distance between drop-off and pick-up of other vehicles at other locations. Simply put, customers not have to travel back and forth, to and from, a separate location to obtain do it yourself moving rental equipment. This unnecessary and non-productive driving can lead to a net increase of carbon emissions in the local area. In other words, the allowance of U-Haul Trucks and Trailers at this location, inside city limits, will reduce the carbon footprint in the entire area.

With this in mind U-Haul would appreciate your support towards establishing a U-Haul Neighborhood Dealership location with Gearheads Hotrod Garage.

Thank you,

Zane Rowland
Marketing Company President
Cell: 214.317.3645
Zane_rowland@uhaul.com

A handwritten signature in black ink, appearing to read "Zane Rowland", is written over the typed name and contact information.

Moving Made Easier

CITY OF ROCKWALL

ORDINANCE NO. 15-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A TRUCK RENTAL FACILITY IN CONJUNCTION WITH AN EXISTING MINOR AUTOMOTIVE REPAIR GARAGE, BEING A 2.0-ACRE TRACT OF LAND, ZONED LIGHT INDUSTRIAL (LI) DISTRICT AND IDENTIFIED AS TRACT 23-01 OF THE R. IRVING SURVEY, ABSTRACT NO. 120, AND LOCATED AT 3920 E IH-30, , CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Kevin Carr of GearHeads Hot Rod Garage for the approval of a Specific Use Permit to allow for a *Truck Rental Facility* in conjunction with an existing minor automotive repair garage being a 2.0-acre tract of land, zoned Light Industrial (LI) District and identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, and located at 3920 E. IH-30, and, City of Rockwall, Rockwall County, Texas, and more specifically described in Exhibit 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit allowing for a *Truck Rental Facility* in conjunction with an existing minor automotive repair garage within a Light Industrial (LI) District as stipulated by the Unified Development Code [Ordinance no. 04-38] on the *Subject Property*, and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) granted herein and shall be subject to the conditions set forth in *Article IV, Permissible Uses, Sec. 2.1.10 Wholesale, Distribution and Storage* of the Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by

granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following additions and compliance standards:

2.1 Operational Conditions

The following conditions pertain to the operation of a *Truck Rental Facility* in conjunction with an existing minor automotive repair garage on the *Subject Property*, and conformance to these stipulations is required for continued operations:

1. That the commercial operation of a *Truck Rental Facility* shall be limited to no more than five (5) U-Haul trucks and five (5) U-Haul trailers on the premises at any one time for the *Subject Property* as depicted in Exhibit "A" attached hereto; and,
2. That the U-Haul rental trucks and U-Haul trailers be parked/stored on the premises, to the rear of the building, behind the fenced area as indicated on the conceptual site plan submitted as Exhibit 'B' so as to not be visible from the adjacent street rights-of-way (i.e. IH-30); and,
3. That the Specific Use Permit (SUP) shall be valid for a period of three years from the date of passage of the SUP ordinance. If an extension to the 3-year time limit is desired, the owner shall petition the City Council for such extension at least 90 days prior the expiration of the SUP. The City Council shall review the SUP and determine if an extension of time is warranted.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE _____ DAY OF _____, 2015.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Ashberry, *City Secretary*

APPROVED AS TO FORM:

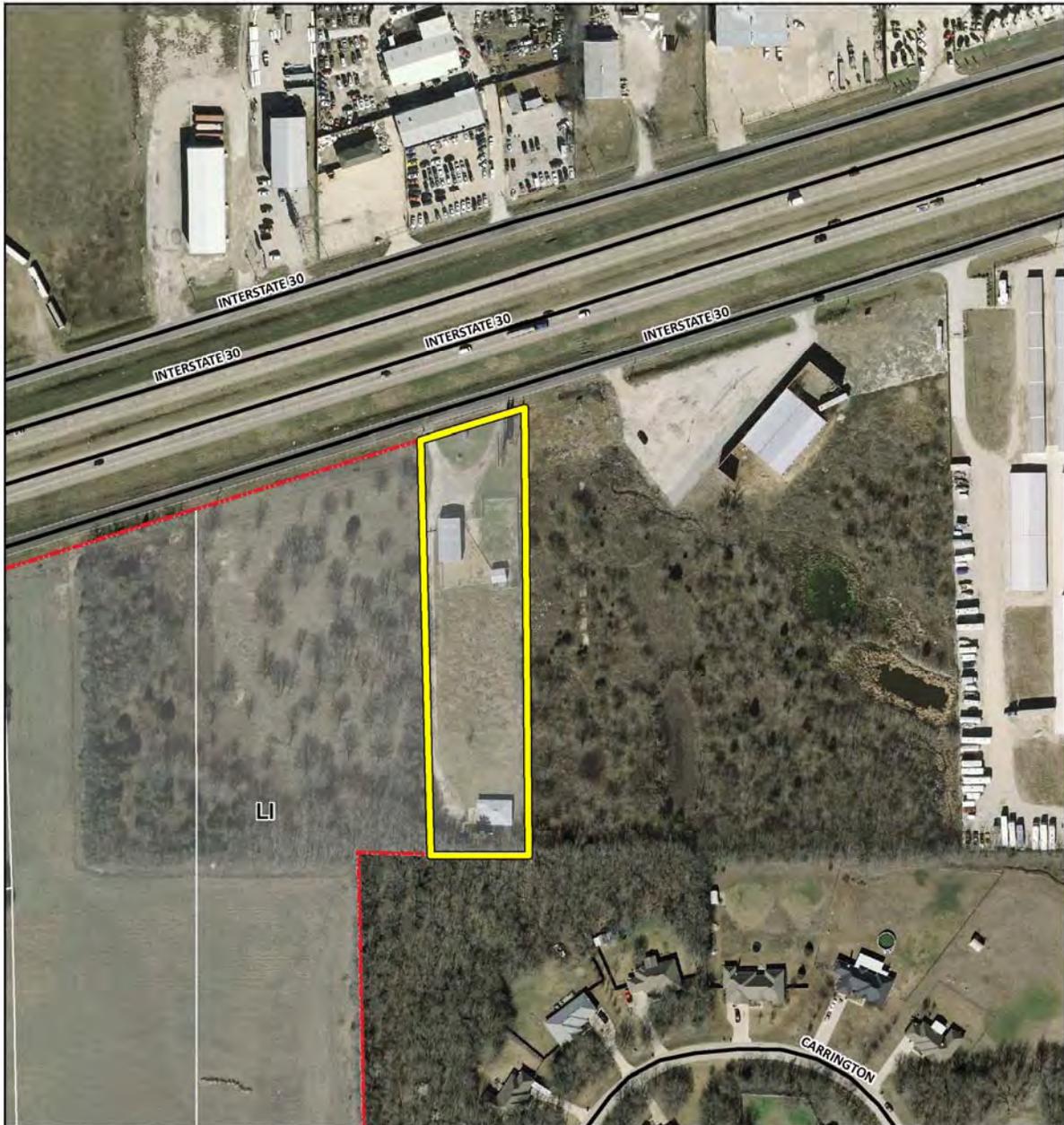
Frank J. Garza, *City Attorney*

1st Reading:

2nd Reading:

Exhibit 'A'

Legal Description: A0120, R. Irvine, Tract 23-01, Acres-2.0



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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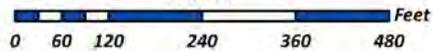


Exhibit 'B' - Conceptual Site Plan



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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 3/16/2015

APPLICANT: Herman Douglas Utley

AGENDA ITEM: **Z2015-008**; 1815 E. Old Quail Run Road (AG to SFE-2.0)

SUMMARY:

Hold a public hearing to discuss and consider a request by Herman Douglas Utley for the approval of a zoning change from an Agricultural (AG) District to a Single Family Estate 2.0 (SFE-2.0) District for a 4.502-acre tract of land identified as Tract 1 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass (SH-205 BY OV) District, addressed as 1815 E. Old Quail Road, and take any action necessary.

PURPOSE:

The subject property is a 4.502-acre tract of land identified as Tract 1 of the S. R. Barnes Survey, Abstract No. 13. The applicant, Herman Douglas Utley, is requesting to rezone the property from an Agricultural (AG) District to a Single-Family Estate (SFE 2.0) District for the purpose of subdividing the property into two (2) acre parcels of land (*i.e. Lot 1: 2.172-acres and Lot 2: 2.33-acres*). Currently, the subject property has an existing single-family home constructed in the southeast corner. According to the applicant's letter, the existing house will remain on one lot and a new single-family home will be constructed on the remainder lot.

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Quail Run Road, which is identified as a M4U (*minor arterial, four [4] lane, undivided roadway*) according to the City's Master Thoroughfare Plan. Beyond this roadway is a portion of a larger 62.192-acre tract of land zoned Agricultural (AG) District that is currently vacant.

South: Directly south of the subject property is a 4.83-acre parcel of land zoned Agricultural (AG) District, which is identified as Lot 1, Block A, of the D. R. Taylor Addition and addressed as 1691 E. Old Quail Run Road. Beyond this property are the corporate boundaries of the City of Rockwall.

East: Directly east of the subject property is a 29.929-acre tract of land zoned Agricultural (AG) District that is currently vacant. Beyond this tract of land is Saddlebrook Estates, Phase 2, which is zoned Single-Family 16 (SF-16) District and contains 45 single-family residential lots.

West: Directly west of the subject property is E. Old Quail Run Road followed by a portion of a larger 62.192-acre tract of land zoned Agricultural (AG) District that is currently

vacant. Bisecting this tract of land is John King Boulevard, which is identified as a P6D (*principal arterial, six [6] lane, divided roadway*) according to the City's Master Thoroughfare Plan.

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use Map, adopted with the Comprehensive Plan, designates the subject property for *Low Density Residential* land uses, which is defined as less than two (2) single-family units per acre. This designation is in conformance with the applicant's request to rezone the subject property to a Single-Family Estate (SFE-2.0) District (*i.e. a density of 2.251 units per acre*).

NOTIFICATION:

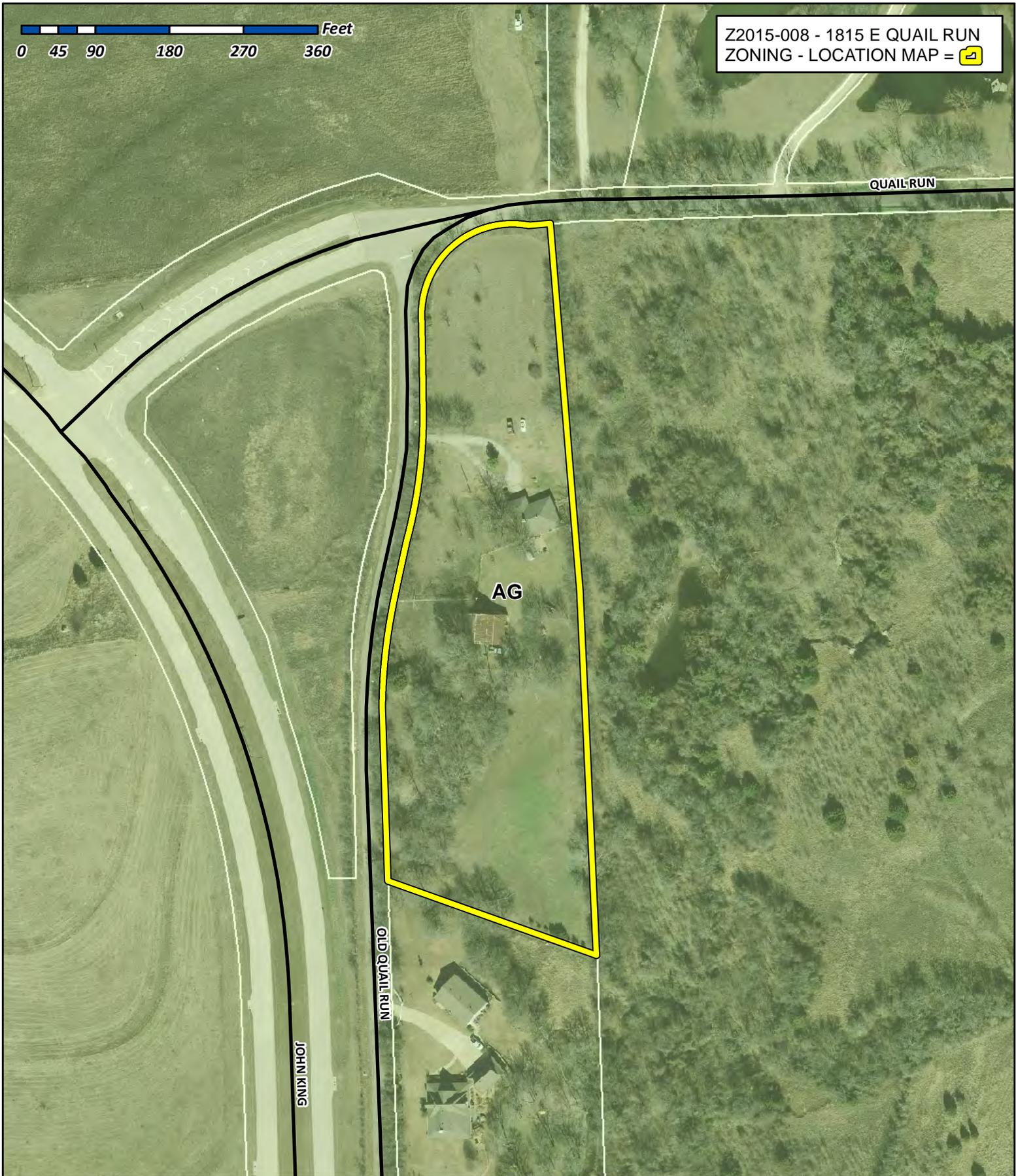
On February 20, 2015, staff mailed seven (7) notices to property owners and residents within 500-feet of the subject property. Staff also emailed notices to the Stoney Hollow and Caruth Lakes Homeowner's Associations (HOA's), which are the only HOA's located within 1,500-feet of the subject property. Additionally, staff posted a sign along E. Old Quail Run Road, and advertised the public hearings in the Rockwall Harold Banner as required by the Unified Development Code (UDC). At the time this case memo was drafted no responses were received by staff.

PLANNING AND ZONING COMMISSION:

On March 16, 2015, the Planning and Zoning Commission approved a motion to recommend approval of the proposed zoning change by a vote of 6-0, with Commissioner Conley absent.

0 45 90 180 270 360 Feet

Z2015-008 - 1815 E QUAIL RUN
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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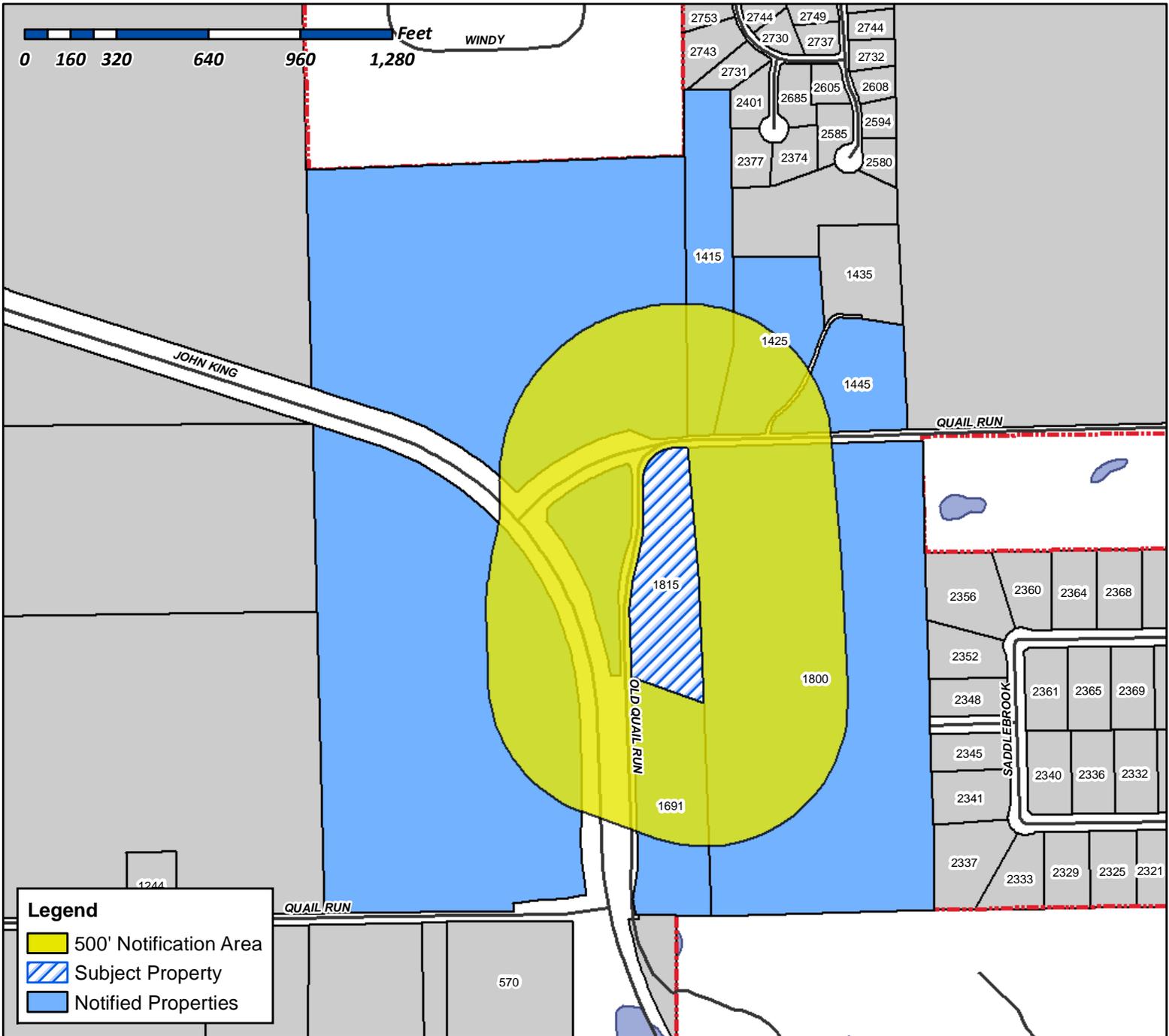




City of Rockwall

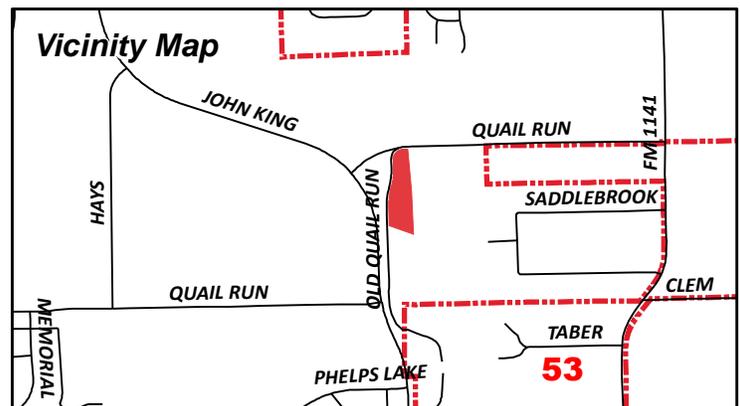
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2015-008
Case Name: 1815 E Quail Run
Case Type: Zoning
Zoning: SF-E/2.0
Case Address: 1815 E Quail Run Rd

Date Created: 2/13/2015
For Questions on this Case Call (972) 771-7745



NALLEY MICHAEL R & LORI D
1445 E QUAIL RUN RD
ROCKWALL, TX 75087

GIDEON LONNIE L TR
SHELLEY L GIDEON HENAGER TRUST
1800 QUAIL RUN RD
Rockwall, TX 75087

KOUVELIS HILDA & PETER
1415 E QUAIL RUN RD
ROCKWALL, TX 75087

LARRIVIERE MICHAEL R & LISA J
1425 E QUAIL RUN RD
ROCKWALL, TX 75087

UTLEY HERMAN D
1815 E QUAIL RUN RD
ROCKWALL, TX 75087

LANKFORD BONNIE
1691 OLD E QUAIL RUN RD
ROCKWALL, TX 75087

GIDEON LONNIE L TR
BRADLEY JOE GIDEON TRUST
PO Box 84
FATE, TX 75132



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2015-008: 1815 E Quail Run

Hold a public hearing to discuss and consider a request by Herman Douglas Utley for the approval of a zoning change from an Agricultural (AG) District to a Single Family Estate 2.0 (SFE-2.0) District for a 4.502-acre tract of land identified as Tract 1 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass (SH-205 BY OV) District, addressed as 1815 E. Quail Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2015 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/16/2015 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/16/2015** to ensure they are included in the information provided to the City Council.

Sincerely,

Robert LaCroix, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

PLEASE RETURN THE BELOW FORM

Case No. Z2015-008: 1815 E Quail Run

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Grey bar for Name

Address:

Grey bar for Address

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

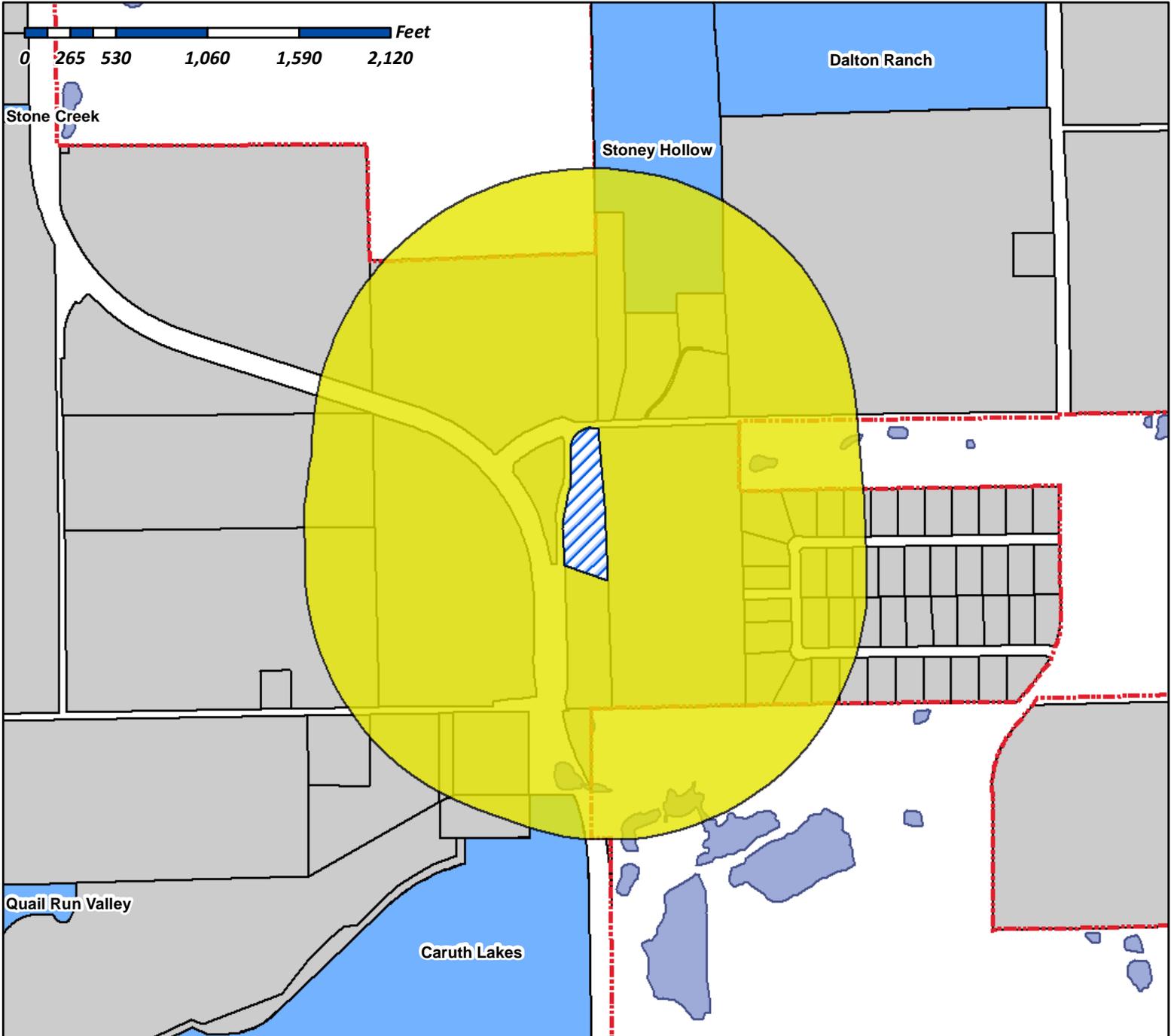
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



City of Rockwall

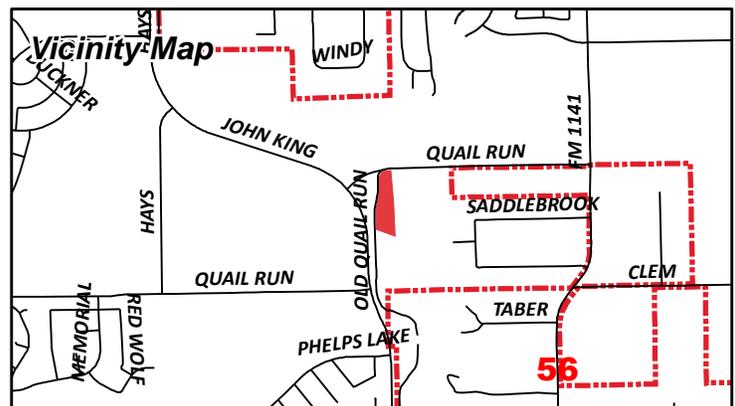
Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2015-008
Case Name: 1815 E Quail Run
Case Type: Zoning
Zoning: SF-E/2.0
Case Address: 1815 E Quail Run Rd

Date Created: 2/13/2015
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Miller, Ryan
Sent: Wednesday, February 25, 2015 3:36 PM
To: [REDACTED]
Subject: Neighborhood Notification Program: Notice of Zoning Request
Attachments: HOA Map (02.16.2015).pdf

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was also published in the Rockwall Harold Banner on February 20th, 2015. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <http://www.rockwall.com/planning/planningDevCases.asp>.

Z2015-008: Hold a public hearing to discuss and consider a request by Herman Douglas Utley for the approval of a zoning change from an Agricultural (AG) District to a Single Family Estate 2.0 (SFE-2.0) District for a 4.502-acre tract of land identified as Tract 1 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass (SH-205 BY OV) District, addressed as 1815 E. Quail Road, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.



RYAN C. MILLER, AICP

PLANNING MANAGER • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

HELPFUL LINKS | CITY OF ROCKWALL WEBSITE | PLANNING & ZONING DIVISION WEBSITE | MUNICIPAL CODE WEBSITE
GIS DIVISION WEBSITE | CITY OF ROCKWALL INTERACTIVE MAPS | MAIN STREET DIVISION

I AM WRITING THIS LETTER AS EXPLANATION
OF THE REZONING AND PLATTING OF MY PROPERTY
LOCATED AT 1815 E. QUAIL RUN RD. AND CONSISTING
OF 4.502 ACRES OF LAND. THE LAND IS BEING
DEVIDED INTO TWO SEPERATE PEICES OF PROPERTY.
ONE BEING 2.172 ACRES OF LAND AND REMAINING
1815 E. QUAIL RUN RD. THE LEFT OVER PEICE OF
PROPERTY CONSISTING OF 2.33 ACRES ADDRESSED
AS 1800E. QUAIL RUN RD., WHICH IS NOW ZONED
AGGRICULTURAL WILL BE REZONED AS RESIDENTIAL
AND PLATTED SEPERATE FOR THE PURPOSE OF
BUILDING A SINGLE FAMILY HOUSE.



H. DOUG UTLEY
1815 E. QUAIL RUN RD.
ROCKWALL, TX, 75087
CAVEMAN 0564@YAHOO.COM
214 693 1246

CITY OF ROCKWALL

ORDINANCE NO. 15-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A CHANGE IN ZONING FROM AN AGRICULTURE (AG) DISTRICT TO A SINGLE-FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT FOR A 4.502-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1 OF THE S. R. BARNES SURVEY, ABSTRACT NO. 13, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Herman Douglas Utley for the approval of an amendment to the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall to adopt a change in zoning from an Agriculture (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a 4.502-acre tract of land identified as Tract 1 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, and more specifically described in Exhibit 'A' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agriculture (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District; and

Section 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family Estate (SF-E) District* in Section 1.1, "Use of Land and Buildings," of Article IV, "Permissible Uses" and Section 3.2, "Single-Family Estate (SF-E/1.5, 2.0, 4.0) District", of Article V, "District Development Standards", of the Unified Development Code of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

Section 3. That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein.

Section 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ON THIS THE 7TH DAY OF APRIL, 2014.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Ashberry, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: *March 16, 2015*

2nd Reading: *April 6, 2015*

Exhibit 'A':
Legal Description

PROPERTY DESCRIPTION

Being a 4.502 acre tract of land situated in the S.R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas and being all that certain tract of land described in deed to Herman D. Utley, as recorded in Instrument No. 2006-00358812, Deed Records, Rockwall County, Texas and all that certain tract of land described in deed to Herman Douglas Utley, as recorded in Volume 3555, Page 93, said Deed Records and being more particularly described by metes and bounds as follows:

BEGINNING at a found 60 penny nail in E. Quail Run Road at the common west corner of said Utley tract (3555/93) and Lot 1, Block A, of the D.R. Taylor Addition, recorded in Cabinet E, Slide 317, Plat Records, Rockwall County, Texas, said 60 penny nail being on the east line of the remainder of that certain tract of land described in deed to Lonnie L. Gideon, as recorded in Volume 307, Page 256, said Deed Records;

THENCE along said E. Quail Run Road and the common line of said Utley tract (3555/93) and said Gideon tract the following bearings and distances:

North, a distance of 144.96 feet to a found 60 penny nail;

North 03 degrees 22 minutes 44 seconds East, a distance of 103.15 feet to a found 60 penny nail from which a found 5/8-inch iron rod bears North 32 degrees 43 minutes 46 seconds East, a distance of 13.69 feet and a found 1/2-inch iron rod bears South 87 degrees 53 minutes 27 seconds East, a distance of 17.69 feet;

North 09 degrees 16 minutes 45 seconds East, a distance of 86.44 feet to a found 60 penny nail at the common west corner of said Utley tracts, from which a found 1/2-inch iron rod bears South 89 degrees 39 minutes 46 seconds East - 25.41 feet;

THENCE along aforesaid E. Quail Run Road and the common line of said Utley tract (2006-00358812) and aforesaid Gideon tract the following bearings and distances:

North 13 degrees 45 minutes 03 seconds East, a distance of 134.53 feet;

North 04 degrees 57 minutes 27 seconds East, a distance of 130.01 feet;

North 02 degrees 16 minutes 19 seconds East, a distance of 113.06 feet to a point from which a found 5/8-inch iron rod bears North 02 degrees 54 minutes 26 seconds East, a distance of 31.67 feet;

North 30 degrees 51 minutes 27 seconds East, a distance of 72.24 feet;

North 69 degrees 46 minutes 15 seconds East, a distance of 98.85 feet;

North 86 degrees 17 minutes 03 seconds East, a distance of 67.89 feet to a point from which a found 1/2-inch iron rod bears North 07 degrees 24 minutes 57 seconds East, a distance of 4.98 feet, said point being the common corner of aforesaid Utley tract (2006-00358812) and that certain tract of land described in deed to Lonnie L. Gideon, as recorded in Volume 307, Page 259, aforesaid Deed Records and that certain tract of land described in deed to Hilda Kouvelis and husband, Peter Kouvelis, as recorded in Volume 1881, Page 115, said Deed Records;

THENCE South along the common line of said Utley tract (2006-00358812) and said Gideon tract (307/259), passing a found 1/2-inch iron rod at the common east corner of said Utley tracts at a distance of 473.91 feet and continuing along the common line of said Utley tract (3555/93) and said Gideon tract (307/259) a total distance of 916.66 feet to a point from which a found 1/2-inch iron rod bears North 57 degrees 25 minutes 40 seconds West, a distance of 0.69 of one foot, said point being the common east corner of said Utley tract (3555/93) and aforesaid Lot 1;

THENCE North 67 degrees 32 minutes 31 seconds West along the common line of said Utley tract (3555/93) and said Lot 1, passing a found 1/2-inch iron rod at a distance of 260.05 feet and continuing a total distance of 287.04 feet to the POINT OF BEGINNING and containing 196,096 square feet or 4.502 acres of land.

THIS IS TO DECLARE that on this date a survey was made on the ground, under my direction and supervision of the above described tract of land.

There are no visible conflicts, visible evidence of easements or rights-of-way, or protrusions, except as shown, and that this date the easements, rights-of-way or other locatable matters of record of which the undersigned has knowledge or has been advised are as shown or noted hereon.

The subject property does not appear to lie within the limits of a 100-year flood hazard zone according to the Map published by the Federal Emergency Management Agency, and has a Zone 'X' Rating as shown by Map No. 480543 00030 B, dated SEPTEMBER 17, 1980. The statement that the property does or does not lie within a 100-year flood zone is not to be taken as a representation that the property will or will not flood. This survey is not to be used for construction purposes and is for the exclusive use of Foundation Mortgage and Commonwealth Title only and this survey is made pursuant to that one certain title commitment under the GF number 2252000072, provided by the title company named hereon.

NOTES:

CM = CONTROLLING MONUMENT.

SUBJECT PROPERTY IS NOT AFFECTED BY THE FOLLOWING:

(10e)-EASEMENT, VOL. 80, PG. 123, VOL. 110, PG. 792, R.P.R.R.C.T.

(10f)-EASEMENT, VOL. 82, PG. 358, R.P.R.R.C.T.

(10g)-EASEMENT, VOL. 913, PG. 20, R.P.R.R.C.T.

(10h)-EASEMENT, VOL. 908, PG. 10, R.P.R.R.C.T.

THE BEARINGS FOR THIS SURVEY ARE BASED ON DEEDS RECORDED IN VOLUME 3555, PG. 93 AND IN INSTRUMENT NO. 2006-00358812, D.R.R.C.T.

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 03/16/2015

APPLICANT: Chris and Jill Blasé

AGENDA ITEM: Z2015-009; Detached Garage - SUP

Hold a public hearing to discuss and consider a request by Chris and Jill Blasé for the approval of a Specific Use Permit (SUP) for a detached garage that does not conform to the requirements as stipulated by Section 2.1.2, *Residential and Lodging Use Conditions*, of Article IV, *Permissible Uses*, of the Unified Development Code for a 4.05-acre parcel of land identified as Lot 1, Block 1, Blasé Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 1220 East Fork Drive, and take any action necessary.

BACKGROUND INFORMATION:

The applicants are requesting a Specific Use Permit (SUP) to allow for a 2-story detached garage that exceeds the area and height requirements of the Residential and Lodging Use Conditions for an accessory building within a residential district. The proposed structure will have a building footprint of 1,235 sq. ft. which exceeds the maximum area of 900 sq. ft. The overall height of the structure is 24ft - 10 7/8", exceeding the 15ft height requirement. It should be noted that the proposed structure has a gabled roof design that is measured at the mid-point of the roof for height purposes. When measured at the mid-point, the roof is approximately 17 ½-ft in height, exceeding the 15ft maximum.

Furthermore, the detached garage does not meet the exterior material requirements of the Residential and Lodging Use Conditions for the detached garage. Rather, the applicants are proposing the structure to incorporate metal siding with a metal roof and metal roof elements (dormers) that will have stone matching the primary structure and appearing on the front façade.

According to the Unified Development Code (UDC), Article IV Permissible Uses, Sec. 2.1.2. - Residential and lodging use conditions;

Accessory building (accessory to residential use).

1. The accessory building shall be accessory to a residential use and located on the same lot.

2. In all residential districts, one detached garage shall be allowed provided that it does not exceed 900 square feet in area or 15 feet in height, provided that it is located on the same lot as the residential use and that the exterior cladding contains the same materials, excluding glass, as found on the main structure and is generally in the same proportion.

6. Accessory buildings not meeting these standards shall require approval of an SUP.

The applicants have provided a site plan indicating the location of the detached garage to be directly behind the existing home and building elevations for the proposed 2-story structure. The applicants have proposed to use the structure for parking of vehicles, storage, and as a workshop.

A request for an Specific Use Permit is a discretionary act upon the Planning and Zoning Commission and City Council.

NOTIFICATION:

On February 20, 2015, staff mailed sixty-six (66) notices to property owners and residents within 500 feet of the subject property. Staff has also notified the Shores/Ray Hubbard, Lake View Summit and Hillcrest at the Shores Homeowner's Associations (HOA) via e-mail, which are located within 1,500 feet of the subject property. Additionally, staff posted a sign adjacent to the subject property on East Fork Dr. as required by the Unified Development Code (UDC). A public notice has been published in the Rockwall Herald Banner meeting state statutes and has also been posted on the City's web-site. At the time this case memo was drafted, staff has received two (2) notices "opposed" to the zoning change request.

RECOMMENDATIONS:

Should the request for an SUP be approved, staff offers the following conditions:

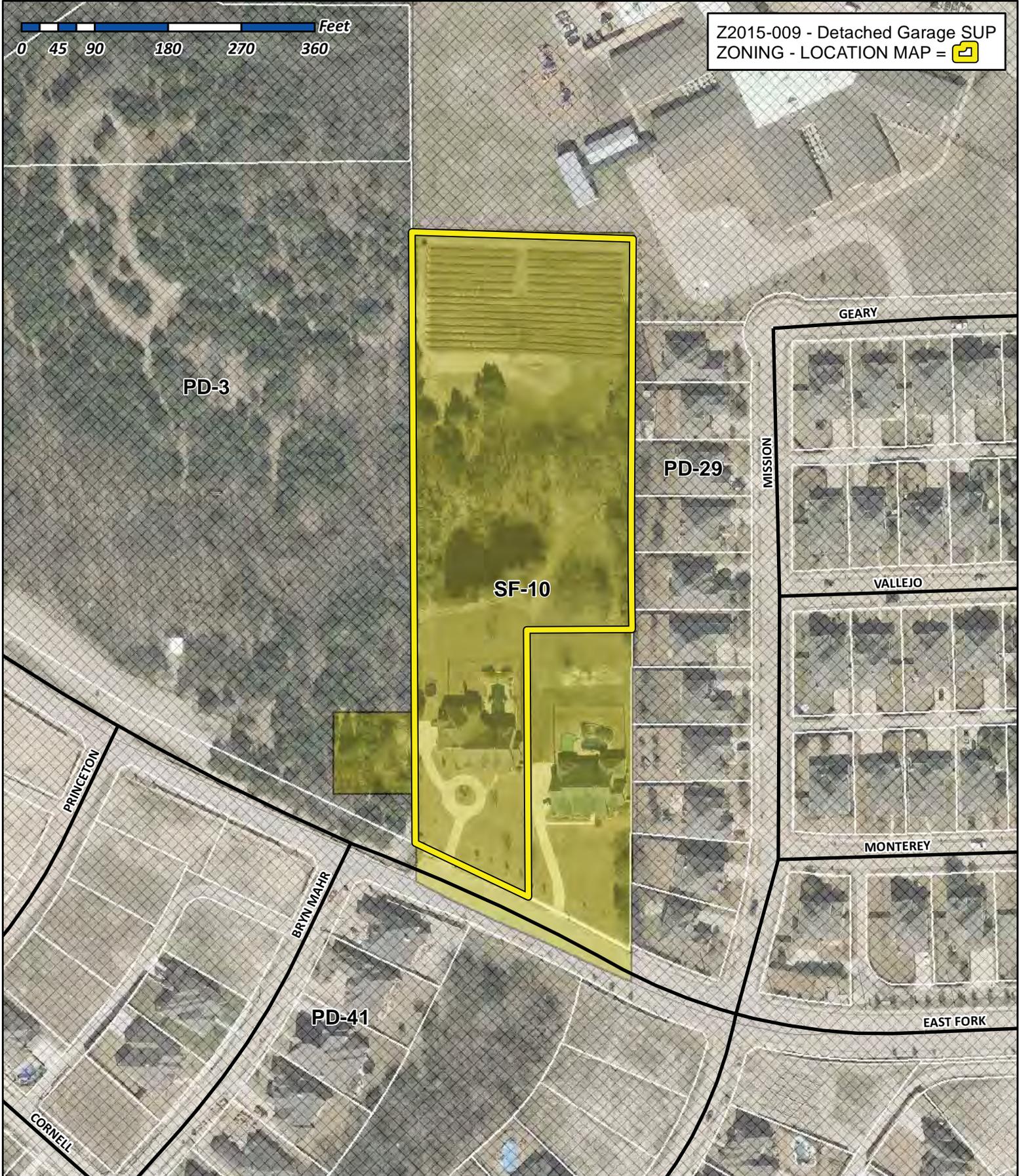
1. Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.
2. That submittal and approval of a building permit is required prior to the construction of the detached garage.
3. That the detached garage shall generally conform to the site plan as submitted.
4. That the detached garage shall not exceed 1,235 sq. ft. in area or an overall height of 25 ft
5. That the detached garage shall generally conform to the building elevations as submitted, including the use of metal siding, a metal roof, and metal roof elements (dormers) as depicted.
6. That the detached garage is subject to administrative review in the event that the subject property is sold to another party, conveyed in any manner to another party, subdivided, or replatted.
7. The City Council reserves the right to review the Specific Use Permit within one (1) year from the date approval.

Planning and Zoning Commission Recommendation:

On March 10, 2015, the Planning and Zoning Commission recommended approval of the Specific Use Permit (SUP) with staff conditions by a vote of 6 to 0 [Conley – absent].

0 45 90 180 270 360 Feet

Z2015-009 - Detached Garage SUP
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

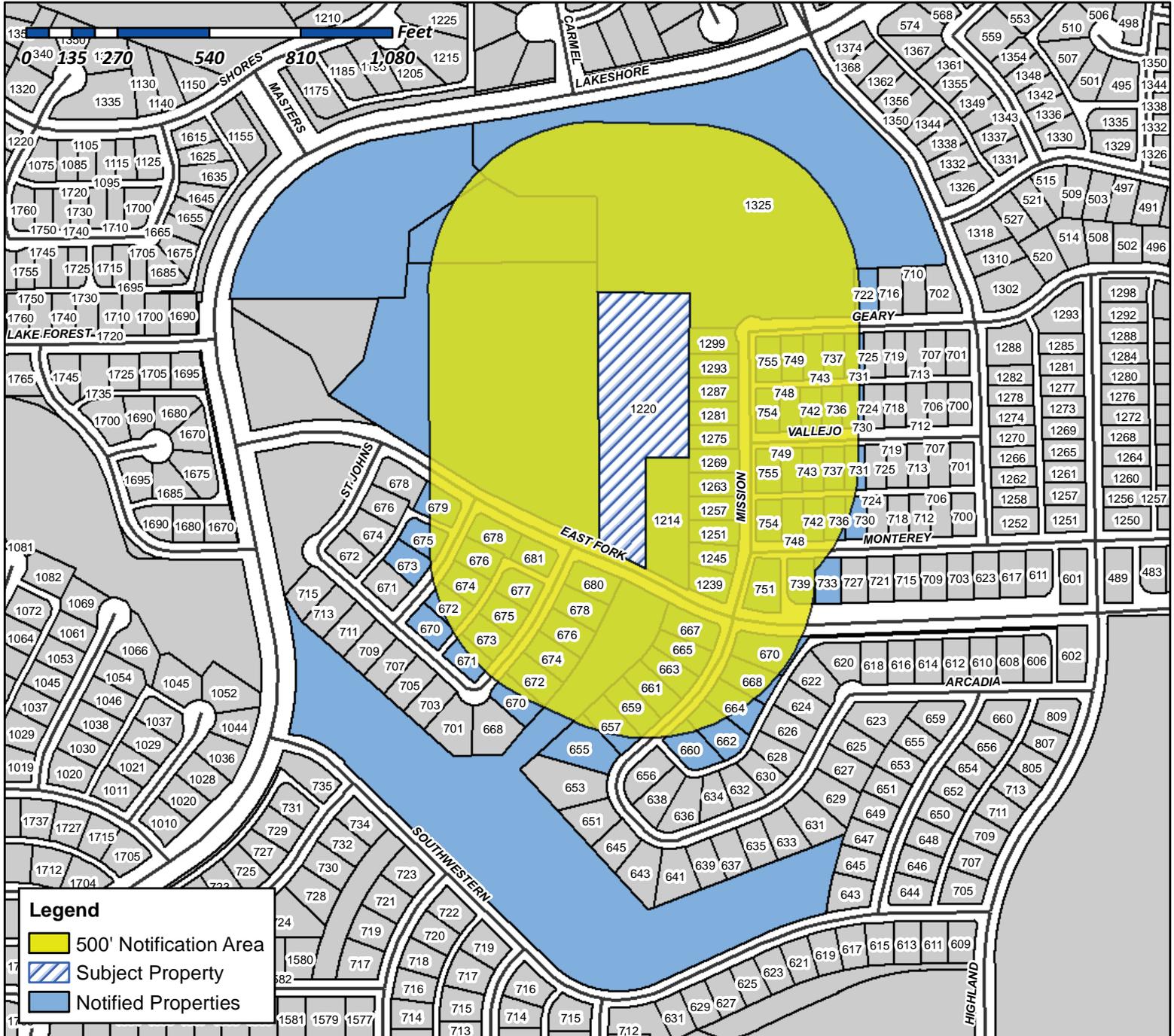
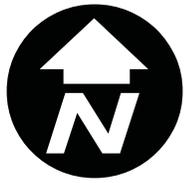




City of Rockwall

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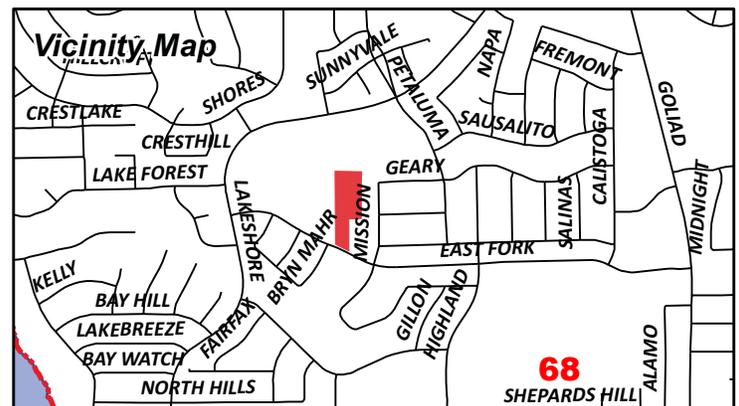
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Case Number: Z2015-009
Case Name: Detached Garage SUP
Case Type: Specific Use Permit
Zoning: SF-10
Case Address: 1220 East Fork Drive

Date Created: 2/13/2015

For Questions on this Case Call (972) 771-7745





NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2015-009: Detached Garage SUP

Hold a public hearing to discuss and consider a request by Chris and Jill Blasé for the approval of a Specific Use Permit (SUP) for a detached garage that does not conform to the requirements as stipulated by Section 2.1.2, Residential and Lodging Use Conditions, of Article IV, Permissible Uses, of the Unified Development Code for a 4.05-acre parcel of land identified as Lot 1, Block 1, Blasé Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 1220 East Fork Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2015 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/16/2015 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087**

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/16/2015** to ensure they are included in the information provided to the City Council.

Sincerely,

Robert LaCroix, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2015-009: Detached Garage SUP

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Reference No.	Name	Legal Description	Address 1	Address 2	Address 3	City	State	Zip
3124-0000-0002-00-0R	DALLAS ERIN C & COLIN M	BLASE ADDITION, LOT 2, ACRES 1.06		1214 EAST FORK		ROCKWALL	TX	75087
0021-0000-0011-03-0R	BREC ENTERPRISES LLC	A0021 N BUTLER, TRACT 11-3, ACRES 3.677 (PT OF 13.3 AC TR)		1220 E FORK DRIVE		ROCKWALL	TX	75087
4292-0002-0001-00-0R	ANZAI HIDEHIRO & MIKI	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 1		1239 MISSION DR		ROCKWALL	TX	75087
4292-0002-0002-00-0R	HUX MARK	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 2		1245 MISSION DR		ROCKWALL	TX	75087
4292-0002-0003-00-0R	CONFIDENTIAL	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 3		1251 MISSION DR		ROCKWALL	TX	75087
4292-0002-0004-00-0R	PEREZ HUMBERTO	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 4		1257 MISSION DRIVE		ROCKWALL	TX	75087
4292-0002-0005-00-0R	CURRENT RESIDENT	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 5		1263 MISSION DR		ROCKWALL	TX	75087
4292-0002-0006-00-0R	LEA MELVA JO	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 6		1269 MISSION DRIVE		ROCKWALL	TX	75087
4292-0002-0007-00-0R	ROWAN KERTI R AND	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 7	RYAN D ENGRAV	1275 MISSION DRIVE		ROCKWALL	TX	75087
4292-0002-0008-00-0R	GARCIA FRANCES	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 8		1281 MISSION DR		ROCKWALL	TX	75087
4292-0002-0010-00-0R	CHANDLER JEFFREY & KIMBERLY	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 10		1293 MISSION DR		ROCKWALL	TX	75087
4292-0002-0011-00-0R	GUANCIAL JOSEPH	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 11		1299 MISSION DR		ROCKWALL	TX	75087
4851-000A-0001-00-0R	ROCKWALL I S D	ROCKWALL ELEMENTARY SCHOOL NO. 9 ADDITION, BLOCK A, LOT 1, ACRES 15.092		1325 PETALUMA DR		ROCKWALL	TX	75087
0021-0000-0011-02-0R	HILLWOOD SHORES LP	A0021 N BUTLER, TRACT 11-2, ACRES 5.006		13600 HERITAGE PKWY	STE 200	FORT WORTH	TX	76177
4292-000U-0001-00-0R	CLARK CHARLES L & SANDRA J TRUSTEES	LAKEVIEW SUMMIT PHASE 2, BLOCK U, LOT 1	CHARLES L & SANDRA J CLARK FAMILY TRUST	1739 MORLEY STREET		SIMI VALLEY	CA	91365
4292-000U-0004-00-0R	LING JOYCE H & ROBERT H	LAKEVIEW SUMMIT PHASE 2, BLOCK U, LOT 4		17736 LILIANA CT		ROWLAND HEIGHTS	CA	91748
4694-000M-0007-00-0R	MASTER DEVELOPERS SNB LLC	PRESERVE PHASE 3, THE, BLOCK M, LOT 7	ATTN LORI WOLFE	2400 DALLAS PARKWAY	SUITE 510	PLANO	TX	75093
4292-000T-0004-00-0R	CHIU THOMAS C	LAKEVIEW SUMMIT PHASE 2, BLOCK T, LOT 4		301 CRESTBROOK		ROCKWALL	TX	75087
4694-000P-0001-00-0R	DR HORTON - TEXAS LTD	PRESERVE PHASE 3, THE, BLOCK P, LOT 1		4306 MILLER RD		ROWLETT	TX	75088
4292-0002-0005-00-0R	TAYLOR DAVID I AND JENNIFER S	LAKEVIEW SUMMIT PHASE 2, BLOCK Z, LOT 5		4710 KYNDRA CIR		RICHARDSON	TX	75082
4694-000P-0003-00-0R	FIRST TEXAS HOMES INC	PRESERVE PHASE 3, THE, BLOCK P, LOT 3		500 CRESCENT COURT	SUITE 500	DALLAS	TX	75201
4694-000P-0007-00-0R	BLACK RICARDO N & LORY C	PRESERVE PHASE 3, THE, BLOCK P, LOT 7		655 MISSION DR		ROCKWALL	TX	75087
4694-000P-0006-00-0R	MALONE CLANTON	PRESERVE PHASE 3, THE, BLOCK P, LOT 6		657 MISSION DR		ROCKWALL	TX	75087
4694-000P-0005-00-0R	HULL JEFFREY C AND CARLA R	PRESERVE PHASE 3, THE, BLOCK P, LOT 5		659 MISSION DR		ROCKWALL	TX	75087
4694-000Q-0005-00-0R	VILLAFANA BILL G & DIANE B	PRESERVE PHASE 3, THE, BLOCK Q, LOT 5		660 MISSION DR		ROCKWALL	TX	75087
4694-000P-0004-00-0R	CUMMINGS TERENCE J & CHERYL L	PRESERVE PHASE 3, THE, BLOCK P, LOT 4		661 MISSION DR		ROCKWALL	TX	75087
4694-000Q-0004-00-0R	BENEDETTO MATT J & SJ	PRESERVE PHASE 3, THE, BLOCK Q, LOT 4		662 MISSION DRIVE		ROCKWALL	TX	75087
4694-000Q-0003-00-0R	EBEIER JOHN C & DANIELLE B EBEIER	PRESERVE PHASE 3, THE, BLOCK Q, LOT 3		664 MISSION DR		ROCKWALL	TX	75087
4694-000P-0002-00-0R	RAMSEY JAMES & CYNTHIA	PRESERVE PHASE 3, THE, BLOCK P, LOT 2		665 MISSION DR		ROCKWALL	TX	75087
4694-000P-0001-00-0R	CURRENT RESIDENT	PRESERVE PHASE 3, THE, BLOCK P, LOT 1		667 MISSION DR		ROCKWALL	TX	75087
4694-000Q-0002-00-0R	JACKSON TRACY & RETHA	PRESERVE PHASE 3, THE, BLOCK Q, LOT 2		668 MISSION DR		ROCKWALL	TX	75087
4694-000O-0012-00-0R	SUTTON ROGER RAY JR	PRESERVE PHASE 3, THE, BLOCK O, LOT 12		670 BRYN MAHR LANE		ROCKWALL	TX	75087
4694-000Q-0001-00-0R	DAVIS AARON F & AMANDA M	PRESERVE PHASE 3, THE, BLOCK Q, LOT 1		670 MISSION DRIVE		ROCKWALL	TX	75087
4694-000N-0005-00-0R	JESZ RONALD R & MARGARET A	PRESERVE PHASE 3, THE, BLOCK N, LOT 5		670 PRINCETON WAY		ROCKWALL	TX	75087
4694-000N-0006-00-0R	COBB STEPHEN L & MELANIE E	PRESERVE PHASE 3, THE, BLOCK N, LOT 6		671 BRYN MAHR		ROCKWALL	TX	75087
4694-000O-0013-00-0R	SCHWERTNER RAY & SHEILA	PRESERVE PHASE 3, THE, BLOCK O, LOT 13		672 BRYN MAHR LANE		ROCKWALL	TX	75087
4694-000N-0007-00-0R	GRAVES JAMES GREGORY & ALISHA DIAN	PRESERVE PHASE 3, THE, BLOCK N, LOT 7		673 BRYN MAHR LN		ROCKWALL	TX	75087
4694-000N-0003-00-0R	CURRENT RESIDENT	PRESERVE PHASE 3, THE, BLOCK N, LOT 3		674 PRINCETON WAY		ROCKWALL	TX	75087
4694-000O-0014-00-0R	VOTTERI CHRISTOPHER MARK & BONNIE	PRESERVE PHASE 3, THE, BLOCK O, LOT 14		674 BRYN MAHR LN		ROCKWALL	TX	75087
4694-000M-0007-00-0R	CURRENT RESIDENT	PRESERVE PHASE 3, THE, BLOCK M, LOT 7		675 PRINCETON WAY		ROCKWALL	TX	75087
4694-000N-0008-00-0R	TREVINO RAUL & MARIA J	PRESERVE PHASE 3, THE, BLOCK N, LOT 8		675 BRYN MAHR LANE		ROCKWALL	TX	75087
4694-000O-0015-00-0R	DESHETLER TODD M	PRESERVE PHASE 3, THE, BLOCK O, LOT 15		676 BRYN MAHR LN		ROCKWALL	TX	75087
4694-000N-0009-00-0R	PALMER JAMIE A AND MITCHELL	PRESERVE PHASE 3, THE, BLOCK N, LOT 9		677 BRYN MAHR LN		ROCKWALL	TX	75087
4694-000O-0016-00-0R	SOLOMON BRIAN & KELLY	PRESERVE PHASE 3, THE, BLOCK O, LOT 16		678 BRYN MAHR LANE		ROCKWALL	TX	75087
4694-000O-0017-00-0R	BARKER CHARLES W & LISA M	PRESERVE PHASE 3, THE, BLOCK O, LOT 17		680 BRYN MAHR LANE		ROCKWALL	TX	75087
4292-000V-0016-00-0R	ZUVER KENNETH R & MARSHA	LAKEVIEW SUMMIT PHASE 2, BLOCK V, LOT 16		730 MONTEREY DR		ROCKWALL	TX	75087
4292-000U-0016-00-0R	MOORE MARY PATRICIA	LAKEVIEW SUMMIT PHASE 2, BLOCK U, LOT 16		730 VALLEJO DR		ROCKWALL	TX	75087
4292-000U-0005-00-0R	ROGERS CASEY MATTHEW & BRITTNEY M	LAKEVIEW SUMMIT PHASE 2, BLOCK U, LOT 5		731 GEARY DRIVE		ROCKWALL	TX	75087
4292-000V-0005-00-0R	GARCIA RUDOLPH L & ALMA C	LAKEVIEW SUMMIT PHASE 2, BLOCK V, LOT 5		731 VALLEJO DR		ROCKWALL	TX	75087
4292-000Y-0003-00-0R	ALVARADO JOSE & ROXANA	LAKEVIEW SUMMIT PHASE 2, BLOCK Y, LOT 3		733 MONTEREY DR		ROCKWALL	TX	75087
4292-000U-0017-00-0R	WARNICK DAVID S & KELLY S	LAKEVIEW SUMMIT PHASE 2, BLOCK U, LOT 17		736 VALLEJO DR		ROCKWALL	TX	75087
4292-000V-0004-00-0R	PATTERSON RONYA R & MARY W	LAKEVIEW SUMMIT PHASE 2, BLOCK V, LOT 4		737 VALLEJO DR		ROCKWALL	TX	75087
4292-000Y-0002-00-0R	BLACKNALL SHARITA & ANTHONY	LAKEVIEW SUMMIT PHASE 2, BLOCK Y, LOT 2		739 MONTEREY DR		ROCKWALL	TX	75087
4292-000V-0018-00-0R	MATTHEWS SAMUEL JERRY LIFE ESTATE	LAKEVIEW SUMMIT PHASE 2, BLOCK V, LOT 18	SARAH J MATTHEWS	742 MONTEREY DRIVE		ROCKWALL	TX	75087
4292-000U-0018-00-0R	PHILLIPS BRENT JOHN	LAKEVIEW SUMMIT PHASE 2, BLOCK U, LOT 18		742 VALLEJO DR		ROCKWALL	TX	75087
4292-000U-0003-00-0R	RAMSEY JON PAUL & JENNY H	LAKEVIEW SUMMIT PHASE 2, BLOCK U, LOT 3		743 GEARY DR		ROCKWALL	TX	75087
4292-000V-0003-00-0R	CHASE MICHAEL B & TIFFANY CHASE	LAKEVIEW SUMMIT PHASE 2, BLOCK V, LOT 3		743 VALLEJO DR		ROCKWALL	TX	75087
4292-000V-0019-00-0R	PRATHER R A & CANDACE D	LAKEVIEW SUMMIT PHASE 2, BLOCK V, LOT 19		748 MONTEREY DR		ROCKWALL	TX	75087
4292-000U-0019-00-0R	JOHNSON JUDITH LOPEZ & DEREK E	LAKEVIEW SUMMIT PHASE 2, BLOCK U, LOT 19		748 VALLEJO DR		ROCKWALL	TX	75087
4292-000U-0002-00-0R	RYAN THOMAS J &	LAKEVIEW SUMMIT PHASE 2, BLOCK U, LOT 2	THOMAS M RYAN	749 GEARY DR		ROCKWALL	TX	75087
4292-000V-0002-00-0R	COOPER BRADY E & DIANE J	LAKEVIEW SUMMIT PHASE 2, BLOCK V, LOT 2		749 VALLEJO DR		ROCKWALL	TX	75087
4292-000Y-0013-00-0R	DODSON DONALD T & HUA	LAKEVIEW SUMMIT PHASE 2, BLOCK Y, LOT 13, (REPLAT 2011)		751 MONTEREY DRIVE		ROCKWALL	TX	75087
4292-000V-0020-00-0R	ACKER DAVID M	LAKEVIEW SUMMIT PHASE 2, BLOCK V, LOT 20		754 MONTEREY DR		ROCKWALL	TX	75087
4292-000U-0020-00-0R	HUBERT BARBARA J	LAKEVIEW SUMMIT PHASE 2, BLOCK U, LOT 20		754 VALLEJO DR		ROCKWALL	TX	75087
4292-000V-0001-00-0R	ALSROUJI DIAB K	LAKEVIEW SUMMIT PHASE 2, BLOCK V, LOT 1		755 VALLEJO DR		ROCKWALL	TX	75087
4292-000V-0017-00-0R	SIMMONS INVESTMENTS LLC	LAKEVIEW SUMMIT PHASE 2, BLOCK V, LOT 17		8172 CHURCH STEEPLE ST		LAS VEGAS	NV	89131

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2015-009: Detached Garage SUP

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

After viewing the blueprints it's clear that the guest house is not a residential dwelling but appears to be commercial which is the opposite of what I was told via phone about the 1st zoning request back in Dec. 2014.

Name: Jim + Cindy Ramsey

Address: 665 Mission Dr.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE
Due to the possibility of increased commercial use of said property I voted in favor then but feel I was misled in that decision. I vote NO to this current request.

Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2015-009: Detached Garage SUP

Hold a public hearing to discuss and consider a request by Chris and Jill Blasé for the approval of a Specific Use Permit (SUP) for a detached garage that does not conform to the requirements as stipulated by Section 2.1.2, Residential and Lodging Use Conditions, of Article IV, Permissible Uses, of the Unified Development Code for a 4.05-acre parcel of land identified as Lot 1, Block 1, Blasé Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 1220 East Fork Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 3/10/2015 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 3/16/2015 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087**

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **3/16/2015** to ensure they are included in the information provided to the City Council.

Sincerely,

Robert LaCroix, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

PLEASE RETURN THE BELOW FORM

Case No. Z2015-009: Detached Garage SUP

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I prefer to keep the area residential, Not commercial. Also keep the trees and green belt. Leave it alone!

Name: *Jeffrey Hull*

Address: *659 Mission Dr. Rockwall TX 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

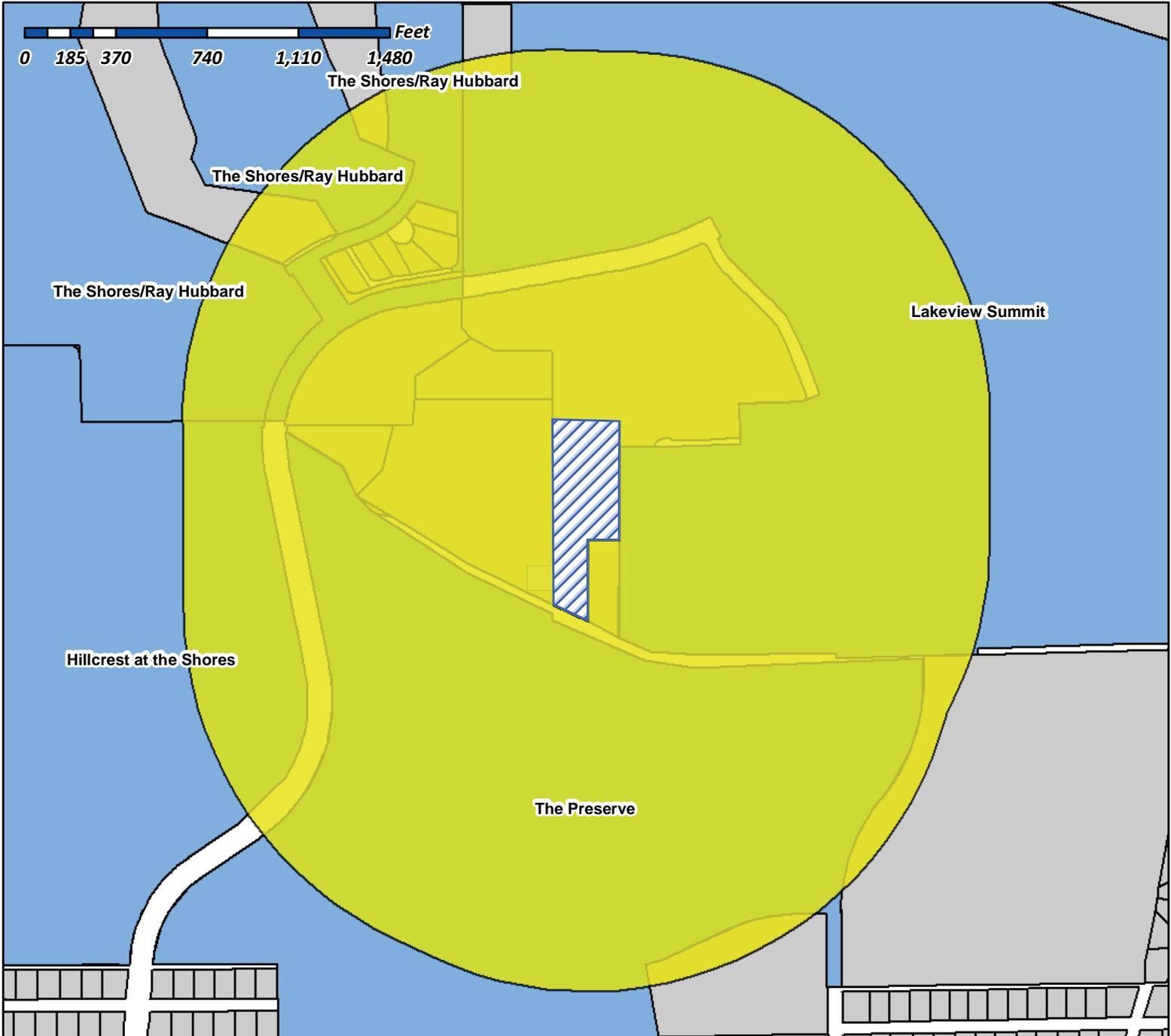
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

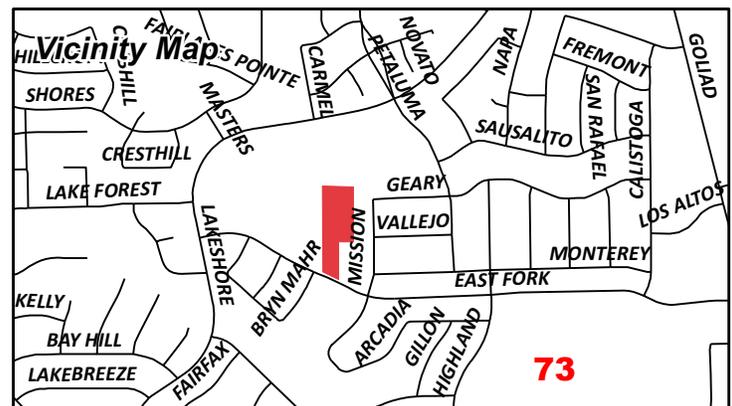
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Case Number: Z2015-009
Case Name: Detached Garage SUP
Case Type: Specific Use Permit
Zoning: SF-10
Case Address: 1220 East Fork Drive

Date Created: 2/13/2015

For Questions on this Case Call (972) 771-7745



Gonzales, David

From: Miller, Ryan
Sent: Monday, February 16, 2015 4:12 PM
To: Gonzales, David
Subject: FW: Blase detached garage

FYI ... Below.



RYAN C. MILLER, AICP

PLANNING MANAGER • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [CITY OF ROCKWALL INTERACTIVE MAPS](#) | [MAIN STREET DIVISION](#)

From: Jill Chris Blase [REDACTED]
Sent: Monday, February 16, 2015 3:25 PM
To: Miller, Ryan
Subject: Blase detached garage

Dear Ryan,

Thank you for assisting me on Friday.

Chris and I would like to start the process with the city, for approval, to build a detached garage on our property at, 1220 E Fork Drive, Rockwall, TX.

Please let me know if you have any questions. We will gladly answer them right away.

Warmest regards,

Chris and Jill Blase
1220 E Fork Dr
214-498-8458 Chris' cell
214-403-8998 Jill's cell

CITY OF ROCKWALL

ORDINANCE NO. 15-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A DETACHED GARAGE THAT DOES NOT CONFORM TO THE REQUIREMENTS AS STIPULATED BY SECTION 2.1.2, RESIDENTIAL AND LODGING USE CONDITIONS, OF ARTICLE IV, PERMISSIBLE USES, BEING A 4.05-ACRE PARCEL OF LAND, ZONED SINGLE-FAMILY RESIDENTIAL (SF-10) DISTRICT, AND IDENTIFIED AS LOT 1, BLOCK 1, BLASÉ ADDITION, AND LOCATED AT 1220 EAST FORK DRIVE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Chris and Jill Blasé for the approval of a Specific Use Permit (SUP) to allow for a *Detached Garage* that does not conform to the requirements as stipulated by Section 2.1.2, Residential and Lodging Use Conditions, of Article IV, Permissible Uses of the Unified Development Code [Ordinance 04-38], being a 4.05-acre parcel of land, zoned Single-Family Residential (SF-10) District, and identified as Lot 1, Block 1, Blasé Addition, and located at 1220 East Fork Drive, and, City of Rockwall, Rockwall County, Texas, and more specifically depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for a *Detached Garage* that does not conform to the requirements of Section 2.1.2, Residential and Lodging Use Conditions, of Article IV, Permissible Uses, within a Single Family (SF-10) Residential District as stipulated by the Unified Development Code [Ordinance no. 04-38] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) granted herein and shall be subject to the conditions set forth in *Article IV, Permissible Uses, Sec. 2.1.2 Residential and Lodging Uses* of the Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following additions and compliance standards:

1. Any construction or building allowed by this request must conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government; and,
2. That submittal and approval of a building permit is required prior to the construction of the detached garage; and,
3. That the detached garage shall generally conform to the site plan as submitted and attached hereto as Exhibit 'A'; and,
4. That the detached garage shall not exceed 1,235 sq. ft. in area as depicted in the floor plan attached hereto as Exhibit 'B' and does not exceed an overall height of 25 ft. as depicted in the building elevations attached hereto as Exhibit 'C'; and,
5. That the detached garage shall generally conform to the building elevations as submitted, including the use of metal siding, a metal roof, and metal roof elements (dormers) as depicted and attached hereto as Exhibit 'C'; and,
6. That the detached garage is subject to administrative review in the event that the subject property is sold to another party, conveyed in any manner to another party, subdivided, or re-platted; and,
7. That the City Council reserves the right to review the Specific Use Permit within one (1) year from the date approval.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE _____ DAY OF _____, 2015.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Ashberry, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading:

2nd Reading:

Exhibit 'B' - Floor Plan

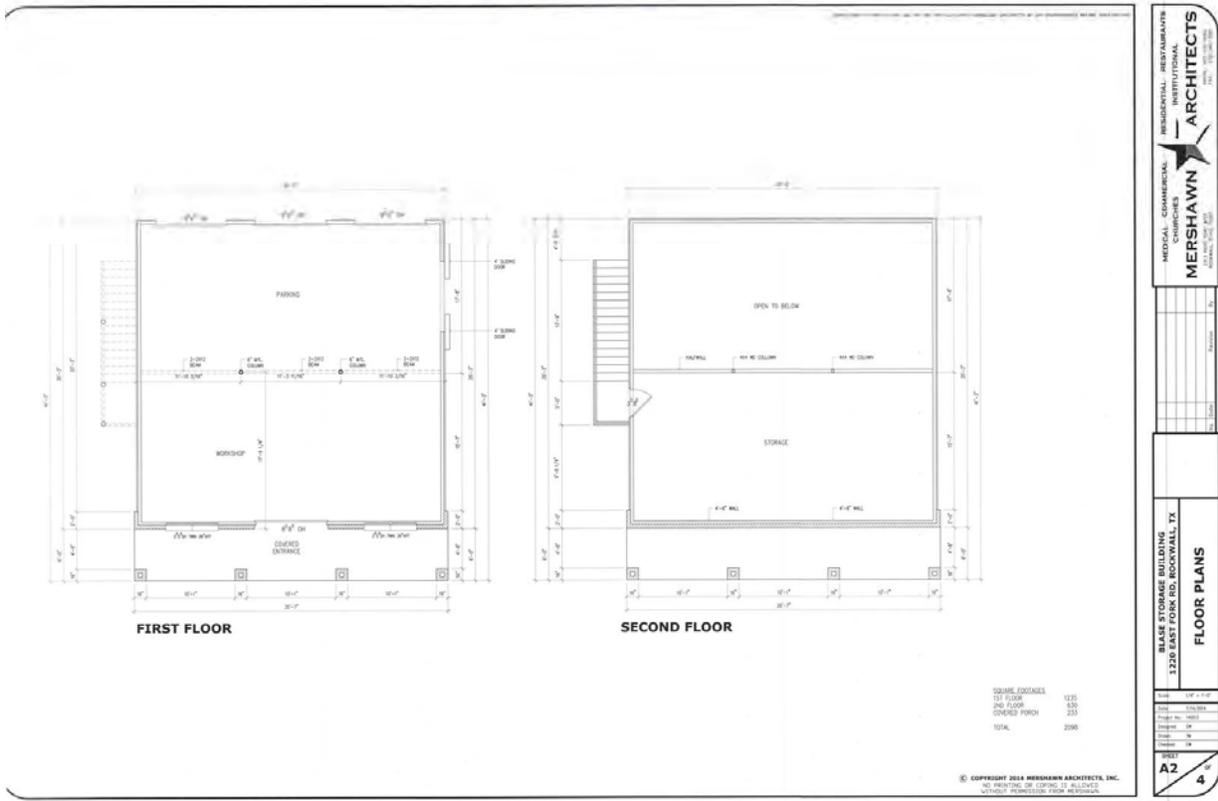
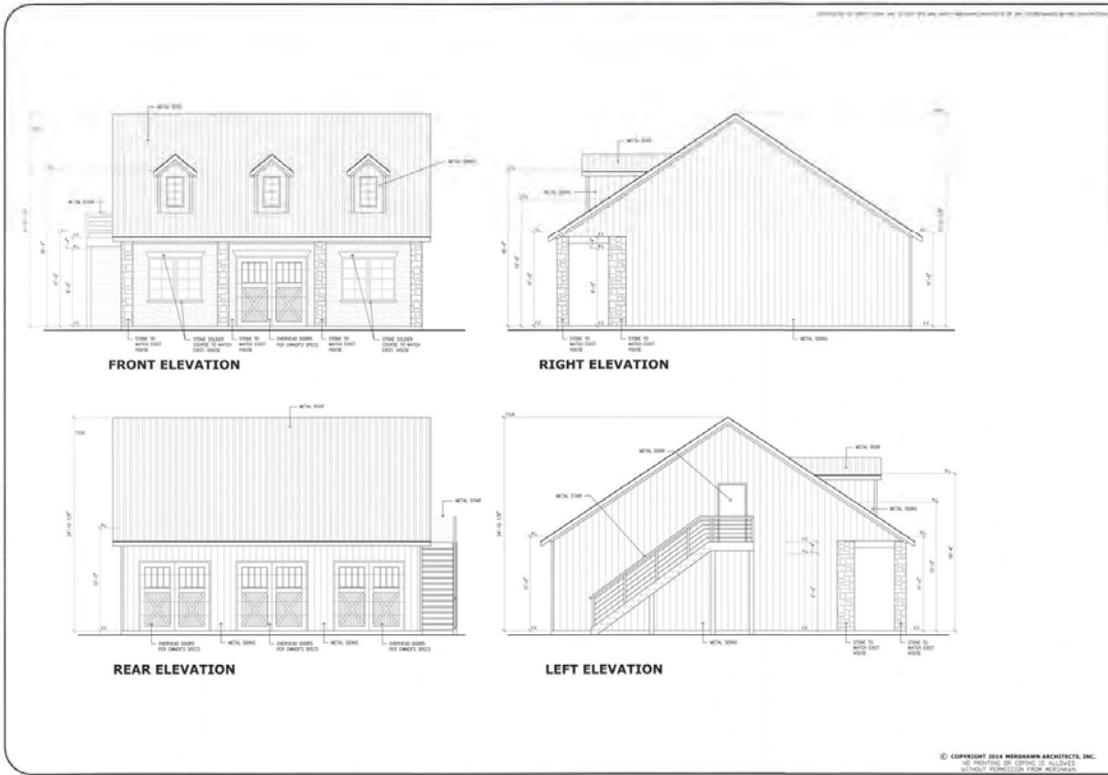


Exhibit 'C' - Building Elevations



MEDICAL, COMMERCIAL, RESIDENTIAL, RESTAURANTS, INSTITUTIONAL
MERSHAW ARCHITECTS
 1220 EAST FORK RD ROCKWALL, TX
 ELEVATIONS
 SHEET
A3
 4

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CITY OF ROCKWALL, TEXAS

MEMORANDUM

TO: Mayor and City Council

CC: Rick Crowley, *City Manager*
Robert LaCroix, *Director of Planning and Zoning*

FROM: Ryan Miller, *Planning Manager*

DATE: March 16, 2015

SUBJECT: Z2015-010; *Townhomes [PD-70 to PD]*

At their regularly scheduled meeting on March 10, 2015, the Planning and Zoning Commission, at the request of the applicant (*Adam Buczek*), postponed the public hearing to March 31, 2015. This means that the projected City Council public hearing will be held at the April 6, 2015 meeting. According to Section 6.2, *Public Hearing Postponements, Recess, and Continuations*, of the Article II of the Unified Development Code, a public hearing may be postponed by announcing the postponement at the public hearing and indicating the time and place the new hearing is scheduled to begin. The announcement of a postponement shall be sufficient notice and no additional notice shall be required.

Exhibit 'A': Applicant's Letter



8214 Westchester Drive, Suite 710
Dallas, TX 75225

March 2, 2015

Mr. Ryan Miller, Planning Manager
City of Rockwall Planning Department
385 S. Goliad Street
Rockwall, Texas 75087

Re: Request to table Agenda Item for Stone Creek Townhouse

Dear Mr. Miller:

As discussed, please accept this letter as Skorburg Company's official request to table Agenda Item regarding the Stone Creek property at next Tuesday night's Planning & Zoning Commission meeting.

We respectfully request to be postponed to the March 31, 2015 Planning & Zoning Commission meeting for action.

Sincerely,

A handwritten signature in blue ink, appearing to read "Adam Buczek".

Adam Buczek
Development Partner

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 3/16/2015

APPLICANT: Jimmy Strohmeier of Strohmeier Architects

AGENDA ITEM: SP2015-003; Summer Lee - MOB

Discuss and consider a request by Jimmy Strohmeier of Strohmeier Architects on behalf of the owner Dr. Umar Burney of the North Dallas Rockwall Land Investors, LLC for the approval of certain variances associated with an approved site plan for a medical office building on a 1.6121-acre tract of land identified as Lot 2, Block A, Ridge/Summer Lee Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9), situated within the Scenic Overlay (SOV) District, located east of the intersection Ridge Road and Summer Lee Drive, and take any action necessary.

BACKGROUND INFORMATION:

Jimmy Strohmeier of Strohmeier has submitted an application on behalf of the owner Dr. Umar Burney of the North Dallas Land Investors, LLC for site plan approval of a 14,200 sq. ft. medical office building. The proposed facility will be situated on a 1.6121-acre tract of land that is adjacent to and east of the Aldi Grocery store and is generally located at the S.E. quadrant of Summer Lee and Ridge Road. The property is zoned Planned Development No. 9 (PD-9) District and is located within the Scenic Overlay (SOV) district.

VARIANCE REQUEST:

The applicant is requesting the following variances to various sections of the Unified Development Code: Article V, District Development Standards and Article VIII, Landscape Standards as indicated below.

- 1) To allow for not meeting the 10-ft. landscape buffer requirements by allowing parking spaces to be located within the buffer as established in Art. VIII, Sec. 5.7, A. as depicted in the landscape plan submitted.
- 2) To allow for not meeting the 20 percent natural or quarried stone requirements established in Art. V, Sec. 6.8 of the Scenic Overlay (SOV) District standards, as depicted in the building elevations submitted.
- 3) To allow for not meeting the requirements for secondary materials and allowing an exterior wood product to exceed 10% as a secondary material as established in Art. V, Sec.6.8 of the Scenic Overlay (SOV) District standards, as depicted in the building elevations submitted.

The variance requested by the applicant for parking spaces located within the landscape buffer requires a simple majority vote in the affirmative of all council members present for approval.

Variance request numbers 2 & 3 are associated with the SOV district and require approval by a ¾ majority vote of City Council for those members present.

RECOMMENDATIONS:

Architectural Review Board Recommendation:

On February 24, 2015, general discussion concerning the agenda item took place between the Board Members and city staff (Jimmy Strohmeyer recused himself from the conversation, as he was the applicant of this case). The board expressed concern with the lack of stone and vertical articulation used on the building. To address these concerns the board recommended the following:

- 1) The overhang elements should be metal or have a metal finish/color to help break up the façade.
- 2) The projections on the front and sides of the building should incorporate a masonry or stone product in lieu of the proposed stucco.
- 3) The project should incorporate vertical articulation by increasing and/or decreasing the parapet wall of the projections and/or recesses.

Based on the plans submitted, the applicant has revised the buildings elevations to meet recommendations of the ARB.

Staff Recommendation:

Should the request be approved, staff would offer the following conditions:

1. Adherence to Engineering and Fire Department standards.
 - a) Drainage Plan submitted was for review purposes only by the Engineering Department and requires a separate submittal and approval by Engineering Department and is not considered approved with this site plan.
 - b) Fire Apparatus Turning Radii Plan submitted was for review purposes only by the Fire Department and is not considered approved with this site plan.
2. Submittal and approval of a replat prior to issuance of a building permit.
3. Approval of the requested variances by City Council as outlined in the staff report.
4. All exterior signage requires submittal and approval of a separate permit through the Building Inspections Department.
5. Re-label building elevations and provide revised copy to indicate:
 - 1) South Elevation Summer Lee as “North Elevation”
 - 2) North Elevation as “South Elevation”

3) East Elevation as “West Elevation”

4) West Elevation as “East Elevation”

Planning and Zoning Commission Recommendation:

On March 10, 2015, the Planning and Zoning Commission approved the Site Plan with staff conditions, and recommended approval of the associated variances requested by the applicant by a vote of 6 to 0 [Conley – absent].

0 40 80 160 240 320 Feet

SP2015-003 - ORTHOPAEDIC SPECIALISTS OF DALLAS
REPLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LANDSCAPING GENERAL NOTES:

1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
3. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFORM DEVELOPMENT CODE.

IMPERVIOUS AREA / LANDSCAPING CALCULATION:

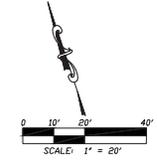
IMPERVIOUS AREA: 32,012 S.F.
 REQUIREMENT: IF IMPERVIOUS AREA IS GREATER THAN 20,000 S.F., 1 TREE REQUIRED PER 10 PARKING SPACES
 71 PARKING SPACES
 7 TREES REQUIRED, 10 PROVIDED

LANDSCAPING GENERAL REQUIREMENTS AND SCHEDULE:

- ROCKWELL CODE OF ORDINANCES, ARTICLE VII - LANDSCAPING STANDARDS
 LAND DEVELOPMENT DISTRICT: PD-9
- REQUIREMENT: 15% TOTAL SITE TO BE LANDSCAPED. SITE AREA = 70,132 S.F.; LANDSCAPING AREA REQUIRED = 10,520 S.F.; LANDSCAPING AREA PROVIDED = 13,220 S.F.
- SITE LANDSCAPING REQUIREMENTS & SCHEDULE:**
1. CANOPY TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: CEDAR ELM, TEXAS RED OAK, HOMESTEAD ELM, LACE BARK ELM, BALD CYPRESS, CHINESE PISTACHIO, OCTOBER GLORY MAPLE, PECAN, TEXAS ASH, LIVE OAK, CHINGQUIPIN OAK, BURR OAK, 3" CALIPER, 60 GALLON, 12'-14' HEIGHT.
 2. UNDERSTORY ORNAMENTAL TREES OF THE FOLLOWING VARIETY ARE ACCEPTABLE: TEXAS REDBUD, MEXICAN FLUM, DOWNY HAWTHORN, WAX MYRTLE YAUPOIN, DECIDUOUS YAUPOIN, 3" CALIPER, 60 GALLON, 8'-10' HEIGHT.
 3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUJICHER ABELIA.
 4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
 5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILLIES AND 1 GALLON WHITE LANTANA TRAILING.
 6. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.

LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- ⊗ SHRUB
- GROUND COVER
- PERENNIAL
- BG BERMUDA GRASS



SUMMER LEE DRIVE
(CONCRETE PAVEMENT)

ORTHOPAEDIC SPECIALISTS OF DALLAS
 NEW SINGLE STORY BUILDING
 14,200 S.F.
 FFE=570.00

1 - LANDSCAPING PLAN
 SCALE: 1" = 20'



Consultants:
 Nassif Engineering & Architecture, LLC



TXBPE Registration No.: F-16335
 TBAE Registration No.: BR400
 Copyright 2015 Nassif Engineering & Architecture, LLC

ISSUED FOR DEVELOPMENT REVIEW



ORTHOPAEDIC SPECIALISTS OF DALLAS

ROCKWALL, TX 75032

Project Number: 15-117
 Drawing Date: 2/13/2015
 Drawn:
 Checked:
 Scale: AS SHOWN
 ACAD File:
 Copyright 2015 Strohmeier Architects, Inc.

Revisions:

3/3/2015 - Revisions per Rockwall Development Review (2/20/2015)

Sheet Title:
LANDSCAPING PLAN
 L-101

1 2 3 4 5

MATERIAL SCHEDULE

- 3 PART STUCCO - 
- METAL CANOPY - 
- WOOD SIDING - 

BUILDING BRICK (B1) 

ELDORADO STONE
EUROPEAN LEDGE
IRON MILL 



STROHMEYER
ARCHITECTS INC.

Consultants:

CIVIL:

STRUCTURAL:

MEP:

FOOD SERVICE:

LANDSCAPING:

SCHEMATIC DESIGN

**NOT FOR
CONSTRUCTION**

ROCKWALL COUNTY

**ORTHOPAEDIC
SPECIALISTS
OF DALLAS
ROCKWALL, TEXAS**

Project Number: 051421

Drawing Date: 02/13/2015

Drawn:

Checked:

Scale:

ACAD File: OSD-Elevations.dwg

© 2015 Strohmeier Architects, Inc.

Revisions:

Sheet Title:

A202

SP2015-003



1 2 3 4 5

Mar 03, 2015 - 2:15pm User: jimmy@strohmeier.com /Users/jimmy@strohmeier.com/Documents/OSD-Elevations.dwg

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CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 03/16/2015

APPLICANT: Jimmy Strohmeier; *Stohmeyer Architects*

AGENDA ITEM: **SP2015-004;** *Summer Lee Condominiums*

SUMMARY:

Discuss and consider a request by Jimmy Strohmeier of Stohmeyer Architects on behalf of the owner Russell Phillips for the approval of a waiver to Planned Development District 32 (PD-32) [*Ordinance No. 10-28*] and variances to the building material requirements stipulated by the Unified Development Code in conjunction with a site plan for a 265 unit, condo development situated on a 7.58-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict of PD-32, located south of the intersection of Summer Lee Drive and Sunset Ridge Drive, and take any action necessary.

BACKGROUND:

The site plan submitted by the applicant shows the 7.58-acre tract of land being subdivided into two (2) lots, with *Lot 1* being 5.32-acres and *Lot 2* being 1.92-acres. The proposed 265-unit condominium facility will be situated on *Lot 1* adjacent to Summer Lee Drive, and have a building footprint of 88,140 SF.

CITY COUNCIL WAIVERS:

According to *Ordinance No. 10-21*, “(i)n order to provide flexibility and create high quality projects, an applicant for development within the PD District [*PD-32*] may request a waiver of the following District or Subdistrict standards: (1) Building Placement Requirements, (2) Landscape Standards, (3) Parking Requirements, (4) Parking Garage Design Standards, and (5) Increased Building Height in any Subdistrict.” In this case, the applicant is requesting a waiver to the building height requirements for the first floor of a building as stipulated for the subdistrict. According to the *Interior Subdistrict* the maximum building height is five (5) stories at 75-feet, with the first floor being constructed to a commercial standard of 15-feet. In this case, the building elevations submitted by the applicant show a ten (10) foot first floor -- as *measured from grade at the point closest to Summer Lee Drive --*, and will require a waiver. The overall building height is in conformance with the requirements of *Ordinance No. 10-21*; being a five (5) story condominium complex that ranges in height from 72-feet to 86-feet, with the majority of the building height being at 62-feet to 77-feet (*72-feet for the purposes of the height requirements established in Ordinance No. 10-21 [PD-32] -- height is measured from grade at the point closest to the Summer Lee Drive and is maintain throughout the development*).

With regard to granting waivers, *Ordinance No. 10-21* states that “... (w)ivers may only be approved by the City Council following a recommendation by the Planning and Zoning Commission ... [*and*] (i)n order to approve a waiver, the City Council must find that the waiver:

- 1) Meets the general intent of the PD District or Subdistrict in which the property is located; and,
- 2) Will result in an improved project which will be an attractive contribution to the PD District or Subdistrict; and,
- 3) Will not prevent the implementation of the intent of this PD District.”

It should be noted that the applicant’s original submittal could have met the ordinance requirements; however, the building was required to be lowered so that no “...floors used for human occupancy [were] located more than 55-feet above the lowest level of fire department vehicle access...” (*Section 18-33, Article II; Code of Ordinances*). If the applicant did not lower the building the structure would have been classified as a *High-Rise Building*, which would require different and more costly construction standards. This became an issue due to the grade of the subject property, which falls 12-feet from the grade adjacent to Summer Lee Drive extending southward. As a compensatory measure, the applicant has incorporated a 12-foot floor height on the garage, which is visibly the first floor on ~75% of the building (*i.e. all areas not adjacent to Summer Lee Drive*); however, it is below grade at the point of the building closest to Summer Lee Drive.

The purpose of requiring first floors to be constructed to a commercial standard of 15-feet was intended to add to the pedestrian nature of Planned Development District 32 (PD-32). This requirement would create the appearance of commercial storefronts for non-commercial buildings that were directly adjacent to a sidewalk or street. In addition, the *Interior District* requires that buildings fronting onto Summer Lee Drive be setback a minimum of 20-feet from the right-of-way. Furthermore, taking the property’s grade differential into consideration and understanding that the intent of the *Interior Subdistrict* is “to provide an area that can function as either office, residential, or senior living...”, the proposed development does not appear to change the general objective of Planned Development District 32 (PD-32). Nor would it prevent the implementation of the remaining *Interior Subdistrict* plan.

VARIANCES:

Based on the applicant’s submittal staff has identified the following variances:

1) *Building Materials.*

- a) *Stone Requirements.* According to Section 4.1, *General Commercial District Standards*, of the UDC each exterior wall should incorporate a minimum of 20% stone (*e.g. natural, quarried or cultured*). The building elevations submitted by the applicant show stone percentages on each building façade ranging from five (5) percent to 16.07% (*i.e. East: 14%; North: 16.07%; South: 5%; West: 10.4%*).
- b) *Masonry Material Requirements.* According to Section 4.1, *General Commercial District Standards*, of the UDC exterior walls should be constructed utilizing a minimum of 90% masonry materials, with a minimum of 50% of the masonry requirement permitted to be a cementaceous product (*e.g. stucco, Hardy Plan or similar material*). The building elevations submitted by the applicant indicate that each building façade will be 83.93% to 95% stucco (*i.e. East: 86%; North: 83.93%; South: 95%; West: 89.6%*).

It should be noted that variances similar to the ones requested by the applicant have been approved throughout the *Harbor District*. The applicant has stated that the purpose of requesting these variances is to maintain consistency with the development scheme established within *Ordinance No. 10-21 [PD-32]* and established with the Trend Tower development; however, approval of variances to the building material requirements is a discretionary decision for the City Council pending a recommendation by the Planning and Zoning Commission.

ARCHITECTURAL REVIEW BOARD (ARB):

On February 24, 2015, the Architectural Review Board (ARB) reviewed the proposed site plan and building elevations. The ARB, having no issues with the proposed building elevations or site plan, recommended approval of the applicant's request. In addition, the board stated that they had no issues with the proposed variances, and that the increased stucco and cultured stone would match other projects within Planned Development District 32 (PD-32).

RECOMMENDATIONS:

If the Planning & Zoning Commission chooses to approve the applicant's request, the following conditions of approval should be adopted with this case:

- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Prior to the issuance of a grading permit, a Treescape Plan shall be submitted and approved by City staff. Additionally, any mitigation requirements shall be satisfied prior to the issuance of a building permit;
- 3) A facilities agreement addressing the construction of Summer Lee Drive (*situated on Lot 2*) will need to be approved by City Council at the time of final plat and signed by the applicant prior to final plat approval; and,
- 4) Any construction or building necessary to complete this *Site Plan* request must conform to the requirements set forth by the UDC, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On March 10, 2015, the Planning and Zoning Commission approved a motion to approve the site plan and recommended approval of the waiver and variances per staff's recommendations by a vote of 4-1; with Commissioner Conley absent, Commissioner Renfro abstaining and Commissioner Jusko dissenting.



SP2015-004 - SUMMER LEE CONDOMINIUMS
REPLAT - LOCATION MAP =

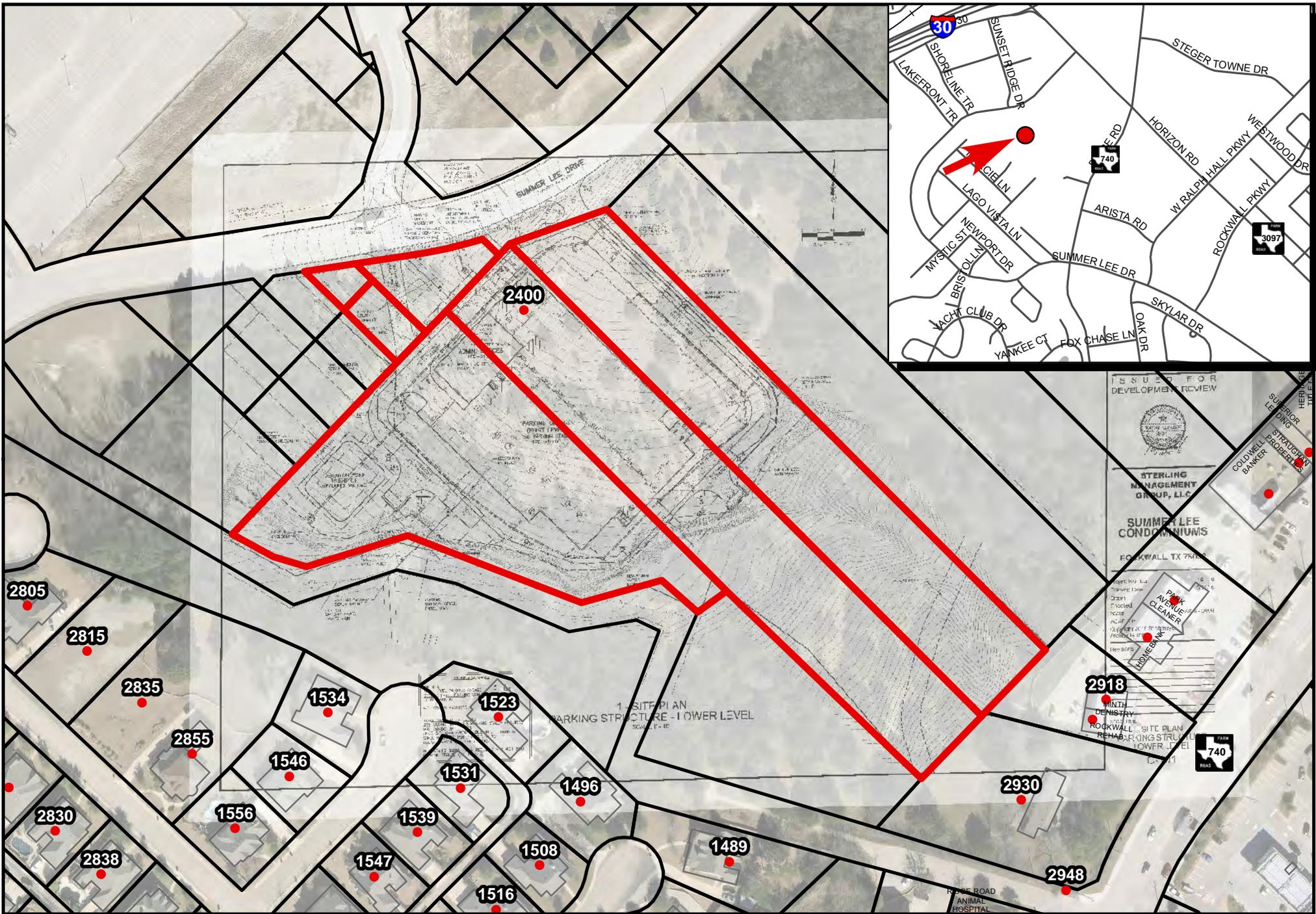


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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**City of
Rockwall**



0 100 Feet



Date: 2/18/2015

City of Rockwall Geographic Information Systems

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.

SUMMER LEE CONDOMINIUMS
2400 SUMMER LEE DR, ROCKWALL, TX 75032

97



March 5, 2015

Mr. Ryan Miller, AICP
City of Rockwall
385 S. Goliad Street
Rockwall, Texas 75087

RE: Summer Lee Condos – SP2015-004

Dear Ryan,

On behalf of Summer Lee Condos, LLC, we respectfully request a variance on the following items:

1. Use of Stucco above the maximum 50% due to the Tuscan Style of the building.
2. Use of stone less than the 20% minimum requirement due to the Tuscan Style.

We are also requesting a waiver on the minimum 15' first floor height. The condos are using a podium of parking garage which varies from 10' to 22' due to the slope of the site.

Please note that per our meeting on February 27, 2015, we will provide a trail connection from Summer Lee to Lot 2. The exact location will be coordinated with the City's Parks & Recreation Department. Also prior to grading a tree survey and mitigation plan will be provided.

Thank you for your time and energy on this project.

Sincerely,

A handwritten signature in black ink that reads 'Jimmy Strohmeier, Jr.'.

Jimmy Strohmeier, AIA, NCARB
President & CEO
Strohmeier Architects Inc



STROHMEYER
ARCHITECTS INC.

Consultants:

MATERIAL SCHEDULE

3 PART STUCCO COLOR 1 - 

3 PART STUCCO COLOR 2 - 

3 PART STUCCO COLOR 3 - 

BUILDING STONE (S1) -
ELDORADO STONE - MOUNTAIN LEDGE 

RETAINING WALL - (S2) - AUSTIN STONE



CLAY TILE ROOFING (C1)- BORAL
TEJAS ESPANA -BRAZOS BLEND 



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE : 12,841 SF
TOTAL STUCCO: 11,043 SF = 86%
TOTAL BUILDING STONE: 1,798 SF = 14%



1 NORTH ELEVATION - SUMMER LEE
SCALE: 1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE : 11,186 SF
TOTAL STUCCO: 9,388 SF = 83.93%
TOTAL BUILDING STONE: 1,798 SF = 16.07%

PRELIMINARY DESIGN

SUMMER LEE CONDOS, LLC

**SUMMER LEE
CONDOMINIUMS
ROCKWALL, TEXAS
ROCKWALL COUNTY**

Project Number:
Drawing Date: 02/13/2015
Drawn:
Checked:
Scale:
ACAD File: SL-Condos-NE-Elevations.dwg
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Revisions:

Sheet Title:

A201

SP2015-004

MATERIAL SCHEDULE

- 3 PART STUCCO COLOR 1 - 
- 3 PART STUCCO COLOR 2 - 
- 3 PART STUCCO COLOR 3 - 

- BUILDING STONE (S1) - ELDORADO STONE - MOUNTAIN LEDGE 
- RETAINING WALL - (S2) - AUSTIN STONE 



CLAY TILE ROOFING (C1)- BORAL TEJAS ESPANA -BRAZOS BLEND 



Consultants:

PRELIMINARY DESIGN

SUMMER LEE CONDOS, LLC

SUMMER LEE CONDOMINIUMS
ROCKWALL, TEXAS
ROCKWALL COUNTY

Project Number: 02/13/2015
 Drawing Date: 02/13/2015
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 Scale:
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A-202

SP2015-004



2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE : 11,882 SF
 TOTAL PLASTER: 11,272 SF = 95%
 TOTAL BUILDING STONE: 610 SF = 5%



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

TOTAL BUILDING WALL HARD SURFACE : 13,054 SF
 TOTAL PLASTER: 11,694 SF = 89.6%
 TOTAL BUILDING STONE: 1,360 SF = 10.4%

MATERIAL SCHEDULE

3 PART STUCCO COLOR 1 - 

3 PART STUCCO COLOR 2 - 

3 PART STUCCO COLOR 3 - 

BUILDING STONE (S1) -
ELDORADO STONE - MOUNTAIN LEDGE 

RETAINING WALL - (S2) - AUSTIN STONE 



CLAY TILE ROOFING (C1)- BORAL
TEJAS ESPANA -BRAZOS BLEND 



STROHMEYER
ARCHITECTS INC.

Consultants:

PRELIMINARY DESIGN

SUMMER LEE CONDOS, LLC

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ROCKWALL, TEXAS
ROCKWALL COUNTY

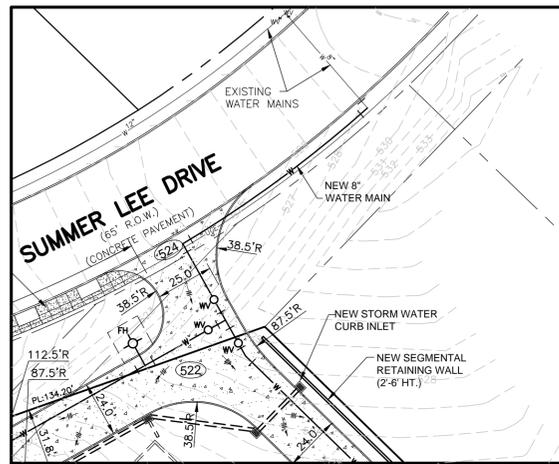
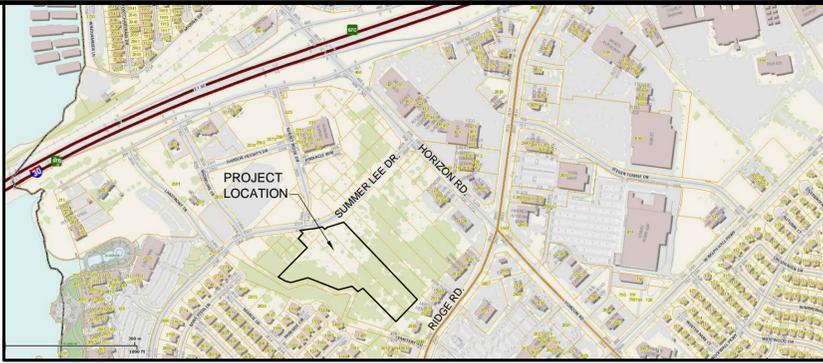
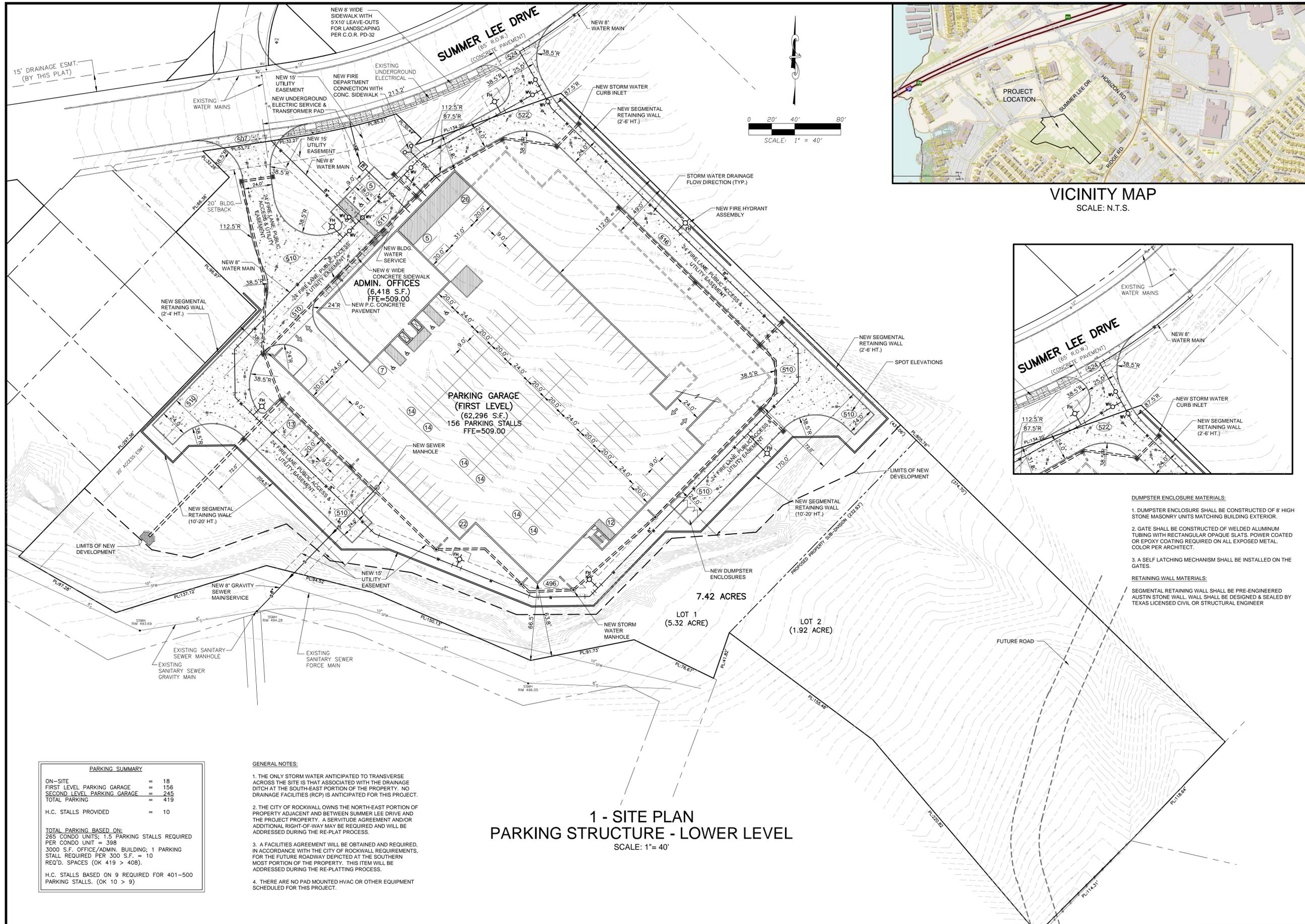
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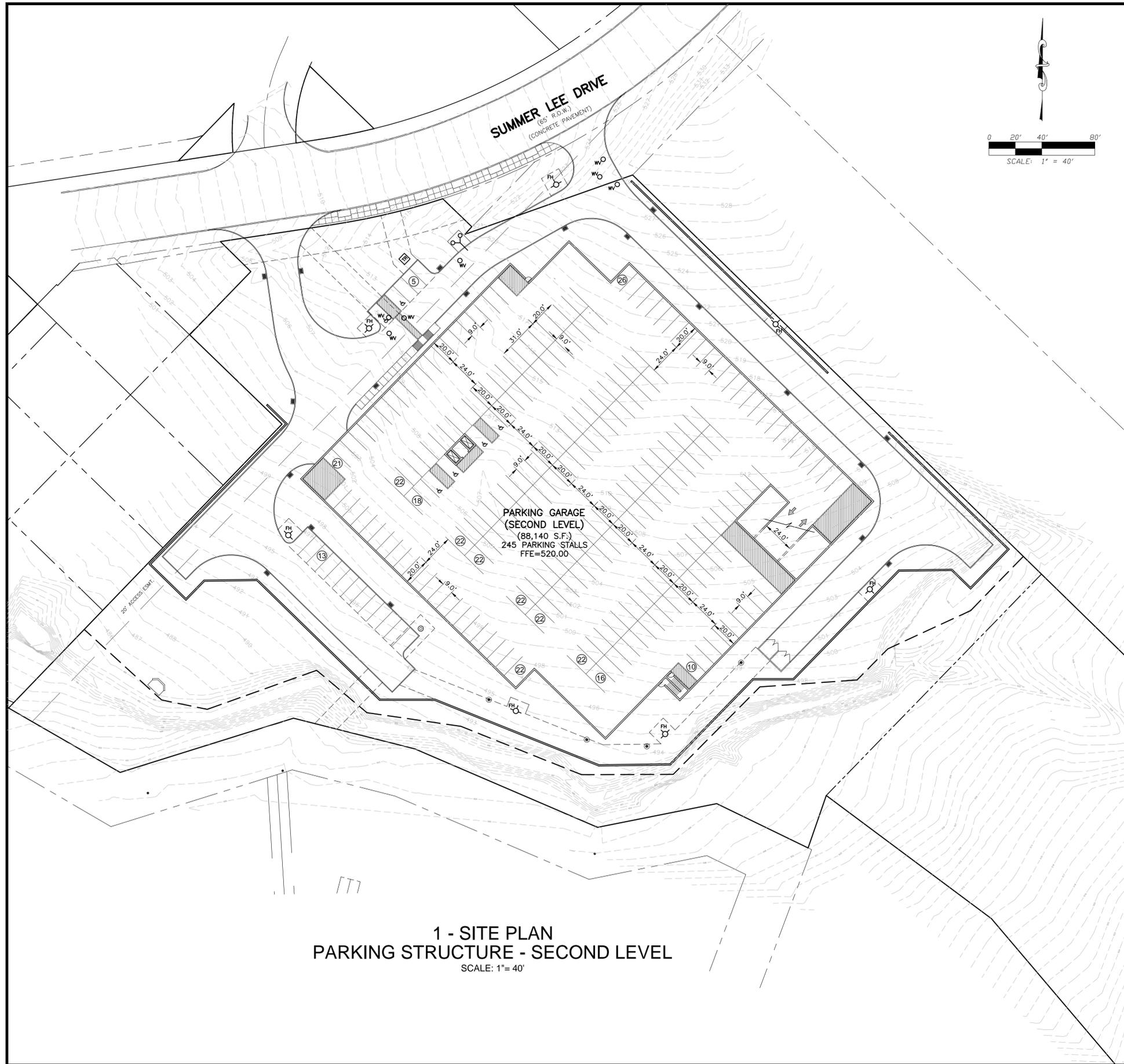
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Sheet Title:
**SITE PLAN
PARKING STRUCTURE
LOWER LEVEL**
C-101



1 - SITE PLAN
 PARKING STRUCTURE - SECOND LEVEL
 SCALE: 1" = 40'

Pre-Development Drainage Calculations					
Drainage Area	Area (acres)	Runoff Coefficient	Time of Concentration (minutes)	Intensity (in./hr.) 100-year	Runoff (c.f.s) 100-year
1	A	C	Tc	I100	Q100
	5.32	0.35	20	8.40	15.64
Totals					15.64

Post-Development Drainage Calculations					
Drainage Area	Area (acres)	Runoff Coefficient	Time of Concentration (minutes)	Intensity (in./hr.) 100-year	Runoff (c.f.s) 100-year
1	A	C	Tc	I100	Q100
	5.32	0.90	10	9.80	46.92
Totals					46.92



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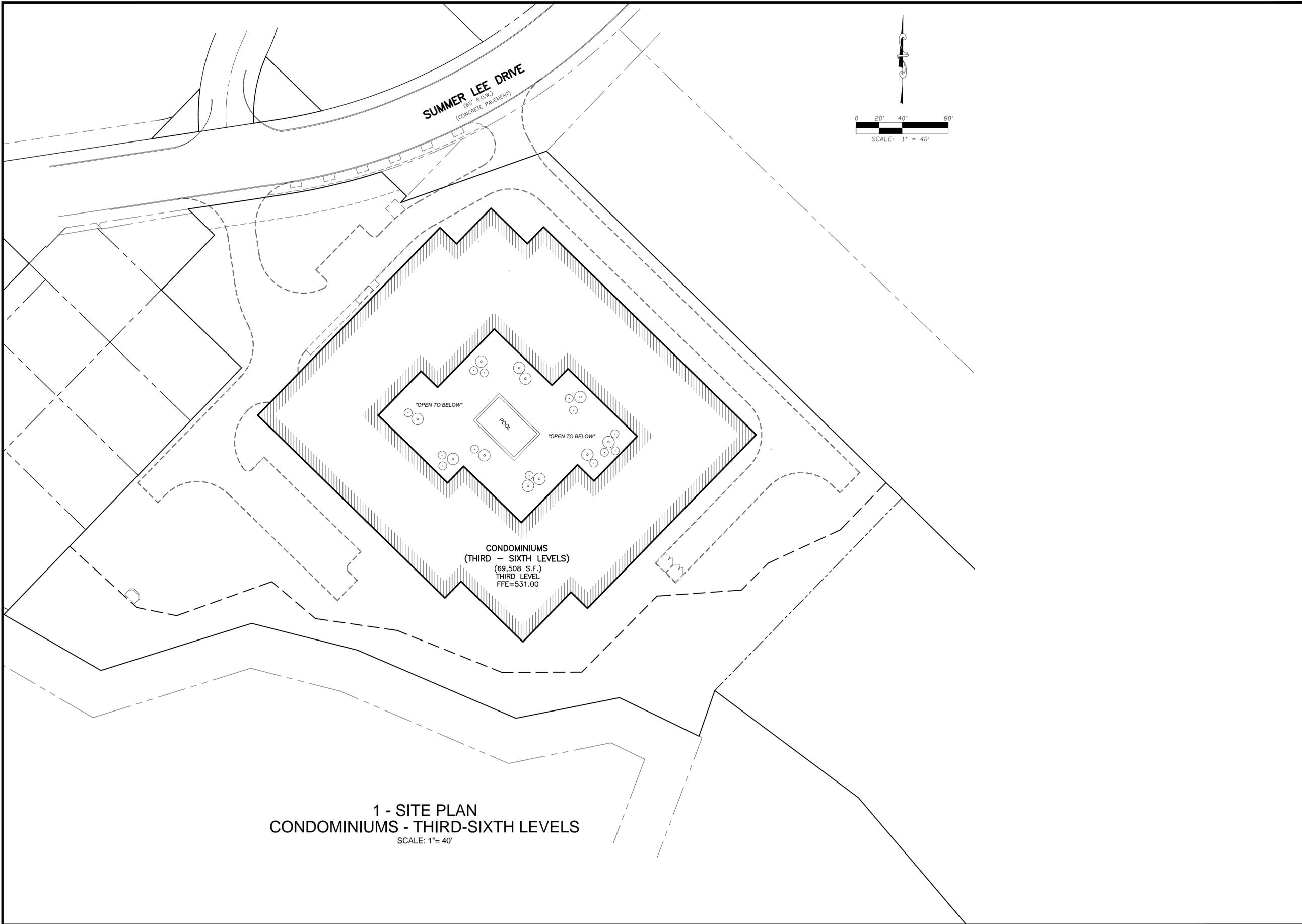
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Sheet Title:

SITE PLAN
 PARKING STRUCTURE
 SECOND LEVEL

C-102



1 - SITE PLAN
 CONDOMINIUMS - THIRD-SIXTH LEVELS
 SCALE: 1"= 40'



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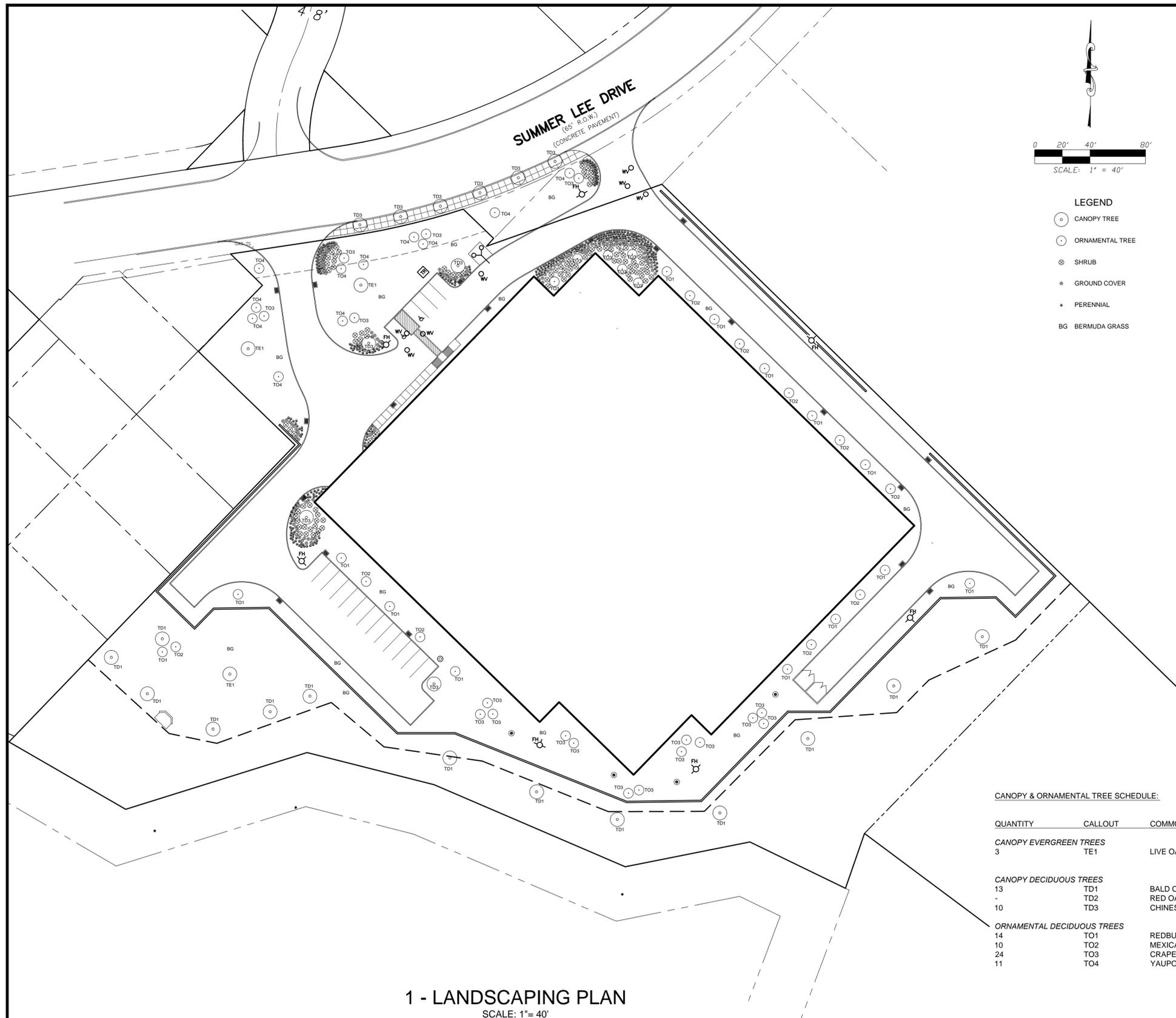
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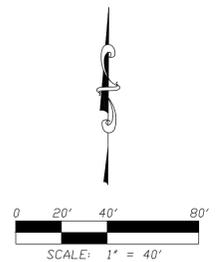
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Sheet Title:
 SITE PLAN
 CONDOMINIUMS
 THIRD - SIXTH LEVELS
 C-103



1 - LANDSCAPING PLAN
SCALE: 1" = 40'



- LEGEND**
- CANOPY TREE
 - ORNAMENTAL TREE
 - ⊗ SHRUB
 - GROUND COVER
 - PERENNIAL
 - BG BERMUDA GRASS

- LANDSCAPING GENERAL NOTES:**
1. NO LANDSCAPING TREES SHALL BE WITHIN 5' OF ANY UTILITY.
 2. A MINIMUM CLEARANCE OF 5' SHALL BE MAINTAINED BETWEEN LANDSCAPING AND FIRE HYDRANTS.
 3. A MITIGATION/TREESCAPE PLAN IS REQUIRED FOR THIS PROJECT.
 4. IRRIGATION SHALL BE IN ACCORDANCE WITH THE UNIFORM DEVELOPMENT CODE.

LANDSCAPING GENERAL REQUIREMENTS AND SCHEDULE

LAND DEVELOPMENT DISTRICT: PD-32
STREET TYPE: O

STREETSCAPE LANDSCAPING REQUIREMENTS & SCHEDULE:

1. CONTRACTOR SHALL PROVIDE EITHER LANDSCAPING OPTION A OR B PER PD-32, EXHIBIT C-4, IN TREE LEAVE-OUTS TO MATCH EXISTING ALONG SUMMER LEE DRIVE. OPTION A SHALL BE A MIX OF SHRUB PERENNIAL, ORNAMENTAL GRASS, AND GROUND COVER PLANTING. PLANT MATERIALS SHALL PROVIDE A MIX OF HEIGHT, COLOR, TEXTURE AND EVERGREEN STRUCTURE. OPTION B SHALL BE MEXICAN BEACH STONE PEBBLES.
2. LANDSCAPING LEAVE-OUTS SHALL HAVE TREE SUB-DRAINAGE TIED TO THE STORM DRAIN SYSTEM.
3. TREES IN LANDSCAPING LEAVE-OUTS SHALL BE 4-INCH CALIPER, 100 GALLON. THE VARIETY OF TREES SHALL MATCH EXISTING PLANTINGS ALONG SUMMER LEE DRIVE.

SITE LANDSCAPING REQUIREMENTS & SCHEDULE:

1. TREE VARIETIES SHALL BE A MIX OF ANY OF THE FOLLOWING CANOPY AND ORNAMENTAL TREES IN NATURAL GROUPINGS: LIVE OAK, CEDAR ELM, RED OAK, BURR OAK, CHINQUAPIN OAK, BALD CYPRESS, POND CYPRESS, MEXICAN PLUM, DESERT WILLOW, CHINESE PISTACHIO, YAUPON HOLLY, RED BUD, CRAPE MYRTLE VITEX AND EVE'S NECKLACE.
2. ORNAMENTAL TREES, SHRUBS, PERENNIAL ORNAMENTAL GRASS AND PERENNIALS SHALL BE PROVIDED AT LANDSCAPE ISLANDS AND ADJACENT TO THE BUILDING.
3. SHRUBS SHALL BE 3 GALLON EVERBLOOMING ROSE AND 7 GALLON EDWARD GOUCHER ABELIA.
4. PERENNIAL ORNAMENTAL GRASS SHALL BE HAMELIN 1 GALLON FOUNTAIN GRASS.
5. PERENNIALS SHALL BE 1 GALLON RED VELVET EVERGREEN DAYLILIES AND 1 GALLON WHITE LANTANA TRAILING.
7. WHERE NOTED, AREAS SHALL BE SOLID SODDED WITH BERMUDA GRASS.

IMPERVIOUS AREA / LANDSCAPING CALCULATION:

IMPERVIOUS AREA: 41,575 S.F.

REQUIREMENT: (LS ORD.) IF IMPERVIOUS AREA IS GREATER THAN 20,000 S.F., 1 TREE REQUIRED PER 10 PARKING SPACES. AT 419 TOTAL PARKING SPACES, 42 TREES ARE REQUIRED.

(PD-32 GOVERNS) ONE 3-INCH CALIPER, 65 GALLON CANOPY TREE MUST BE PROVIDED FOR EVERY 8 PARKING SPACES. AT 419 TOTAL PARKING SPACES, 53 CANOPY TREES ARE REQUIRED. CANOPY REQUIRED WITHIN 80' OF PARKING STALLS.

53 TREES REQUIRED; 79 PROVIDED (NOT INCLUDING 6 STREETSCAPE TREES)

CANOPY & ORNAMENTAL TREE SCHEDULE:

QUANTITY	CALLOUT	COMMON NAME	BOTANICAL NAME	SIZE / CONDITION
CANOPY EVERGREEN TREES				
3	TE1	LIVE OAK	QUERCUS VIRGINIANA	100-GAL., 4.0'-4.5" CAL., 14'-16' HT., CLEAR TRUNK 8'
CANOPY DECIDUOUS TREES				
13	TD1	BALD CYPRESS	TAXODIUM DISTICHUM	100-GAL., 4.0'-4.5" CAL., 16'-18' HT., CLEAR TRUNK 6'
-	TD2	RED OAK	QUERCUS SHUMARDII	100-GAL., 4.0'-4.5" CAL., 14'-16' HT., CLEAR TRUNK 8'
10	TD3	CHINESE PISTACHE	PISTACHIA CHINENSIS	100-GAL., 4.0'-4.5" CAL., 12'-14' HT., CLEAR TRUNK 8'
ORNAMENTAL DECIDUOUS TREES				
14	TO1	REDBUD	CERCIS CANADENSIS	65-GAL., 3' CAL., 8'-10' HT., TREE FORM
10	TO2	MEXICAN PLUM	PRUNUS MEXICANA	65-GAL., 3' CAL., 8'-10' HT., TREE FORM
24	TO3	CRAPEMYRTLE	LAGERSTROEMIA INDICA	65-GAL., 3' CAL., 8'-10' HT., TREE FORM
11	TO4	YAUPON HOLLY	ILEX VOMITORIA	65-GAL., 3' CAL., 8'-10' HT., TREE FORM



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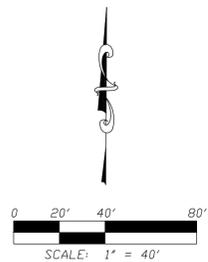
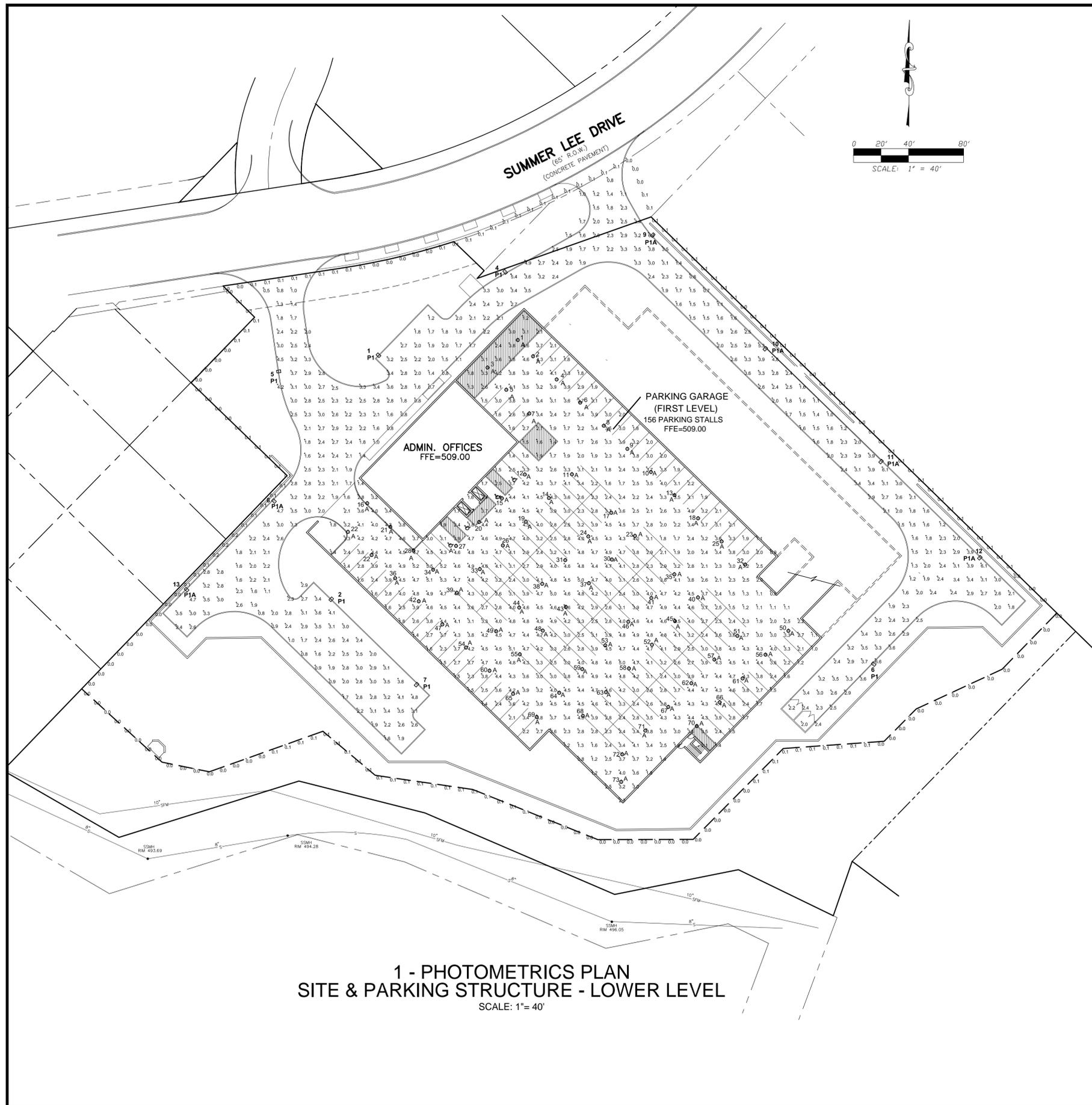
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LANDSCAPING PLAN

L-101



LIGHT SCHEDULE - SITE

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
P1	1	P1	SINGLE	N/A	0.912	GLEONAM-03-ED-1-SEL
P1A	4	P1A	SINGLE	N/A	0.912	GLEONAM-03-ED-1-SEL-HSS

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
P1	1	P1	SINGLE	N/A	0.912	GLEONAM-03-ED-1-SEL	157
P1A	4	P1A	SINGLE	N/A	0.912	GLEONAM-03-ED-1-SEL-HSS	157

27' side = 2.7' base (below grade) = 27' mounting height above finished grade.

Luminaire	Label	X	Y	Z	Orient	TM	Yamp	Z-Offset
1	P1	199	349	22.5	316.219	0	149	22.5
2	P1	86.662	162.827	22.5	225	0	162.827	22.5
3	P1	508	119	22.5	181.703	0	119	22.5
4	P1	205.141	420.519	22.5	311.166	0	420.519	22.5
5	P1	423.68	343.028	22.5	620.1	0	343.028	22.5
6	P1	444	100	22.5	153.733	0	100	22.5
7	P1	140	101	22.5	247.911	0	101	22.5
8	P1A	442.618	292.022	22.5	301.34	0	292.022	22.5
9	P1A	318	443	22.5	218.157	0	443	22.5
10	P1A	169.015	260.611	22.5	285	0	169.015	22.5
11	P1A	462.605	277.759	22.5	227.759	0	277.759	22.5

LIGHT SCHEDULE - PARKING STRUCTURE - LOWER LEVEL

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
P3	73	A	SINGLE	N/A	0.864	TTAN-LEDE1-WQ	34

Label	Calc Type	Units	Avg	Max	Min	AugMin	MaxMin	PreScu	PreScb
Parking Garage Floor	Luminance	Fc	3.31	5.5	1.8	4.14	6.88	10	10

Label	Type	Wall Ht.	Description
Parking Garage	Polygon/Fat	10	Assumed Reflection 2, 2, 2

Luminaire	Label	X	Y	Z	Orient	TM
1	A	199	350	10	0	0
2	A	110.102	338.145	10	0	0
3	A	129	330	10	0	0
4	A	187.246	321.39	10	0	0
5	A	103.641	311.386	10	0	0
6	A	204.59	294.695	10	0	0
7	A	167.318	286.684	10	0	0
8	A	223.242	287.789	10	0	0
9	A	238.878	271.004	10	0	0
10	A	206.822	264.509	10	0	0
11	A	198.387	252.50	10	0	0
12	A	148.111	250.466	10	0	0
13	A	375.985	237.414	10	0	0
14	A	181.621	235.588	10	0	0
15	A	141.448	234.186	10	0	0
16	A	483	231.549	10	0	0
17	A	227.021	220.641	10	0	0
18	A	290.11	220.518	10	0	0
19	A	164.815	218.185	10	0	0
20	A	133.91	217.91	10	0	0
21	A	86.509	214.419	10	0	0
22	A	363.811	210.707	10	0	0
23	A	244.213	207.865	10	0	0
24	A	210.175	207.448	10	0	0
25	A	307.254	203.823	10	0	0
26	A	148.129	200.873	10	0	0
27	A	114.113	200.602	10	0	0
28	A	83.119	197.289	10	0	0
29	A	62.666	195.873	10	0	0
30	A	227.487	190.702	10	0	0
31	A	183.509	182.588	10	0	0
32	A	304.388	181.028	10	0	0
33	A	131.384	180.791	10	0	0
34	A	87.446	180.331	10	0	0
35	A	272.687	178.985	10	0	0
36	A	69.852	177.488	10	0	0
37	A	210.722	173.51	10	0	0
38	A	176.187	171.588	10	0	0
39	A	114.638	168.588	10	0	0
40	A	290.06	163.299	10	0	0
41	A	256.121	162.763	10	0	0
42	A	88.077	160.454	10	0	0
43	A	193.916	158.118	10	0	0
44	A	160.038	155.871	10	0	0
45	A	273.274	150.667	10	0	0
46	A	238.375	148.6	10	0	0
47	A	104.132	143.82	10	0	0
48	A	177.23	138.325	10	0	0
49	A	143.262	138.879	10	0	0
50	A	302.966	138.327	10	0	0
51	A	239.822	131.662	10	0	0
52	A	206.584	117.219	10	0	0
53	A	222.63	128.458	10	0	0
54	A	121.287	128.835	10	0	0
55	A	160.484	127.833	10	0	0
56	A	336.166	127.69	10	0	0
57	A	302.966	118.327	10	0	0
58	A	239.822	111.662	10	0	0
59	A	206.584	111.219	10	0	0
60	A	138.441	110.551	10	0	0
61	A	302.489	104.42	10	0	0
62	A	285.222	100.845	10	0	0
63	A	223.079	94.47	10	0	0
64	A	188.138	94.023	10	0	0
65	A	155.598	93.296	10	0	0
66	A	304.833	87.153	10	0	0
67	A	268.416	83.752	10	0	0
68	A	206.331	77.277	10	0	0
69	A	172.751	74.452	10	0	0
70	A	285.167	69.881	10	0	0
71	A	253.73	66.56	10	0	0
72	A	234.985	48.368	10	0	0
73	A	239	29	10	0	0



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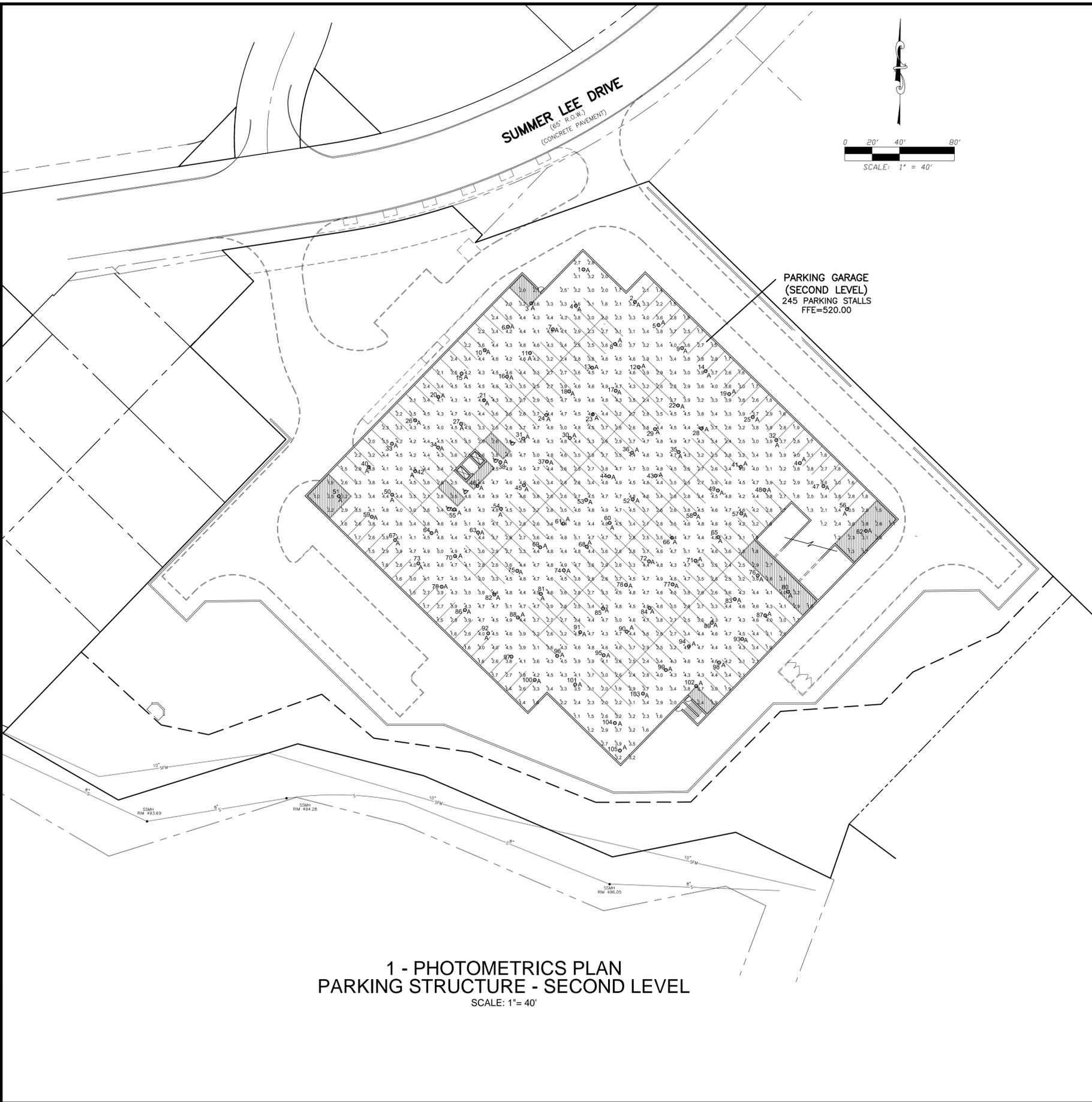
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PHOTOMETRICS PLAN
SITE & PARKING STRUCTURE
LOWER LEVEL
PH-101



LIGHT SCHEDULE - PARKING STRUCTURE - SECOND LEVEL

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
○	105	A	105A	N/A	0.84	1741-LED-E1-700	34

Calculation Summary	Category	Units	Avg	Max	Min	AngleIn	MaxIn	FSIGLr	FSIGLb
Parking Garage, Floor	Illuminance	Fc	3.07	5.1	1.0	3.57	5.10	10	10

Room Summary	Type	Room No.	Description
Parking Garage	Polypodium	0	Assume Reflectance .2, .2, .2

Luminaire Location Summary

LumNo	Label	X	Y	Z	Orient	TR
1	A	207.689	387.447	10	0	0
2	A	244.262	343.723	10	0	0
3	A	158.89	342.755	10	0	0
4	A	201.49	341.034	10	0	0
5	A	187.944	328.077	10	0	0
6	A	151.984	328.72	10	0	0
7	A	184.744	323.241	10	0	0
8	A	226.344	373.124	10	0	0
9	A	278.977	370.231	10	0	0
10	A	338.038	368.755	10	0	0
11	A	187.968	308.249	10	0	0
12	A	127.588	262.378	10	0	0
13	A	213.388	295.052	10	0	0
14	A	296.789	293.485	10	0	0
15	A	171.132	291.08	10	0	0
16	A	157.263	286.487	10	0	0
17	A	235.661	278.788	10	0	0
18	A	196.852	278.739	10	0	0
19	A	173.881	278.739	10	0	0
20	A	191.185	274.675	10	0	0
21	A	134.007	272.284	10	0	0
22	A	276.59	268.469	10	0	0
23	A	213.845	261.394	10	0	0
24	A	178.807	261.547	10	0	0
25	A	333.554	258.994	10	0	0
26	A	142.289	253.581	10	0	0
27	A	177.761	252.072	10	0	0
28	A	265.783	251.723	10	0	0
29	A	289.245	251.276	10	0	0
30	A	187.969	244.361	10	0	0
31	A	181.911	244.355	10	0	0
32	A	347.746	243.248	10	0	0
33	A	177.733	243.548	10	0	0
34	A	191.015	237.275	10	0	0
35	A	278.437	234.531	10	0	0
36	A	242.499	230.064	10	0	0
37	A	180.263	227.669	10	0	0
38	A	144.615	225.762	10	0	0
39	A	343.539	228.552	10	0	0
40	A	177.687	223.071	10	0	0
41	A	191.837	223.013	10	0	0
42	A	342.889	220.687	10	0	0
43	A	289.691	217.338	10	0	0
44	A	225.783	216.392	10	0	0
45	A	183.897	216.476	10	0	0
46	A	132.689	208.37	10	0	0
47	A	162.911	208.765	10	0	0
48	A	359.035	207.067	10	0	0
49	A	305.091	206.621	10	0	0
50	A	177.621	203.485	10	0	0
51	A	28.548	202.477	10	0	0
52	A	342.845	200.746	10	0	0
53	A	208.007	199.898	10	0	0

Luminaire Location Summary

LumNo	Label	X	Y	Z	Orient	TR
54	A	145.892	193.224	10	0	0
55	A	112.923	192.777	10	0	0
56	A	199.323	193.011	10	0	0
57	A	322.283	189.275	10	0	0
58	A	248.545	188.428	10	0	0
59	A	52.834	187.473	10	0	0
60	A	226.2	182.953	10	0	0
61	A	192.261	182.957	10	0	0
62	A	413.132	177.235	10	0	0
63	A	132.176	176.032	10	0	0
64	A	96.178	175.585	10	0	0
65	A	308.837	173.253	10	0	0
66	A	271.589	172.238	10	0	0
67	A	49.813	170.91	10	0	0
68	A	299.454	169.261	10	0	0
69	A	175.516	168.374	10	0	0
70	A	113.37	168.849	10	0	0
71	A	288.792	165.47	10	0	0
72	A	254.564	163.044	10	0	0
73	A	86.911	163.547	10	0	0
74	A	162.708	148.869	10	0	0
75	A	158.77	148.132	10	0	0
76	A	334.981	144.773	10	0	0
77	A	272.046	138.258	10	0	0
78	A	238.108	137.851	10	0	0
79	A	133.589	135.504	10	0	0
80	A	356.423	132.391	10	0	0
81	A	175.362	131.376	10	0	0
82	A	142.024	130.93	10	0	0
83	A	317.446	127.581	10	0	0
84	A	295.1	127.193	10	0	0
85	A	221.362	123.659	10	0	0
86	A	123.548	119.621	10	0	0
87	A	339.838	115.748	10	0	0
88	A	159.216	114.164	10	0	0
89	A	300.7	110.388	10	0	0
90	A	238.554	103.913	10	0	0
91	A	294.616	103.467	10	0	0
92	A	137.528	102.259	10	0	0
93	A	322.554	98.251	10	0	0
94	A	263.954	93.196	10	0	0
95	A	221.889	88.721	10	0	0
96	A	197.87	89.274	10	0	0
97	A	154.504	85.896	10	0	0
98	A	306.069	81.427	10	0	0
99	A	287.238	76.003	10	0	0
100	A	171.683	69.733	10	0	0
101	A	201.008	65.461	10	0	0
102	A	398.285	62.272	10	0	0
103	A	250.483	60.811	10	0	0
104	A	228.967	37.441	10	0	0
105	A	233.688	17.4	10	0	0



Consultants:
Nassif Engineering & Architecture, LLC



TXBPE Registration No. : F-16335
TBAE Registration No. : BR400
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ISSUED FOR DEVELOPMENT REVIEW



STERLING MANAGEMENT GROUP, LLC

SUMMER LEE CONDOMINIUMS

ROCKWALL, TX 75032

Project Number: 15-118
Drawing Date: 2/13/2015
Drawn:
Checked:
Scale: AS SHOWN
ACAD File:
Copyright 2015 Strohmeier Architects, Inc.

Revisions:
3/3/2015 - Revisions per Rockwall Development Review (2/16/2015)

Sheet Title:
**PHOTOMETRICS PLAN
PARKING STRUCTURE
SECOND LEVEL
PH-102**

800.364.0098 • Fax: 281.997.5441 • www.amerluxexterior.com

Description

This contemporary styled **D154-TS20 Series** combines a cast aluminum housing, a spun aluminum shade and segmented reflector to create an efficient luminaire with Type III(**HR3**) or Type V(**HR5**) light distribution. Some of the most popular brackets for use with this fixture are shown below, however there are others available in the "Brackets & Wall Luminaires" section of this catalog.

Installation

The luminaire will mount to the bracket as shown on the reverse page. Post top luminaire brackets will mount to a 3" OD post or tenon with (6) 5/16" stainless steel set screws. Wall bracket models have four 3/8" holes for mounting (wall mount hardware is not included).

Electrical

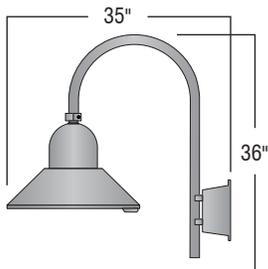
- High power factor ballast (HPF), core and coil type, pre-wired and tested
- Easy ballast pod access
- 4KV pulse rated porcelain socket
- Suitable for wet location

Lens

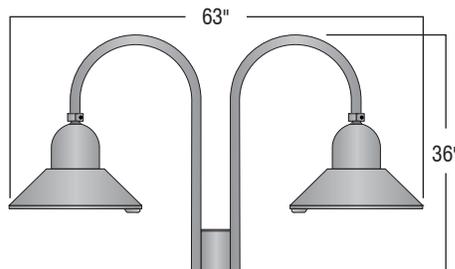
Clear smooth flat tempered glass (**GL**)

Finish

Premium quality thermoset polyester powdercoat (see Finish Selection)

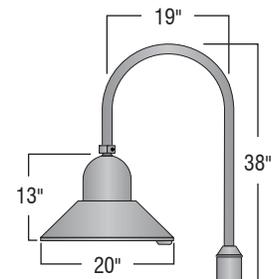


WBR03/D154-TS20



PT12/D154-TS20

EPA: 2.58
Also available in three and four light combinations.



PT01/D154-TS20

EPA: 1.23

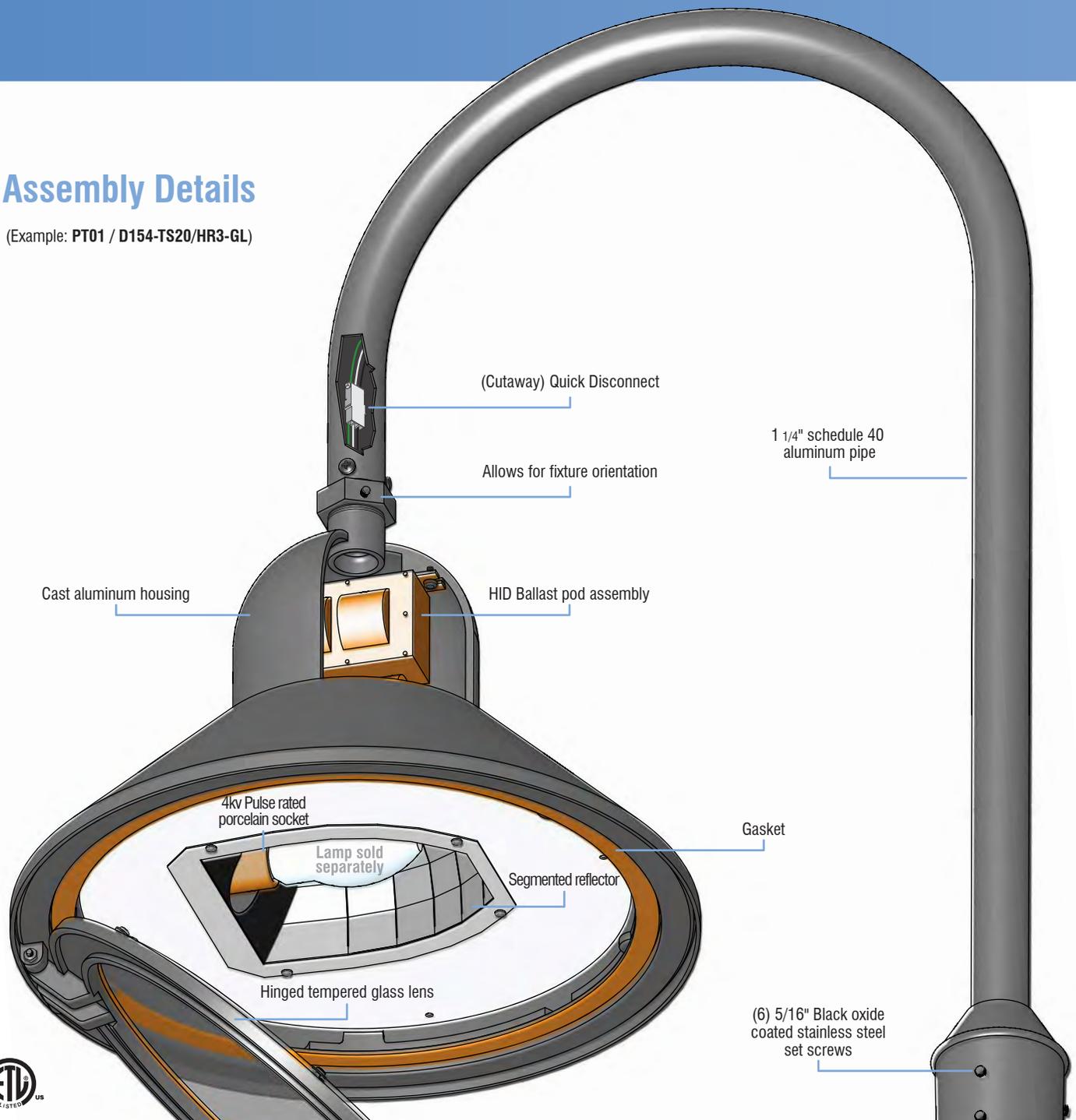
Ordering Guide							
Bracket	Luminaire	Light Distribution	Lens	Light Source	Voltage	Finish	Option
PT01	D154-TS20	HR5	GL	100HPS	120v	BLK	PCL
		HR3		50MH,70MH	208v	CLB,GRN	
				100MH,50HPS	240v	WHT,TBK	
				70HPS	277v	ATC,GTG	

Additional light sources, voltages, and custom colors are available. Contact factory for details.

Light Sources	
Wattage	Socket Type
50MH, 70MH, 100MH, 150MH	Medium
50HPS, 70HPS, 100HPS, 150HPS	Medium
PL-13	2-pin
CFL 26, 32, or 42	4-pin

Assembly Details

(Example: PT01 / D154-TS20/HR3-GL)

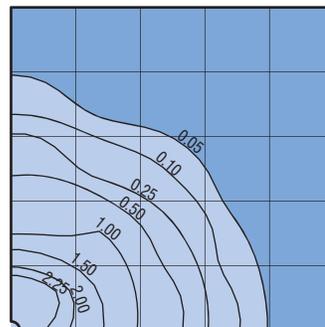


Optical Systems

Standard
(HR3-GL) - Type III segmented reflector with a clear flat tempered glass.

(HR5-GL) - Type V segmented reflector with a clear flat tempered glass.

Standard Photometry



PT01/D154-TS20/HR5
 Typical HID light source
 8,500 Lumen
 12' Mounting Height
 Grid Spacing is 12'

Exhibit E-8 (Page 1 of 2) Interior Subdistrict

INTERIOR SUBDISTRICT

The primary intent of the Interior subdistrict is to provide an area that can function as either office, residential, or senior living use. Key characteristics of this subdistrict include good views of Lake Ray Hubbard and adjacency to open space. Existing slopes within this subdistrict are in the 6% - 10% range. Significant massing of existing trees are also present within this subdistrict which should be preserved where possible.

Building Placement

Setback (Distance from R.O.W. line)	
Summer Lee Drive	20'
Street Type G	5' minimum, 20' minimum average

Building Form

Each building must have a minimum of 30% of the length of its façade fronting Summer Lee Dr located on the 20' setback line.

Maximum Lot Coverage	60%
----------------------	-----

Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

Use

Ground Floor	Upper Floors
Residential Office Senior Living	Residential Office Senior Living

Height

	stories / height
Maximum Building Height	5 / 75'
Minimum 1st floor commercial Height (with other uses above)	15'

Encroachments

Location	
Summer Lee Drive	5'
Street Type G	5'

Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

Parking

Surface Parking Setback (Distance from R.O.W. line)	
Street Type G	10'
Summer Lee Drive	15'

Surface Parking Lots

A maximum of 10% of the total parking for this subdistrict may be surface parking.

Driveways (Maximum number per block face)

Street Type G	3
Summer Lee Drive	2

Pedestrianways (Minimum number per block face)

Street Type G	1
Summer Lee Drive	1

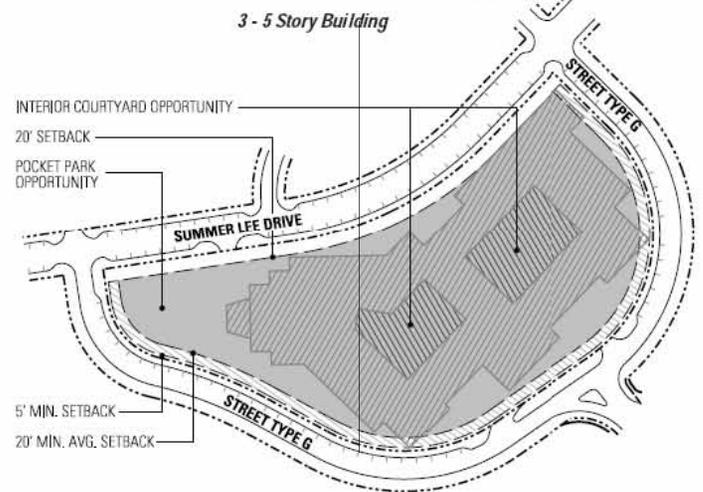
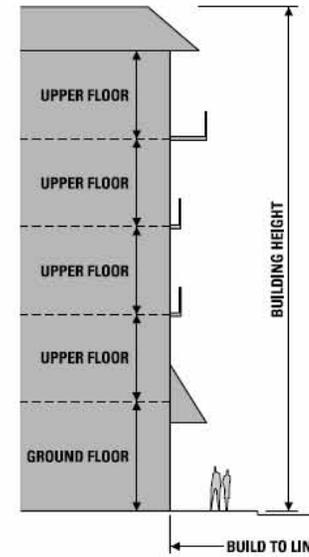
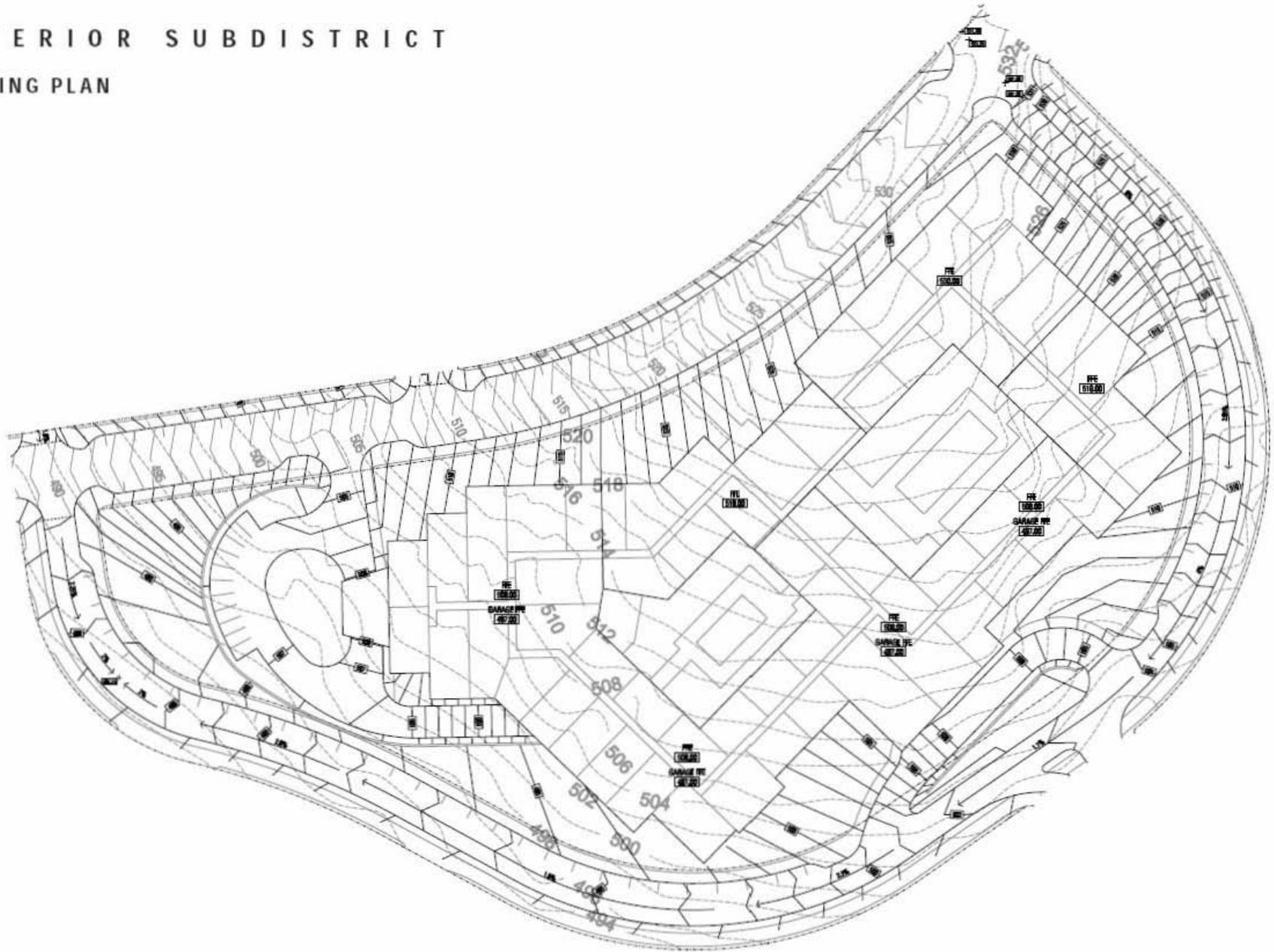


Exhibit E-8 (Page 2 of 2)
Interior Subdistrict

INTERIOR SUBDISTRICT
GRADING PLAN



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