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P2015-008 - Hold a public hearing to discuss and consider a request by Michael Clark for the approval of a residential replat for Lots 6 & 7, Block K, Sanger Brothers Addition, being a 0.23-acre parcel of land currently identified as the eastern ½ of Lot 3, Block K, Sanger Brothers Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 808 Sam Houston Street, and take any action necessary.	
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Discuss and consider approval of a resolution regarding TxDot planning for SH205, and take any action necessary.	
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Discuss and consider a recommendation from the City Council's
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of Winkelmann and Associates, Inc. on behalf of Mark Matise of
MAKKO Goliad I, LP for the approval of a site plan and
associated variances for a grocery store and fuel center on a
11.28-acre tract of land identified as Lots 2 & 3, Block A, Quail
Run Retail Addition, City of Rockwall, Rockwall County, Texas,
zoned Planned Development District 5 (PD-5) for General Retail
(GR) District land uses, situated within the North SH-205
Overlay (N. SH-205 OV) District, located at the southeast corner
of the intersection of N. Goliad Street (SH-205) and E. Quail
Run Road, and take any action necessary.

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Discuss and consider installing public restrooms in the
downtown area, and take any action necessary.

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AGENDA
ROCKWALL CITY COUNCIL
Monday, April 20, 2015
4:00 p.m. Regular City Council Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

- I. CALL PUBLIC MEETING TO ORDER**
- II. WORK SESSION**
- III. EXECUTIVE SESSION**

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding legal matters related to land lease operations at Ralph Hall Municipal Airport pursuant to Section 551.071 (Consultation with Attorney).
2. Discussion regarding deliberation of appointment of public officer to North TX Municipal Water District Board, pursuant to Section 551.074 (personnel matters).
3. Discussion regarding incentives to tenured employees and possible legal issues pursuant to Section 551.074 (Personnel Matters) and Section 551.071 (Consultation with Attorney).
4. Discussion regarding legal claim related to back up of city sewage line in Random Oaks Subdivision pursuant to Section 551.071 (Consultation with Attorney)
5. Discussion regarding legal claim: Jack R. Athey vs. Rockwall Police Chief Mark Moeller, Rockwall County Emergency Services Corporation, and the City of Rockwall pursuant to Section 551.071 (Consultation with Attorney)
6. Discussion regarding the Animal Services Shelter and Adoption Services Agreement between the City of Rockwall and Collin County Humane Society pursuant to Section 551.071 (Consultation with Attorney).
7. Discussion regarding City Manager's performance evaluation and contract pursuant to Section 551.074 (Personnel Matters) and Section 551.071 (Consultation with Attorney)

- IV. ADJOURN EXECUTIVE SESSION**

AGENDA ROCKWALL CITY COUNCIL

Monday, April 20, 2015

6:00 p.m. Regular City Council Meeting

City Hall, 385 S. Goliad, Rockwall, Texas 75087

V. RECONVENE PUBLIC MEETING

VI. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

VII. INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER SCOTT MILDER

VIII. PROCLAMATIONS / AWARDS

- p.9** 1. Motorcycle Safety and Awareness Month
- 2. 9-1-1 Dispatcher Appreciation Day **p.11**
- p.13** 3. Animal Control Officer Appreciation Day

IX. CONSENT AGENDA

- p.15** 1. Consider approval of the minutes from the April 6, 2015 regular city council meeting, and take any action necessary.
- p.29** 2. Consider authorizing the City Manager to execute an agreement with Insituforms Technologies LLC to repair wastewater pipe damage at the Random Oaks subdivision in the amount of \$16,750 and approval of a wastewater operations budget amendment of \$20,000 to provide funding for the project and take any action necessary
- p.34** 3. Z2015-011 - Consider approval of an ordinance for a City initiated zoning request for the approval of a text amendment to Article IX, Tree Preservation, Section 11.1, Tree fund administration, of the Unified Development Code [Ordinance No. 04-38] for the purpose of modifying this section of the code, and take any action necessary. (2nd reading)
- p.39** 4. P2015-012 - Consider a request by Warren Corwin of Corwin Engineering on behalf of Ryan Joyce of the Skorburg Company (BH Phase V 80' POD, SF, LTD) for the approval of a preliminary plat for 79 single family residential lots, identified as Phase V of the Breezy Hill Subdivision, being a 25.597-acre tract of land situated within the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, situated on the west side of Breezy Hill Road north of the intersection Breezy Hill Road and FM-552, and take any action necessary.
- p.46** 5. Discuss and consider approval of a resolution associated with dedication of open space at the Park at Stone Creek as part of the Texas Parks and Wildlife Department grant process, and take any action necessary.

X. APPOINTMENTS

1. Appointment with the Planning and Zoning Chairman to discuss and answer any questions regarding cases on the agenda and related issues and take any action necessary.
- p.50 2. Appointment with Frank Conroy of Fox, Byrd & Company PC to present the city's Fiscal Year 2014 Comprehensive Annual Financial Report, and take any action necessary.
- p.51 3. Appointment with Mr. Tom Galli to hear update regarding a Memorial Day concert scheduled to be held at The Harbor on Sunday evening, May 24th at 7:00 p.m., and take any action necessary.
- p.55 4. Appointment with Mrs. JoAnn Marsh and her neighbors to hear concerns related to sewage issues in their neighborhood (Random Oaks subdivision), and take any action necessary.

XI. PUBLIC HEARING ITEMS

- p.58 1. Z2015-012 - Hold a public hearing to discuss and consider the approval of an ordinance for a request by Cindy Levandowski on behalf of the owner Terry Rowe for the approval of an amendment to a Specific Use Permit [Ordinance No. 09-28] to allow for a General Retail Store within Planned Development District 50 (PD-50) for a 0.16-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary [1st Reading].
- p.75 2. P2015-008 - Hold a public hearing to discuss and consider a request by Michael Clark for the approval of a residential replat for Lots 6 & 7, Block K, Sanger Brothers Addition, being a 0.23-acre parcel of land currently identified as the eastern ½ of Lot 3, Block K, Sanger Brothers Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 808 Sam Houston Street, and take any action necessary.

XII. ACTION ITEMS

- p.86 1. Discuss and consider approval of a resolution regarding TxDot planning for SH205, and take any action necessary.
- p.94 2. Discuss and consider a recommendation from the City Council's Hotel Tax Subcommittee regarding a supplemental funding request from the Soroptimist Club for the annual Country Fair and take any action necessary.
- p.112 3. SP2015-007 - Discuss and consider a request by Maria Bonilla of Winkelmann and Associates, Inc. on behalf of Mark Matise of MAKKO Goliad I, LP for the approval of a site plan and associated variances for a

grocery store and fuel center on a 11.28-acre tract of land identified as Lots 2 & 3, Block A, Quail Run Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the southeast corner of the intersection of N. Goliad Street (SH-205) and E. Quail Run Road, and take any action necessary.

- p.140 4. Discuss and consider installing public restrooms in the downtown area, and take any action necessary.

XIII. EXECUTIVE SESSION

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding legal matters related to land lease operations at Ralph Hall Municipal Airport pursuant to Section 551.071 (Consultation with Attorney).
2. Discussion regarding deliberation of appointment of public officer to North TX Municipal Water District Board, pursuant to Section 551.074 (personnel matters).
3. Discussion regarding incentives to tenured employees and possible legal issues pursuant to Section 551.074 (Personnel Matters) and Section 551.071 (Consultation with Attorney).
4. Discussion regarding legal claim related to back up of city sewage line in Random Oaks Subdivision pursuant to Section 551.071 (Consultation with Attorney)
5. Discussion regarding legal claim: Jack R. Athey vs. Rockwall Police Chief Mark Moeller, Rockwall County Emergency Services Corporation, and the City of Rockwall pursuant to Section 551.071 (Consultation with Attorney)
6. Discussion regarding the Animal Services Shelter and Adoption Services Agreement between the City of Rockwall and Collin County Humane Society pursuant to Section 551.071 (Consultation with Attorney).
7. Discussion regarding City Manager's performance evaluation and contract pursuant to Section 551.074 (Personnel Matters) and Section 551.071 (Consultation with Attorney)

XIV. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

XV. ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code § 551.071 (Consultation with Attorney) § 551.072 (Deliberations about Real Property) § 551.074 (Personnel Matters) and § 551.086 (Economic Development)

I, Kristy Ashberry, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 17th day of April, 2015 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Ashberry, City Secretary

Jacky Casey, Assistant Secretary

Date Removed

Rockwall, Texas

Proclamation

Whereas, today's society finds more citizens involved in motorcycling on the roads of our country; and

Whereas, motorcyclists are roughly unprotected and are much more likely to be injured or killed in a crash than other vehicle drivers; and

Whereas, campaigns have helped inform riders and motorists alike on motorcycle safety issues to reduce motorcycle related risks, injuries, and most of all fatalities, through a comprehensive approach to motorcycle safety; and

Whereas, it is the responsibility of all who put themselves behind the wheel to become aware of motorcyclists and to regard them with the same respect as any other vehicle traveling the highways of this country; and

Whereas, we urge our community to be aware of the inherent dangers involved in operating a motorcycle and for drivers to give motorcyclists the respect on the road they deserve;

Now, Therefore, I, Jim Pruitt, Mayor of the City of Rockwall, Texas, do hereby proclaim **May 2015** as:

Motorcycle Safety & Awareness Month

In the City of Rockwall and urge all citizens to do their part to increase safety and awareness of motorcyclists in and around our community.

In Witness Whereof, I hereby affix my official hand and seal this 20th day of April, 2015.

Jim Pruitt, Mayor

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Rockwall,



Texas

Proclamation

Whereas, in February, Governor Greg Abbott issued a proclamation declaring April 12-18 as "Public Safety Telecommunicators Week" in the State of Texas; and

Whereas, this State proclamation recognizes the diligent efforts of 9-1-1 operators, dispatchers and other communications specialists throughout the State; and

Whereas, men and women who serve in this capacity are "unseen first responders," providing critical assistance to callers in times of great need; and

Whereas, 9-1-1 dispatchers work in an environment that is often high-paced and stressful, being called upon to utilize their specialized skills and training to make split second decisions, which, at times, could mean the difference between life and death; and

Whereas, the City of Rockwall would like to recognize and applaud its own dispatch personnel for the stellar job each of them performs to ensure the safety and wellbeing of our residents.

Now, Therefore, I, Jim Pruitt, Mayor of the City of Rockwall, Texas, do hereby proclaim **April 20, 2015** as

9-1-1 DISPATCHER APPRECIATION DAY

in the City of Rockwall and urge all citizens to take time to thank these staff members for their dedication and hard work towards protecting and serving both our citizens as well as our Police and Fire Departments.

In Witness Whereof, I hereunto set my hand and official seal this 20th day of April, 2015.

Jim Pruitt, Mayor

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Rockwall,



Texas

Proclamation

Whereas, the National Animal Care and Control Association designated April 12-18, 2015 as "Animal Control Officer Appreciation Week" in the United States; and

Whereas, this annual designation allows local entities an opportunity to show pride and appreciation for the important services provided by Animal Control Officers working in their communities; and

Whereas, Rockwall's Animal Control Officers devote a large amount of time to help ensure the welfare of helpless animals and pets that may be rescued from injury, disease, abuse and starvation; and

Whereas, among other duties, Rockwall's Animal Control Officers work diligently to protect the public from the dangers associated with things like 'at large' animals, biting animals, or nuisance animals such as squirrels or skunks that may otherwise wreak havoc on someone's personal property; and

Whereas, while work performed by Animal Control Officers is often "behind the scenes," and it may seem like a "thankless job," the City of Rockwall wishes to express its sincere appreciation for the work these individuals perform, day in and day out.

Now, Therefore, I, Jim Pruitt, Mayor of the City of Rockwall, Texas, do hereby proclaim **April 20, 2015** as

ANIMAL CONTROL OFFICER APPRECIATION DAY

in the City of Rockwall and urge all citizens to applaud and recognize our Animal Control Officers for their dedication and hard work towards protecting and serving both the animals and our citizens.

In Witness Whereof, I hereunto set my hand and official seal this 20th day of April, 2015.

Jim Pruitt, Mayor

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1 **MINUTES**
2 **ROCKWALL CITY COUNCIL**

3 **Monday, April 06, 2015**
4 **4:00 p.m. Regular City Council Meeting**
5 **City Hall - 385 S. Goliad, Rockwall, Texas 75087**
6

7 **I. CALL PUBLIC MEETING TO ORDER**
8

9 Mayor Pruitt called the meeting to order at 4:00 p.m. Present were Mayor Jim Pruitt,
10 Mayor Pro Tem Dennis Lewis and Council Members David White, John Hohenshelt, Scott
11 Milder, and Bennie Daniels. Also present were City Manager Rick Crowley, Assistant City
12 Managers Mary Smith and Brad Griggs and City Attorney Frank Garza. Council Member
13 Mike Townsend was absent from the meeting.
14

15 **II. WORK SESSION**
16

- 17 1. Hold work session to discuss status of state roadway projects, local
18 roadways and other public works projects, and take any action necessary.

19 City Engineer, Tim Tumulty, came forth and briefed the city council on the status of
20 various current and future state roadway projects affecting the City of Rockwall.
21 Regarding the IH-30 / FM-3549 interchange – the expected date for construction to begin
22 is around June of this year, and it is a TXDOT project. The expected timeframe for
23 completion, after the construction begins, is about two years. This project will route IH-
24 30 over FM-3549. Regarding the SH-276 project from SH-205 to FM-549, it will be a six-
25 lane project, and four lanes will be built in the first phase. This is one of two projects for
26 which Rockwall County received funding from the State of Texas Proposition One
27 Funding source. This project is scheduled for funding in the year 2018, and it will likely
28 be bid in late 2017. This project is about 60% designed already. The next project, FM-
29 3549 Rehab Project, which starts at SH-66 and goes up to FM-552 (a little under 4 miles),
30 and it is a ‘rehab’ projects. The asphalt will be removed and the shoulders will be
31 expanded. The project was just bid, and construction will likely start sometime around
32 June of this year. Regarding the next project, which is the FM-3549 project from IH-30 to
33 SH-66, this will end up being a four lane / divided roadway. Their bid date is January
34 2017, and TXDOT is about 30% into the process associated with this project. This project
35 is the other one of the two for which Rockwall County was able to secure funding from
36 the State of Texas Proposition One Funding source. Mr. Tumulty went on to explain that
37 the existing IH 30 ramps near the intersection of SH-205 will end up being reconfigured
38 such that drivers, for example going eastbound on IH-30, will be able to actually exit and
39 access John King instead of having to exit at SH-205 and proceed through the
40 intersection before driving east on the service road to John King. Also, going
41 westbound, drivers wanting to go westbound on IH-30 will be able to enter IH 30 prior to
42 SH 205 so that they don’t have to proceed through the IH 30/SH-205 intersection in order
43 to enter onto IH-30. These changes will hopefully help alleviate some of the congestion
44 at this existing intersection.
45

46 Regarding the SH-66 interim project, the project limits will be from the Rockwall County
47 Line to the intersection of John King. The asphalt will be stripped and a new surface put
48 down. In addition, turn lanes will be added at the John King intersection and the FM-
49 3549 intersection. March 2016 is the target timeframe for bidding the project. Regarding

the alignment of the permanent project, it will be a four-lane divided roadway from SH 205 to John King, and then it would be a six-lane concrete, divided roadway for the remainder of the project. It is estimated to cost \$96 million, and there is no funding and no estimated timeframe for construction at this time.

Regarding FM-549 Rehab Project from SH-276 to SH-205, TXDOT is estimated to bid the project around June of this year. The pavement surface will be removed and shoulders will be added, followed by a new surface overlay. Also, this project will include improvements along FM-1139 from FM 549 back to the east and connecting into FM-550. Left turn lanes will be added along SH 205 at both connections to FM 549 in order to help alleviate traffic congestion along SH 205 and increase traffic flow.

Regarding FM-549 from SH-276 to SH-205, TXDOT is looking to widen it from a two-lane asphalt to a six-lane divided concrete roadway. However, they are currently studying the traffic counts to see if it really does need to be six lanes, or if four lanes would suffice.

Another project that is in process is adding a westbound on-ramp to IH-30 between Ridge Road and FM-740/Horizon. Staff has selected an engineer and is going through negotiations right now. This project was previously approved by voters, and it is a badly needed project. It is expected that this project would take about nine months to complete after construction starts.

Regarding SH-205 from US 78 in Lavon all the way down to US 80 in Terrell, TXDOT is scheduled to have a kick-off meeting on April 14th with the affected communities. The City of Rockwall is concerned about the area of the road that approaches the downtown area.

City Manager Rick Crowley provided a history of when and for what purpose John King Boulevard was constructed. It was anticipated that it would be a future re-route for SH-205. However, Mr. Crowley explained, after John King was designed, TXDOT's standards for roadways drastically changed, so the design of John King does not meet TXDOT's design standards for having traffic routed onto it off of SH-205. He then went on to explain the potential pros and cons of having John King be a re-route for SH-205. He indicated that this possibility might be something the city could bring up to and explore with the engineering consulting firm, Halff Associates, who will be evaluating the SH-205 project. Indication was given that the North Central TX Council of Governments (NCTCOG) is currently studying this area to see if four or six lanes will be needed on SH-205 just north of downtown. Mayor Pruitt indicated that John King Boulevard was built and was always intended to serve as a bypass for SH-205. If it were to become the route for SH-205, then the existing portion of SH-205 that runs through the downtown area would be turned over to the city and would be maintained and managed by the city. Mayor Pruitt asked if the city council members would like staff to pursue encouraging TXDOT to consider John King as a bypass route for SH-205. General consensus was given to staff by city council members that the city council would like staff to pursue encouraging TXDOT to route traffic off of SH-205 onto John King Boulevard.

Mr. Tumulty provided an update on the last project - FM-3097 to FM-740 to Tubbs Road. This project is a TXDOT project where it will be widened from a two-lane asphalt to a four-lane, divided roadway. It was bid back in September of 2014. The city participated in the cost of this project in an amount of \$900,000. The state anticipates beginning

construction in June, and it will be a three phase project that will take about two years to complete.

Mr. Tumulty next briefed the city council on the status of Rochelle Road, which is partially abutting the city limits of Rockwall and partially abutting the City of Fate jurisdiction in between IH-30 and SH-276. He explained that the city's portion of the roadway is gravel, and the City of Fate's portion is asphalt. It was clarified that no city development, including no commercial, retail or residential homes, are currently located along this roadway. A portion of the roadway is located in a 100 year floodplain zone. So, depending on how heavy rainfall may be, at times the roadway may need to be shut down periodically due to flooding and associated safety concerns. If Rochelle Road were to be entirely re-done/re-built, it would likely cost about \$7 million for the City of Rockwall and just over \$4 million for the City of Fate's portion.

Mr. Tumulty next discussed a drainage / erosion problem that was brought to the city's attention by a homeowner who lives adjacent to the project, Mr. Bob Carroll. He explained that the problem is located downstream at Emerald Bay where the creek makes a sharp turn. He shared that rough estimates indicate it would cost the city about \$195,000 to build a wall to try and mitigate the drainage / erosion problem that is slowly migrating towards Mr. Carroll's and his neighbor's homes. Should the council choose to move forward with making this repair, the money to do so could be taken out of reserve funds, or it could be considered for inclusion in the future fiscal year's budget. Mr. Crowley indicated that staff will reevaluate the engineering and firm up the costs a little more before bringing a proposal and associated options back to the city council for consideration at a future meeting.

Mayor Pruitt then read the below listed discussion items into the public record before recessing the meeting into Executive Session.

III. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding appointments to city's regulatory boards, including the Board of Adjustments, pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding Economic Development incentives, procedures and possible projects pursuant to Section 551.087 (Economic Development)
3. Discussion regarding proposed development and possible vesting issues under Chapter 245 Local Government Code pursuant to Section 551.071 (Consultation with Attorney).
4. Discussion regarding City Manager performance evaluation pursuant to Section 551.074 (Personnel Matters).

IV. ADJOURN EXECUTIVE SESSION

Executive Session was adjourned at 5:53 p.m.

V. RECONVENE PUBLIC MEETING

149 Mayor Pruitt reconvened the public meeting at 6:00 p.m. with all council members
150 present except for Mike Townsend, who was absent.

151
152 **VI. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION**

153
154 No action was taken as a result of Executive Session at this time.

155
156 **VII. INVOCATION AND PLEDGE OF ALLEGIANCE – MAYOR JIM PRUITT**

157
158 Mayor Pruitt delivered the invocation and led the Pledge of Allegiance.

159
160 **VIII. PROCLAMATIONS / AWARDS**

- 161
162 1. Austin Cory Eagle Scout Recognition
163 2. Bryce Fuller Eagle Scout Recognition
164 3. Caleb Bailey Davis Eagle Scout Recognition
165

166 Mayor Pruitt called each Boy Scout forward and read and presented each one with an
167 honorary proclamation to commemorate their achieving Eagle Scout rank.

168
169 **IX. OPEN FORUM**

170
171 Mayor Pruitt explained how Open Forum is conducted and asked if anyone in the
172 audience would like to come forth and speak during this time.

173
174 Michael Kropp
175 1950 Creekside Drive
176 Rockwall, Texas
177

178 Mr. Kropp indicated that he has lived in Rockwall for ten years. Prior to this year, he led
179 a 9U/7U baseball league of teams that played in Rowlett, but he moved both of his teams
180 to Rockwall when the City of Rockwall took over and began a baseball league. He
181 generally expressed disappointment his teams and other similar teams not playing. He
182 indicated that his two teams began playing in February, and they have only played two
183 games. While he understands that it has rained a lot lately, he is disappointed that his
184 teams are not playing and the eight fields are not being better maintained. He
185 encouraged the city to buy land and build additional playing fields and to consider
186 planning for the future.

187
188 Al Crump
189 2295 Falls View Drive
190 Rockwall, Texas
191

192 Mr. Crump expressed that he is a resident of Rockwall and has lived her for over twenty-
193 five years. He is a large 'fan' of Rockwall; however, he approached the city about a year
194 ago about a broken median near the intersection of Ridge Road and North Goliad that the
195 state finally fixed just recently. He had also previously expressed concern about winter
196 sand being left on the roadway's curb areas after the season. He believes it is an
197 eyesore and problematic for storm drains. He believes street sweeping is a good idea
198 and would be met with positive feedback from citizens. He mentioned he used to be in
199 the street sweeping business. In addition, he would like the city to entice more medium

and small sized businesses to come to Rockwall. He has heard stories about some businesses trying to come to Rockwall, but they could not get approved for the incentives they were asking for, so were subsequently turned down. He expressed that he would like to be more involved with economic development in the city. He is overall concerned is the overall appearance of the city, expressing he does not feel it is as clean as it used to be.

Mike Marler
P.O. Box 449
Peyton, CO 80831

Mr. Marler indicated that his permanent residence is in Colorado; however, he is often in Texas and the Rockwall area for work. Mr. Marler commented that he used to work in insurance in Colorado Springs for many years. He indicated that, even if there is no requirement to carry liability insurance on a golf cart, it would not relieve the operator from responsibility if bodily injury occurred.

He went on to explain that his 2006 Ford Super Duty truck was stolen from the Value Place Inn back in January in Rockwall, and it was recovered some time later near Greenville. Last week, someone again attempted to steal his truck by popping a device into the keyhole. He indicated that after it was stolen in January, he purchased an anti-theft device on the ignition, so, as a result, the person who tried to steal it this time was unable to do so because they could not start the engine. He explained that he has a lot of frustration with this because Texas is the number two state in the U.S. for stolen vehicles. He indicated that for a city to ignore problems associated with vehicle theft is to perpetuate the 'border problem.' He suggested that Rockwall consider placing bait vehicles around the city that are equipped with electrical and fuel shut-off capabilities in order to send the message to thieves – "don't steal a vehicle in Rockwall."

X. CONSENT AGENDA

1. Consider approval of the minutes from the March 16, 2015 regular city council meeting, and take any action necessary.
2. **Z2015-007** - Consider approval of an **ordinance** for a request by Kevin Carr of GearHeads Hot Rod Garage for the approval of a Specific Use Permit (SUP) to allow truck rental in conjunction with an existing minor automotive repair garage on a two (2) acre tract of land identified as Tract 23-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 3920 E. IH-30, and take any action necessary. **(2nd reading)**
3. **Z2015-008** - Consider approval of an **ordinance** for a request by Herman Douglas Utley for a zoning change from an Agricultural (AG) District to a Single Family Estate 2.0 (SFE-2.0) District for a 4.502-acre tract of land identified as Tract 1 of the S. R. Barnes Survey, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass (SH-205 BY OV) District, addressed as 1815 E. Quail Road, and take any action necessary. **(2nd reading)**

- Councilmember White made a motion to approve the Consent Agenda (#s 1, 2, 3, 4, 5, 6 and 7). Councilmember Daniels seconded the motion. The ordinances were read as follows:**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A TRUCK RENTAL FACILITY IN CONJUNCTION WITH AN EXISTING MINOR AUTOMOTIVE REPAIR GARAGE, BEING A 2.0-ACRE TRACT OF LAND, ZONED LIGHT INDUSTRIAL (LI) DISTRICT AND IDENTIFIED AS TRACT 23-01 OF THE R. IRVING SURVEY, ABSTRACT NO. 120, AND LOCATED AT 3920 E IH-30, , CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED

299 SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A CHANGE IN
300 ZONING FROM AN AGRICULTURE (AG) DISTRICT TO A SINGLE-FAMILY
301 ESTATE 2.0 (SFE-2.0) DISTRICT FOR A 4.502-ACRE TRACT OF LAND
302 IDENTIFIED AS TRACT 1 OF THE S. R. BARNES SURVEY, ABSTRACT NO.
303 13, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE
304 SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE;
305 PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY
306 OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS
307 (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY
308 CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN
309 EFFECTIVE DATE.

310
311 CITY OF ROCKWALL
312 ORDINANCE NO. 15-12
313 SPECIFIC USE PERMIT NO. S-136
314

315 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL,
316 TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE
317 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY
318 AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW
319 FOR A DETACHED GARAGE THAT DOES NOT CONFORM TO THE
320 REQUIREMENTS AS STIPULATED BY SECTION 2.1.2, RESIDENTIAL AND
321 LODGING USE CONDITIONS, OF ARTICLE IV, PERMISSIBLE USES,
322 BEING A 4.05-ACRE PARCEL OF LAND, ZONED SINGLE-FAMILY
323 RESIDENTIAL (SF-10) DISTRICT, AND IDENTIFIED AS LOT 1, BLOCK 1,
324 BLASÉ ADDITION, AND LOCATED AT 1220 EAST FORK DRIVE, CITY OF
325 ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY
326 DEPICTED IN EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS;
327 PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF
328 TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE;
329 PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A
330 REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.
331

332 The motion passed by a vote of 6 in favor with 1 absent (Townsend).

333
334 XI. APPOINTMENTS
335

- 336 1. Appointment with the Planning and Zoning Chairman to discuss and
337 answer any questions regarding cases on the agenda and related issues
338 and take any action necessary.

339
340 Mr. LaCroix indicated that neither the Chairman nor the Vice Chairman of the Planning &
341 Zoning Commission was able to attend the meeting this evening. Therefore, this item
342 was not discussed, and no action was taken as a result of this item.
343

- 344 2. Appointment with representatives of the Stone Creek subdivision for
345 discussion regarding golf carts, and take any action necessary.

346 Mr. James Smith
347 609 Amherst Drive
348 Rockwall, TX 75087
349

Mr. Smith came forth and indicated that he lives in the Stone Creek subdivision, and he has some concerns about the use of golf carts within his neighborhood. After doing extensive research of state and local laws, he has come to understand that state law allows for golf carts to be utilized within his neighborhood, and he was unable to find any location regulations. He explained that a lady living in his neighborhood would like to purchase and begin using a golf cart, but she does not want to do so only to find out that perhaps she is not legally able to do so. Furthermore, he is concerned about someone who is driving a golf cart getting run over by those driving vehicles. He would like to appeal to the city to add additional regulations that would make golf cart use safer in neighborhoods.

City Attorney Frank Garza indicated that the City of Rockwall can develop local ordinance regulations to regulate golf carts on city streets, including prohibiting them on major roadways. It would be up to the city council to decide to what extent they would like to regulate the use of golf carts and how specific they would like the regulations to be.

Brief discussion took place between Councilmember Daniels and Police Chief Mark Moeller concerning 'street legal' neighborhood electric vehicles.

Councilmember Milder expressed that he is in favor of at least placing an age restriction on operation of golf carts (that you have to have a valid driver's license).

Mr. Smith went on to share information that he came across in an Attorney General's Opinion - GA0966, dated September of 2012 – that speaks to use of golf carts within "master planned communities" and the state law which seems to allow for their use in 'master planned communities.'

Mary Carter
661 York Drive
(Buffalo Creek subdivision)

Mrs. Carter came forth and indicated that she has lived in the Rockwall area since the early 1980's. She is aware of former Heath mayor, John Ratcliffe, getting an ordinance passed that calls for a golf cart driver to be a licensed driver in order to drive one. She encouraged the Rockwall city council to pass an ordinance placing specific and descriptive restrictions on golf cart use in subdivisions (i.e. one has to be a licensed driver and they are not allowed on sidewalks).

Mrs. Shirley Smith
609 Amherst Drive
Rockwall, TX 75087

Mrs. Smith suggested that all of the various regulations concerning the use of golf carts need to be made available to the public online in one location. She believes in having age restrictions that would disallow anyone under 18 years of age to operate golf carts. She also encouraged them to place a "slow moving vehicle" placard on the back of them as well as a six foot tall 'pole' with a neon flag to make them more visible.

Mr. Kevin Fowler
7115 Hunt Lane

401 Rockwall, TX

402
403 Mr. Fowler suggested that the city council may want to look into the golf cart policy
404 currently in place within the Chandlers Landing subdivision, as he believes a lot of work
405 went into its development, and it is a pretty sound policy.

406
407 Thomas Campion
408 108 Chaphill Drive
409 Rockwall, TX
410 (in Stone Creek subdivision)

411
412 Mr. Campion came forth and encouraged the city to initiate additional regulations and
413 clarify for citizens what will and will not be allowed as far as golf carts and their
414 operation are concerned. He encouraged the city to perhaps allow the vehicles within a
415 neighborhood like Stone Creek but not on a major street. He is in favor of an age
416 restriction. He feels the state regulations are ambiguous.

417
418 Mayor Pro Tem Lewis mentioned that he did make copies of the Chandler's Landing golf
419 cart policy available to city council members for review. He believes it is mostly good;
420 however, he disagrees with the age restriction of that particular policy being only
421 fourteen (14) years old – he believes it should be higher.

422
423 Mayor Pruitt made a motion to instruct the city attorney to draft a model ordinance that
424 has several different options for the city council to review and then have staff go and
425 actually talk to residents to get their input before any passage / implementation of such
426 regulations. Mayor Pro Tem Lewis seconded the motion.

427
428 Mr. Garza indicated that he believes the city could draft an ordinance to require that a
429 golf cart driver have a valid driver's license; however, he does not believe the city could
430 restrict it to only drivers 18 years or older. In addition, a golf cart being utilized on a
431 public street is required to carry liability insurance.

432
433 Councilmember White asked staff to also research if liability insurance would be required
434 for neighborhood electric vehicles and/or golf carts. Mr. Garza indicated that state law
435 does require liability insurance; however, there are exceptions to this insurance
436 requirement (being that it's being operated in a master planned community, is two miles
437 from a golf course or on a golf course, on a public beach, etc.). Mr. Garza clarified that
438 the HOA of a master planned community can place restrictions on golf cart usage if they
439 so choose.

440
441 Mr. Garza explained that the city cannot restrict golf cart usage within two miles of a golf
442 course going to and from a golf course, or they are in a master planned community. The
443 city could, however, restrict their use elsewhere in the city. The city could place an age
444 restriction in a master planned community, or elsewhere, regarding operation of golf
445 carts. It was clarified that, according to the Texas Attorney General's opinion, a golf cart
446 user does not have to carry liability insurance if they are operating it in a master planned
447 community.

448
449 After lengthy discussion, the motion on the floor passed by a vote of 6 in favor with 1
450 absent (Townsend).

Mayor Pruitt then announced that he will be reopening “Open Forum” because there is a citizen who missed this opportunity earlier in the meeting but would like to come forth and speak.

XII. PUBLIC HEARING ITEMS

1. **Z2015-003** - Hold a public hearing to discuss and consider approval of an ordinance for a request by Cole Franklin of the Skorburg Company on behalf of the owner Larry Hance for a zoning change from an Agricultural (AG) District to a Planned Development District for Single Family 7 (SF-7) and General Retail (GR) District land uses for a 44.56-acre tract of land identified as Tract 3 of the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located at the northwest corner of FM-552 and John King Boulevard, and take any action necessary. (1st reading) ***[The applicant has requested and been approved by the Planning and Zoning Commission to withdraw this case]***

Mayor Pruitt announced that the applicant has requested that this item be withdrawn. As a result, no discussion took place, and no action was taken.

2. **Z2015-010** - Hold a public hearing to discuss and consider approval of an ordinance for a request by Noah Flabiano of the Skorburg Company for a zoning change from Planned Development District 70 (PD-70) for limited commercial/retail land uses to a Planned Development District for townhomes on a 10.142-acre tract of land being identified as a portion of a larger 164.812-acre tract of land identified as Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70), situated within the North SH-205 Overlay (N-SH205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [N. SH-205], and take any action necessary. (1st reading) ***[Requested postponement to the May 4, 2015 City Council Meeting]***

Mayor Pruitt announced that the applicant has requested that this item be postponed. Mr. LaCroix explained that this case will be on the Planning & Zoning Commission meeting agenda for April 28. It was indicated that postponement of this item was previously requested as well, so, this is the last possible postponement of the case. That being said, the council did not discuss this item further, and no action was taken at this time.

3. **Z2015-011** - Hold a public hearing to discuss and consider approval of an ordinance for a City initiated zoning request for the approval of a text amendment to Article IX, Tree Preservation, Section 11.1, Tree fund administration, of the Unified Development Code [Ordinance No. 04-38] for the purpose of modifying this section of the code, and take any action necessary. (1st reading)

Planning Director, Robert LaCroix, provided brief background information related to this agenda item. He indicated that the Planning & Zoning Commission has recommended approval of this change within the Unified Development Code. He generally explained that this change is associated with installing and sustaining landscaping that is donated

to the city by developers through the city's tree mitigation ordinance. It will allow for additional, perineal vegetation to be planted, in addition to trees. Furthermore, it will allow for labor to plant trees and vegetation as well as equipment and irrigation needed to plant and sustain the trees / vegetation.

Mayor Pruitt opened the public hearing and asked if anyone would like to come forth and speak during this time. There being no one indicating such, Mayor Pruitt then closed the public hearing.

Mayor Pruitt briefly shared some concerns that he heard expressed at the Planning and Zoning Commission meeting, mainly related to the use of funds collected (using funds for labor to plant trees, equipment to plant trees, etc. and a concern related to the various percentages that may be allocated to purchase trees, plant trees, for equipment, etc.). After brief comments, Councilmember White made a motion to approve the ordinance for Z2015-011. Mayor Pro Tem Lewis seconded the motion. The ordinance was read as follows:

CITY OF ROCKWALL
ORDINANCE NO. 15-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 11.1 OF ARTICLE IX, *TREE PRESERVATION*; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 6 ayes with 1 absent (Townsend).

XIII. ACTION ITEMS

1. Discuss and consider approval of a resolution related to the authority of private toll road corporations, and take any action necessary.

Assistant City Manager Brad Griggs provided brief background information related to this agenda item, indicating that Councilmember Daniels asked staff to look into this topic and place it on the city council for discussion and consideration.

After brief discussion, Councilmember Daniels made a motion to approve a resolution (shown on pg. 116 of the council packet), which supports all three proposed bills currently in the legislature. Councilmember White seconded the motion, which passed by a vote of 5 in favor, 1 against (Hohenshelt), and 1 absent (Townsend).

2. Discuss and consider a recommendation from the City Council's Hotel Tax Subcommittee regarding funding request from the Rockwall County Historical Foundation, and take any action necessary.

The Rockwall Historical Foundation would like to do some work to paint their property (historic house). They have requested money to help pay the paint contractor, as they have received the actual paint for free. The council subcommittee met and reviewed the request and has made a recommendation that the council consider approving their

request. Mayor Pruitt made a motion to approve the funding request in the amount of \$1,500. Councilmember White seconded the motion, which passed by a vote of 6 in favor with 1 absent (Townsend).

XIV. CITY MANAGER'S REPORT TO DISCUSS CURRENT CITY ACTIVITIES, UPCOMING MEETINGS, FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.

1. Departmental Reports
 - Building Inspections Monthly Report - February 2015
 - Fire Department Monthly Reports - February 2015
 - Harbor PD Monthly Report - February 2015
 - Internal Operations Department Monthly Report - February 2015
 - Police Department Monthly Report - February 2015
 - Recreation Monthly Report - February 2015
 - Rockwall Animal Adoption Center Monthly Report - February 2015
 - Rockwall County Meals on Wheels Senior Services Quarterly Report

2. City Manager's Report

Staff's implementation of additional volunteer opportunities is underway. Staff will be coming before the council at a future date to discuss and determine how representatives for neighborhoods that do not have HOAs will be chosen for him (the city manager) to meet with on a semi-annual basis. Programing has been secured and the city has been advertising holding live music from May through September on Friday and Saturday nights on San Jacinto Plaza. The Phelps Lake ribbon cutting has been rescheduled for Saturday, April 18 at 10:30 a.m. The Parks Department has submitted the grant application for the Breezy Hill neighborhood park. Lake levels of lakes that serve the City of Rockwall through the North Texas Municipal Water District have notably improved. Citizens of Rockwall will stay on a once every two week watering scheduled for the time being. The city's Household Hazardous Waste Day is scheduled for April 18th from 9AM to 3PM at the Service Center on Airport Road. Brief discussion took place related to a few fire calls in the Fire Department report which were shown as 'no incident found upon arrival at dispatch address.' No action took place related to this agenda item.

XV. EXECUTIVE SESSION

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTERS AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding appointments to city's regulatory boards, including the Board of Adjustments, pursuant to Section 551.074 (Personnel Matters)
2. Discussion regarding Economic Development incentives, procedures and possible projects pursuant to Section 551.087 (Economic Development)
3. Discussion regarding proposed development and possible vesting issues under Chapter 245 Local Government Code pursuant to Section 551.071 (Consultation with Attorney).

599 4. Discussion regarding City Manager performance evaluation pursuant to
600 Section 551.074 (Personnel Matters).

601 **XVI. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION**

602
603 Mayor Pruitt reconvened the public meeting at 7:48 p.m. with all council members, except
604 Mike Townsend (absent), being present.

605
606 Mayor Pro Tem Lewis made a motion to amend the City manager's contract per
607 Executive Session discussion and bring the contract back before the city council for
608 approval. Councilmember Milder seconded the motion. The motion passed by a vote of
609 6 in favor with 1 absent (Townsend).

610
611 Mayor Pro Tem Lewis made motion to appoint Allan Dennard to serve on the Board of
612 Adjustments and Peter Flores to serve as an Alternate Member on the Board of
613 Adjustments. Councilmember White seconded the motion, which passed by a vote of 6
614 in favor with 1 absent (Townsend).

615
616 **XVII. ADJOURNMENT**

617
618 The meeting was adjourned at 7:49 p.m.

619
620
621 **PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,**
622 **THIS 20th DAY OF APRIL, 2015.**

623

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ATTEST:

Jim Pruitt, Mayor

Kristy Ashberry, City Secretary

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City of Rockwall
The New Horizon

TO: Rick Crowley

CC: Tim Tumulty, Public Works Director / City Engineer
Mary Smith, Assistant City Manager / Finance Director

FROM: Rick Sherer, Water/Wastewater Manager

DATE: April 10, 2015

SUBJECT: Sewer line repair

On January 3, 2015, the City's sewer department received a call from dispatch that a resident at the address of 1941 Random Oaks had a sewer stoppage. After the City's crew arrived and assessed the issue, it was determined, the City main was plugged with rocks. The rocks appeared to be the type used in concrete. In order to identify where and how the rocks entered the sewer system and eliminate the possibility of future problems, the City contacted Acme Utility. Acme Utility is an independent contractor that conducts television inspections of sewer lines. The video footage revealed that the damage to the line was the result of a contractor repairing a subdivision wall surrounding the Random Oaks Subdivision. At some point during construction, the contractor bored into the City sewer line. The bored hole was for a concrete pier to support the subdivision wall. The hole allowed concrete to enter into the sewer system.

With the pier and footing located over the pipe, a conventional repair is not an option. In order to make the necessary repair, the pipe repair must be done from inside the pipe. The proposed method of repair is cured-in-place-pipe lining (CIPP). CIPP lining is one of the several pipe rehabilitation methods available in trenchless technologies. CIPP is a preferred method of rehabilitating cracked, broken and failed sanitary sewer pipes.

The lining used in CIPP is a resin-saturated felt tube made of polyester with an exterior polyurethane coating. In this instance, the liner will be inserted from manhole to manhole. Once in place, the liner is inflated by air pressure to press the material against the existing pipe walls. When fully inflated, steam is circulated in the liner to start the curing process of the resin. CIPP liners are designed to be independently structurally stable, not relying on the host pipe for any structural strength.

The proposed repair is 110-feet of liner for an 8-inch pipe. The liner will be pulled from one manhole to another, which would not require any excavation. Attached to this memo are two proposals received by the City and pictures of the damaged pipe videoed by Acme Utilities.

The bids results are as follows:

Insituform Technologies LLC	\$16,570.00
-----------------------------	-------------

IPR South Central, LLC.	\$26,750.00
-------------------------	-------------

The needed repair was not budgeted this year. Staff is asking Council to consider authorizing the City Manager to execute a contract with the low bidder, Insituform Technologies, LLC. And to amend the budget to allow an appropriation of \$20,000 that would also allow a small contingency.

Hole created in top of pipe from pier



View of concrete rock in pipe past hole



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City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley, City Manager
FROM: Mary Smith, Assistant City Manager
DATE: April 15, 2015
SUBJECT: Procedure for expenditures from Tree Fund

Council is considering an ordinance amendment that will allow developer funds, required as a part of the Tree Preservation section of the Unified Development Code, to be used for expenses other than the purchase of the trees themselves. The ordinance in its current form does not allow the funds to be used for tree planting, other plant materials, irrigation systems for the trees or equipment needed to plant or transplant trees such as an auger.

The process to manage the expenditures is proposed in this way:

The department will request appropriation of funds each budget year in an amount sufficiently large enough to cover the expense of purchasing and planting trees and other plant materials with a contingency allowed since we can't tell how many will be planted each year.

The department will request appropriation of funds each budget year for equipment needed to accomplish the tree plantings. This equipment will be described in sufficient detail as other larger purchases are done in the budget.

The department will request an appropriation of funds each year to cover irrigation materials for the planted trees.

The offset to approved budget appropriations would be a transfer from the Special Escrow "Tree Fund" account to the General Fund as revenue.

In this way, the City Manager will propose the expenditure of funds and Council will be asked to consider approval through the budget process.

CITY OF ROCKWALL

ORDINANCE NO. 15-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 11.1 OF ARTICLE IX, *TREE PRESERVATION*; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 04-38*] has been initiated by the City Council of the City of Rockwall to amend Section 11.1, *Tree Fund Administration*, of Section 11, *Tree Fund*, of Article IX, *Tree Preservation*, of the Unified Development Code [*Ordinance No. 04-38*]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That Section 11.1, *Tree Fund Administration*, of Section 11, *Tree Fund*, of Article IX, *Tree Preservation*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibits 'A'* of this ordinance.

Section 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 4. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 20TH DAY OF APRIL, 2015.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Ashberry, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 6, 2015

2nd Reading: April 20, 2015

Exhibit 'A'
*Article IX, Tree Preservation, of the
Unified Development Code*

Article IX, Tree Preservation, of the Unified Development Code

Section 11. Tree Fund

Section 11.1. Tree Fund Administration.

The city shall administer the tree fund. The funds shall be used to purchase, plant **material as permitted by this ordinance, install (including the equipment or labor necessary to install the plant materials)** and maintain trees on public property **including the necessary irrigation equipment utilizing either city staff or contract labor**, to acquire wooded property that remains in a naturalistic state in perpetuity, to perform and maintain a city wide tree inventory and to educate citizens and developers on the benefits and value of trees. The city council shall have the ability to adopt alternative methods of creating tree credits and methods of distribution of trees and/or funds for purchasing trees.

Funds collected as a result of the mitigation of trees may be used to purchase trees, both deciduous and coniferous, any woody type plant or any perennial appropriate for the climatic conditions of the north Texas region.

(Ord. No. 09-23, 6-15-2009)

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CITY OF ROCKWALL

CITY COUNCIL MEMO

AGENDA DATE: 4/20/2015

APPLICANT: Chase Finch, *Corwin Engineering, Inc.*

AGENDA ITEM: P2015-012; *Breezy Hill, Phases V*

SUMMARY:

Discuss and consider a request by Warren Corwin of Corwin Engineering on behalf of Ryan Joyce of the Skorburg Company (BH Phase V 80' POD, SF, LTD) for the approval of a preliminary plat for 79 single family residential lots, identified as Phase V of the Breezy Hill Subdivision, being a 25.597-acre tract of land situated within the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, situated on the west side of Breezy Hill Road north of the intersection Breezy Hill Road and FM-552, and take any action necessary.

PRELIMINARY PLAT INFORMATION:

- ☒ The Breezy Hill Subdivision is a master planned community that will provide approximately 405-acres of residential and commercial development. The residential subdivision will be composed of 742 single-family lots on 371.45-acres of land, and be broken down per the lot mix indicated in Planned Development District 74 (PD-74). The lot mix in this Planned Development District is as follows:

<i>Lot Types</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D</i>
Typical Lot Frontage (<i>Feet</i>)	60	70	80	100
Typical Lot Depth (<i>Feet</i>)	120	120	125	200
Minimum Lot Size (<i>Sq. Ft.</i>)	7,200	8,400	10,000	20,000
Number of Proposed Units	206	112	326	98
Dwelling Unit %	27.80%	15.10%	43.90%	13.20%

- ☒ The purpose of the applicant's submittal is to preliminary plat Phase V of the Breezy Hill Subdivision and layout 79 of the 742 single-family lots. The 79 proposed lots will be constructed to the *Type 'C'* standard (*all standards are displayed in the above table*) and be situated on approximately 25.597-acres adjacent to Breezy Hill Road. In addition to the Preliminary Plat the applicant has also submitted a preliminary water, sanitary sewer and storm water plans establishing that the developer can provide adequate utilities to service the proposed phase.
- ☒ The proposed Preliminary Plat conforms to the revised concept plan approved by the City Council on July 7, 2014 under Case No. Z2014-017 [*Ordinance No. 14-26*].
- ☒ On April 7, 2015 the Parks Board reviewed the proposed *Preliminary Plat* and made a recommendation to approve the plat with the following condition:
- 1) The developer shall be required to abandon the access easement that bisects the public park once sufficient emergency access has been provided to the Fire Department (*i.e. Phase V has been completed*).

- ☑ The Surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for *Preliminary Plats* as stated in the Subdivision Ordinance in the Municipal Code of Ordinances, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.

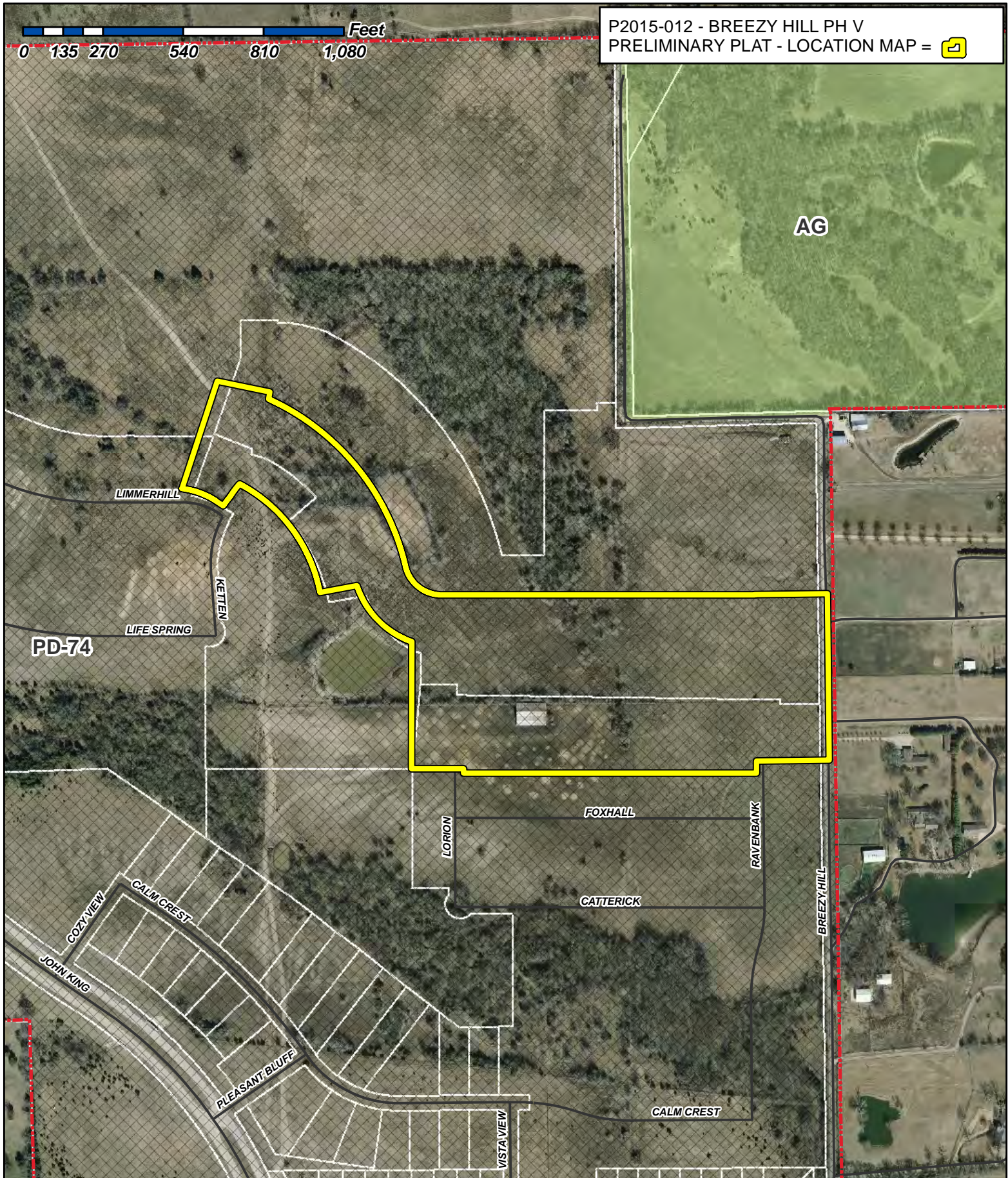
RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the *Preliminary Plat* for *Phase V* of the *Breezy Hill Subdivision* staff would recommend the following conditions of approval:

- 1) The *Preliminary Plat* shall conform to all requirements stipulated by the Planning, Engineering and Fire Departments;
- 2) A Treescape Plan for the entire phase shall be required to be submitted with the Final Plat;
- 3) The *Preliminary Plat* shall conform to the recommendation made by the Parks Board; and,
- 4) Any construction resulting from the approval of this *Preliminary Plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the 2009 International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On April 14, 2015, the Planning and Zoning Commission approved a motion to recommend approval of the proposed preliminary plat per staff's recommendations by a vote 7-0.



City of Rockwall

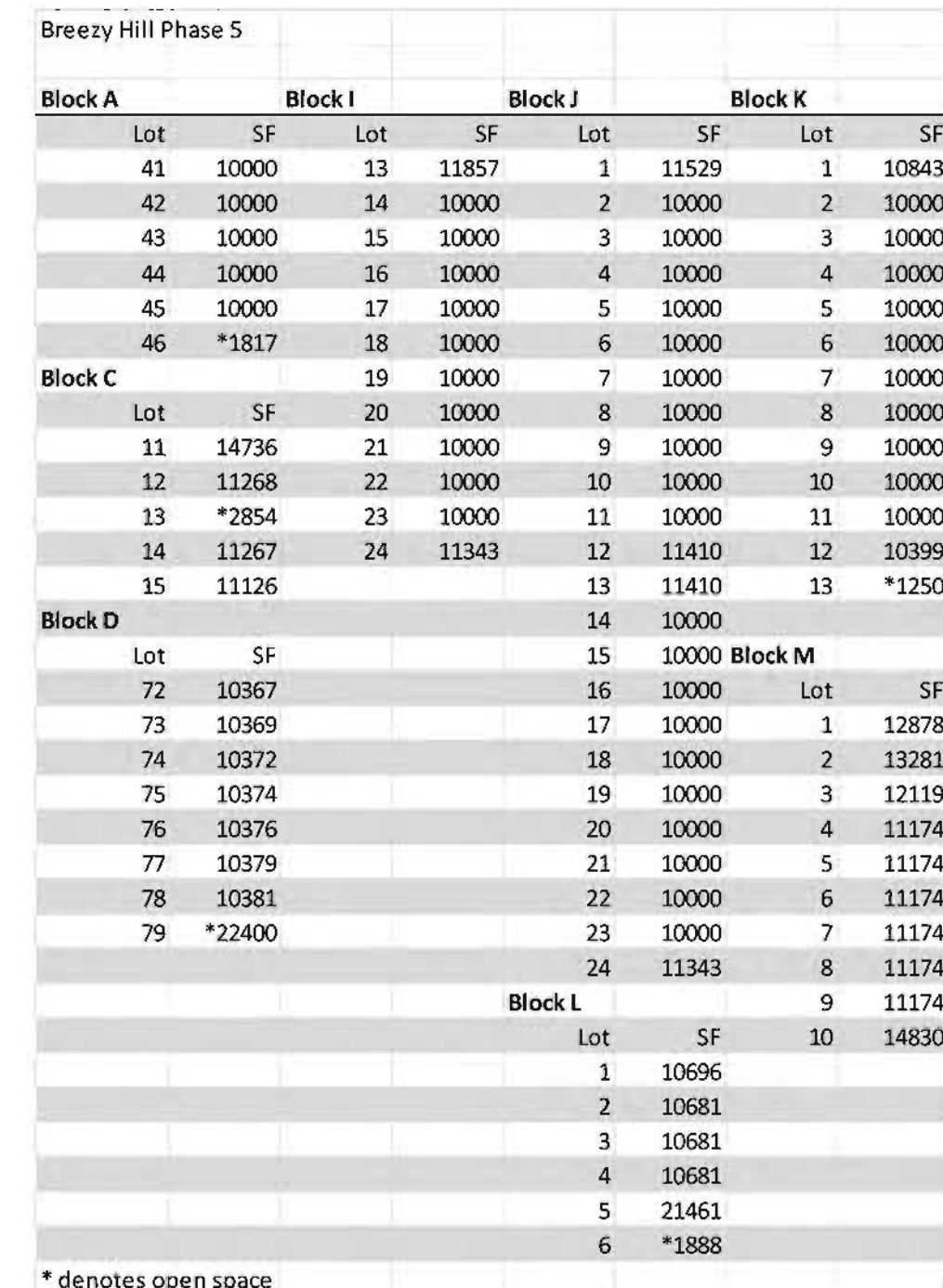
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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41

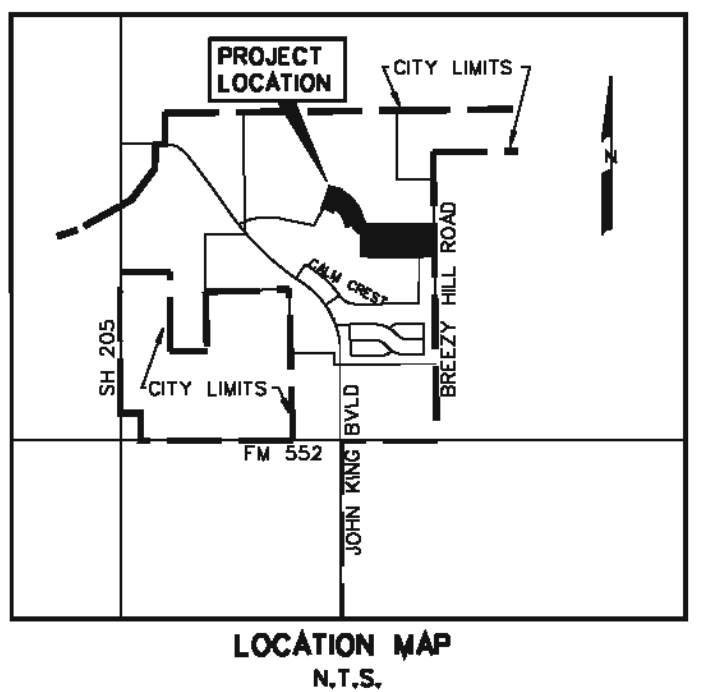
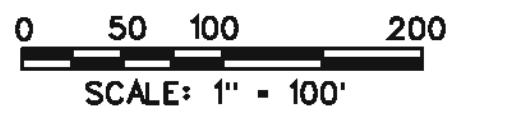
1:5,000

20' NORTH TEXAS MUNICIPAL WATER DISTRICT ESMT.
VOL. 812, PG. 23

Planning & Zoning Commission Chairman _____ Date _____

Mayor, City of Rockwall

Date



TRACT 2 (LOT 2)
DONALD E. BENNETT AND
WIFE, LINDA H. BENNETT
VOLUME 121, PAGE 997
D.R.R.C.T.

BENNIE R. CLARK AND
WIFE, JUDY A. CLARK
VOLUME 550, PAGE 256
D.R.R.C.T.

PRELIMINARY PLAT
OF

OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

OWNER
BH PHASE V 80's POD, SF, LTD.

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

TOTAL ACRES 25.597

TOTAL RESIDENTAL LOTS 79

MARCH 2015 SCALE 1" = 100'



<u>CURVE NO.</u>	<u>DELTA</u>	<u>RADIUS</u>	<u>LENGTH</u>	<u>TANGENT</u>	<u>CHORD</u>	<u>BEARING</u>
1.	08°29'51"	350.00'	51.91'	26.00'	51.86'	S37°32'17"W
2.	07°35'12"	300.00'	39.72'	19.89'	36.69'	S37°59'36"W

*MIN. 6 1/2 SACK MIX IF HAND PLACED

BREEZY HILL 405, LTD.
CLERKS FILE NO. 2007-00375392

20' NORTH TEXAS MUNICIPAL WATER DISTRICT ESMT.
VOL. 812, PG. 23

LOT 6 BLOCK L
MAINTAINED BY H.O.A.

LOT 6 BLOCK L
MAINTAINED BY H.O.A.

BREEZY HILL 405, LTD.
CLERKS FILE NO. 2007-00375392
FUTURE DEVELOPMENT

BREEZY HILL PHASE 4
(UNDER CONSTRUCTION)
41.321 ACRE TRACT
CLERKS FILE NO. 20130000500486

DOUGLAS D. MORRIS AND
WIFE, LYNDA J. MORRIS
VOLUME 99, PAGE 880
D.R.R.C.T.

TRACT 1 (LOT 1)
DONALD E. BENNETT AND
WIFE, LINDA H. BENNETT
VOLUME 121, PAGE 997
D.R.R.C.T.

TRACT 2 (LOT 2)
DONALD E. BENNETT AND
WIFE, LINDA H. BENNETT
VOLUME 121, PAGE 997
D.R.R.C.T.

JAMES L. KLEIN AND MARY F. KLEIN
VOLUME 2081, PAGE 133
D.R.R.C.T.

BENNIE R. CLARK AND
WIFE, JUDY A. CLARK
VOLUME 550, PAGE 256
D.R.R.C.T.

LEGEND

- PROP. WATER LINE
- PROP. FIRE HYDRANT AND VALVE
- PROP. GATE VALVE
- PROP. FLUSH VALVE
- EXIST. WATER LINE
- EXIST. FIRE HYDRANT AND VALVE
- PROP. SANITARY SEWER
- PROP. MANHOLE
- PROP. CLEANOUT
- EXIST. SANITARY SEWER
- EXIST. MANHOLE
- PROP. STORM SEWER
- PROP. CURB INLETS
- PROP. CONC. HEADWALL

PRELIMINARY
WATER & SEWER PLAN
OF

BREEZY HILL PHASE V

OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
BH PHASE V 80's POD, SF, LTD.

8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.

200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

MARCH 2015 SCALE 1" = 100'

BREEZY HILL 405, LTD.
CLERKS FILE NO. 2007-00375392

20' NORTH TEXAS MUNICIPAL WATER DISTRICT ESM.
VOL. 812, PG. 23

BREEZY HILL 405, LTD.
CLERKS FILE NO. 2007-00375392
FUTURE DEVELOPMENT

DOUGLAS D. MORRIS AND
WIFE, LYNDA J. MORRIS
VOLUME 99, PAGE 880
D.R.R.C.T.

BREEZY HILL PHASE 4
(UNDER CONSTRUCTION)
41.321 ACRE TRACT
CLERKS FILE NO. 20130000500488

TRACT 1 (LOT 1)
DONALD E. BENNETT AND
WIFE, LINDA H. BENNETT
VOLUME 121, PAGE 997
D.R.R.C.T.

TRACT 2 (LOT 2)
DONALD E. BENNETT AND
WIFE, LINDA H. BENNETT
VOLUME 121, PAGE 997
D.R.R.C.T.

JAMES L. KLEIN AND MARY F. KLEIN
VOLUME 2081, PAGE 133
D.R.R.C.T.

BENNIE R. CLARK AND
WIFE, JUDY A. CLARK
VOLUME 550, PAGE 256
D.R.R.C.T.

BREEZY HILL PHASE 3
(UNDER CONSTRUCTION)
48.252 ACRE TRACT
CLERKS FILE NO. 20130000498923

PRELIMINARY
DRAINAGE PLAN
OF

BREEZY HILL PHASE V

OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
BH PHASE V 80's POD, SF, LTD.

8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.

200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

MARCH 2015

SCALE: 1" = 100'

LEGEND

- PROP. STORM SEWER
- PROP. CURB INLETS
- PROP. CONC. HEADWALL

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CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Brad Griggs, Assistant City Manager

FROM: Andy Hesser, Parks and Recreation Manager

DATE: April 15, 2015

SUBJECT: OPEN SPACE RESOLUTION – THE PARK AT STONE CREEK

The City was officially awarded a \$400,000 matching grant from the Texas Parks and Wildlife Department (TPWD) in January of 2015 to develop a neighborhood park within Stone Creek. The application for the grant was approved by Council at the July of 2014 meeting.

One of the major components of the grant proposal was to preserve approximately 3.5 acres of natural open space and flood plain. As part of the TPWD requirements, a resolution is needed to officially commit that land to preservation in perpetuity.

The 11 acre neighborhood park was originally dedicated by the Skorburg Company along Featherstone Drive, adjacent to John King Blvd. The value of this land was used for the City's matching portion of the grant. The City also owns the parcel to the north of the park land. The 3.5 acres of natural open space to be preserved includes the flood plain and associated slopes within the City's parcel and includes the pond within the 11 acre neighborhood park land. The attached "EXHIBIT A" highlights the approximate boundaries of the preserved natural open space and flood plain.

MHS Planning and Design is currently in the preliminary design phase for the Park at Stone Creek. A public meeting will be held during a regularly scheduled Park Board meeting to review and comment on the proposed designs, prior to being presented to City Council for consideration. Construction and bidding documents would follow contingent on Council approval.

CITY OF ROCKWALL, TEXAS

RESOLUTION NO. 15-14

A RESOLUTION OF THE COMMISSIONER'S COURT OF ROCKWALL COUNTY, TEXAS, DEDICATING 3.5 OF ACRES OF WETLANDS/OPEN SPACE/PARKLAND ALONG THE CREEK/DRAINAGE WAY IN STONE CREEK AS DESCRIBED IN EXHIBIT A ATTACHED AS WETLANDS/OPEN SPACE FOR PERPETUITY, AS REQUIRED BY THE TEXAS PARKS AND WILDLIFE DEPARTMENT; APPROVE THE TERMS AND CONDITIONS OF THE AGREEMENT; AUTHORIZE ITS EXECUTION BY THE CITY MANAGER; REPEALING ALL RESOLUTIONS IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Rockwall City Council desires to provide quality park facilities for the residents of Rockwall; and

WHEREAS, the City of Rockwall has obtained a grant from the Texas Parks and Wildlife Department for the development of a neighborhood park and desires to comply with all of the requirements set forth in the grant.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS THAT;

SECTION 1. In order to fulfill the requirements of the Texas Parks and Wildlife Department's grant to the City of Rockwall, the City Council of Rockwall, Texas hereby designates 3.5 acres of parkland in Stone Creek as wetlands/open space.

SECTION 2. The Mayor of the City of Rockwall, along with the City Manager, are hereby authorized to execute the appropriate documents approving the terms and conditions of the agreement with the Texas Parks and Wildlife Department.

SECTION 3. Any prior Resolution of the City Council in conflict with the provisions contained in this Resolution are hereby repealed and revoked.

SECTION 4. Should any part of this Resolution be held to be invalid for any reason, the remainder shall not be affected thereby, and such remaining portions are hereby declared to be severable.

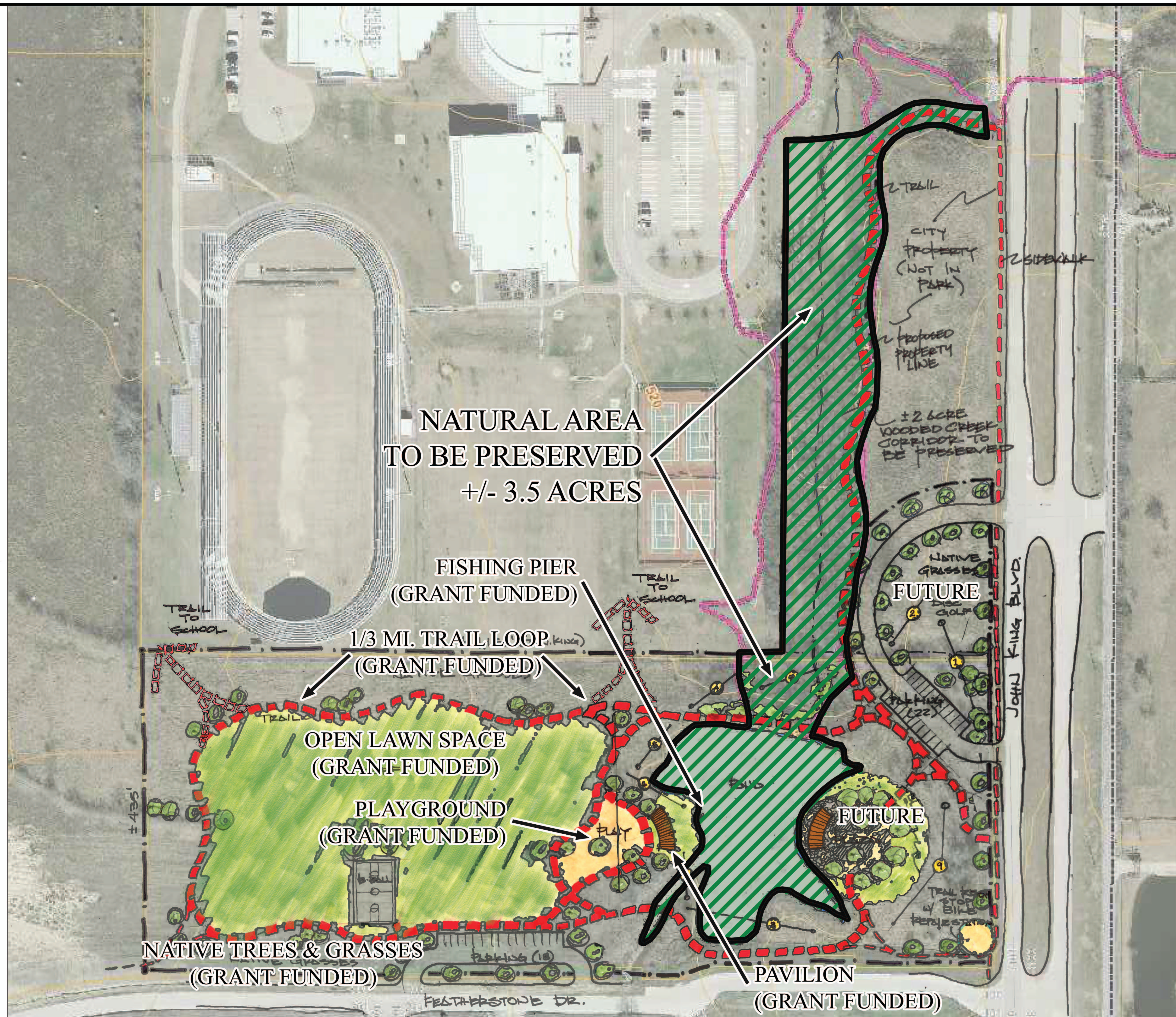
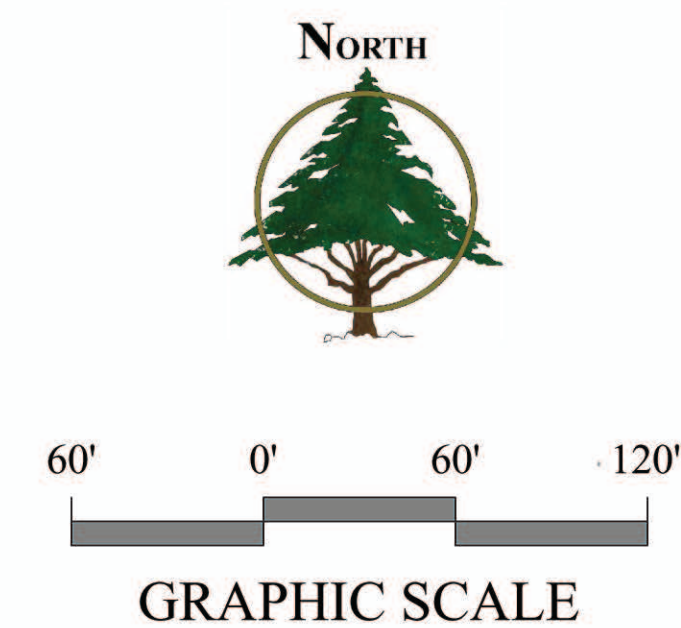
SECTION 5. This Resolution shall take effect immediately from and after its passage and it is so duly resolved.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 20th day of April, 2015.

ATTEST:

Jim Pruitt, Mayor

Kristy Ashberry, City Secretary



REVISIONS:	
212 West Ninth Street Tyler, Texas 75701 903-597-6606 903-597-0517 Fax	
MHS PLANNING & DESIGN, LLC	
EXHIBIT A 3.5 ACRES TO BE PRESERVED STONE CREEK PARK CITY OF ROCKWALL, TEXAS	
DRAWN:	HNR
CHECKED:	MHS
DATE:	JULY 2014
SCALE:	AS SHOWN
JOB NO.:	14-016
1	OF 1

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City of Rockwall
The New Horizon

MEMORANDUM

TO: Honorable Mayor and City Council Members
FROM: Kristy Ashberry, City Secretary
DATE: 04/17/2015
SUBJECT: Agenda item – verbal discussion (no documentation)

Please know that this agenda item has documentation that is a larger file and will be provided at the meeting and emailed separately.



City of Rockwall

MEMORIAL DAY CONCERT

A MUSICAL CELEBRATION IN MEMORY
OF THOSE WHO GAVE THE ULTIMATE
SACRIFICE ON THE ALTER OF
FREEDOM IN DEFENSE OF
THE REPUBLIC OF TEXAS &
THE UNITED STATES OF AMERICA

THE AMERICAN REVOLUTION
THE CIVIL WAR
WORLD WAR II
KOREAN WAR
WAR OF 1812

WAR FOR TEXAS INDEPENDENCE
WORLD WAR I
GLOBAL WAR ON TERRORISM
THE VIETNAM WAR
DESERT STORM



THE HARBOR AMPHITHEATER

SUN, MAY 24TH, 2015
7:00 PM

Memorial Day Celebration Objectives

- ❖ Recurring Civic Commemoration
 - Detailed Planning
- ❖ Honoring & Educating
- ❖ Concert
 - Patriotic Music
 - Featuring Local Musicians
 - Harbor Amphitheater

Planning Committee

Musicians

- Alan Clark – Director Rockwall Children's Chorus
- Mike McGill – Director Rockwall Community Band
- Chris Kosterman – Rockwall ISD Director of Arts

Military

- MG Gary Bunch, USA Ret
- LTC Tom Galli, USA Ret

Citizens

- Gary Freeman
- Terry Garrett

City Parks and Recreation Department

- Andy Hesser
- Andrew Ainsworth

The Program

Commemorate	Activity	Performer
United States of America	Colors	Rockwall PD Honor Guard
	National Anthem	Rockwall Community Band
	Opening Remarks	Mayor
Revolutionary War	Yankee Doodle & Battle of the Kegs Medley	Rockwall Children's Chorus
War of 1812	Proudly We Hail	Rockwall Community Band
Texas War of Independence	Yellow Rose of Texas	Rockwall Community Band
Civil War	Aura Lea	Rockwall HS Choir
Spanish American War	Washington Post March	Rockwall Community Band
World War I	God Bless America	Children's Chorus
World War II	I'll Be Seeing You	Ms. Shannon White
Vietnam War	Ballad of Green Beret	Rockwall HS Choir Ensemble
Honors to the Fallen	Medley of Armed Forces Hymns	Rockwall HS Orchestra, Choir & Community Band
USA – God of Our Fathers USN & USMC – Eternal Father, Strong to Save USCG – Eternal Father Lord of Hosts USAF – Lord, Guard and Guide		

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Ashberry, Kristy

From: Crowley, Rick
Sent: Monday, April 06, 2015 12:47 PM
To: Smith, Mary; Ashberry, Kristy
Subject: Fwd: Addressing the city council

Sent from my iPhone

Begin forwarded message:

From: "White, David" <DavidWhite@rockwall.com>
Date: April 6, 2015 at 12:45:01 PM CDT
To: "Ashberry, Kristy" <KAshberry@rockwall.com>
Cc: "Crowley, Rick" <RCrowley@rockwall.com>
Subject: Fwd: Addressing the city council

mrs marsh would like an agenda item for april 20. See below. Told her staff may contact if they have questions.

Begin forwarded message:

From: JoAnn marsh <>
Date: April 6, 2015 at 12:40:59 PM CDT
To: "White, David" <DavidWhite@rockwall.com>
Subject: Re: Addressing the city council

April 20 is good. No Sir we live by the shores. Right across from Tom Thumb area on North Goliad.

JoAnn Marsh

Sent from my iPhone

On Apr 6, 2015, at 12:06 PM, White, David <DavidWhite@rockwall.com> wrote:

Do you mean april 20 or May 4? Can't say exactly what time, but will be at beginning of meeting. 6:30 should be about the time.

Also, do you live in the neighborhood near tubbs and market center?

On Apr 6, 2015, at 12:04 PM, JoAnn marsh
wrote:

I would like to go ahead and make an appointment for two Mondays from now. If possible somewhere between 6:30!and 7 PM regarding sewage issues in our neighborhood. We hope to bring neighbors as well to speak on this.

JoAnn Marsh

Sent from my iPhone

On Apr 6, 2015, at 11:46 AM,
White, David
<DavidWhite@rockwall.com>
wrote:

Meeting starts at 6. Open forum is at the beginning of meeting.

On Apr 6, 2015, at
11:33 AM, JoAnn
marsh

wrote:

We may come
tonight. What time?

JoAnn Marsh

Sent from my iPhone

On
Apr 6,
2015,
at

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CITY OF ROCKWALL

CITY COUNCIL MEMO

AGENDA DATE: 04/20/2015

APPLICANT: Cindy Levandowski

AGENDA ITEM: Z2015-012; 907 N. Goliad – SUP Amendment

SUMMARY:

Hold a public hearing to discuss and consider a request by Cindy Levandowski on behalf of the owner Terry Rowe for the approval of an amendment to a Specific Use Permit [*Ordinance No. 09-28*] to allow for a *General Retail Store* within Planned Development District 50 (PD-50) for a 0.16-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

BACKGROUND INFORMATION:

The applicant, Cindy Levandowski on behalf of the owner Terry Rowe, is requesting a Specific Use Permit (SUP) to allow for a *General Retail Store* for the property located at 907 N. Goliad Street. This property has an existing SUP [*Ordinance No. 09-28*] that was approved in 2009 for a hair salon known as Renda's Place. The property was site planned in 2007 and later amended (2009) providing additional parking spaces and is considered sufficient for the proposed boutique. The property is within Planned Development District (PD-50) No. 50, the North Goliad Corridor Overlay (NGC OV) District, and has an underlying zoning of Residential Office (RO) District.

In your packet is a copy of the amended site plan, a letter requesting the SUP; detailing the merchandise to be sold, the hours of operation and the days the boutique will be open. It should be noted that the current SUP [*Ord. No. 09-28*] limits business hours from 8:00 a.m. to 8:00 p.m. and was intended to be consistent with other hair salons in the RO district. Since the proposed hours of operation for the boutique are within this time frame (10:00 a.m. to 6:00 p.m. /Tue – Sat), it is not necessary to amend the hours of operation for this establishment.

Should the request be approved, the existing SUP would be amended to allow for the *General Retail Store* while keeping the use for a hair salon intact. A request for a Specific Use Permit (SUP) is a discretionary act upon the Planning and Zoning Commission and City Council.

NOTIFICATION:

Staff mailed ninety-eight (98) notices to property owners within 500 feet of the subject property and e-mailed two (2) HOA organizations [Caruth Lakes & Lakeview Summit] participating in the HOA/Neighborhood notification program that are within 1500 feet. Additionally, staff posted a sign on the property as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received two (2) notices "for" and none "opposed to" the zoning change requested.

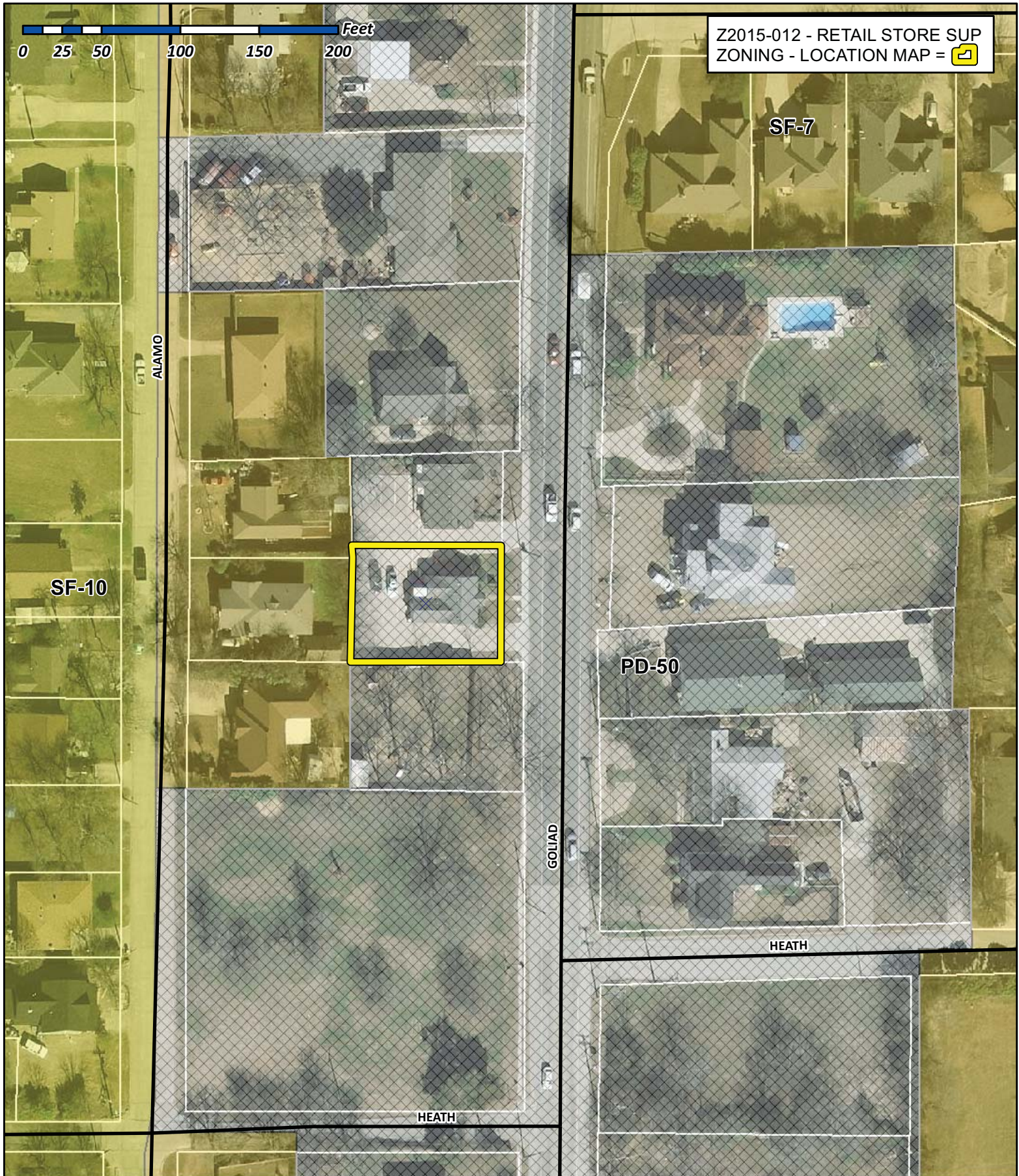
RECOMMENDATIONS:

Should the Specific Use Permit [*Ord. No. 09-28*] be amended, staff would offer the following additional conditions of approval:

- 1) Adherence to Engineering and Fire Department standards.
- 2) That all signage requires a separate permit and must conform to the standards established in the North Goliad Overlay District.

Planning and Zoning Commission Recommendation:

On April 14, 2015, the Planning and Zoning Commission recommended approval of the request to amend the specific use permit with staff conditions by a vote of 7 to 0.



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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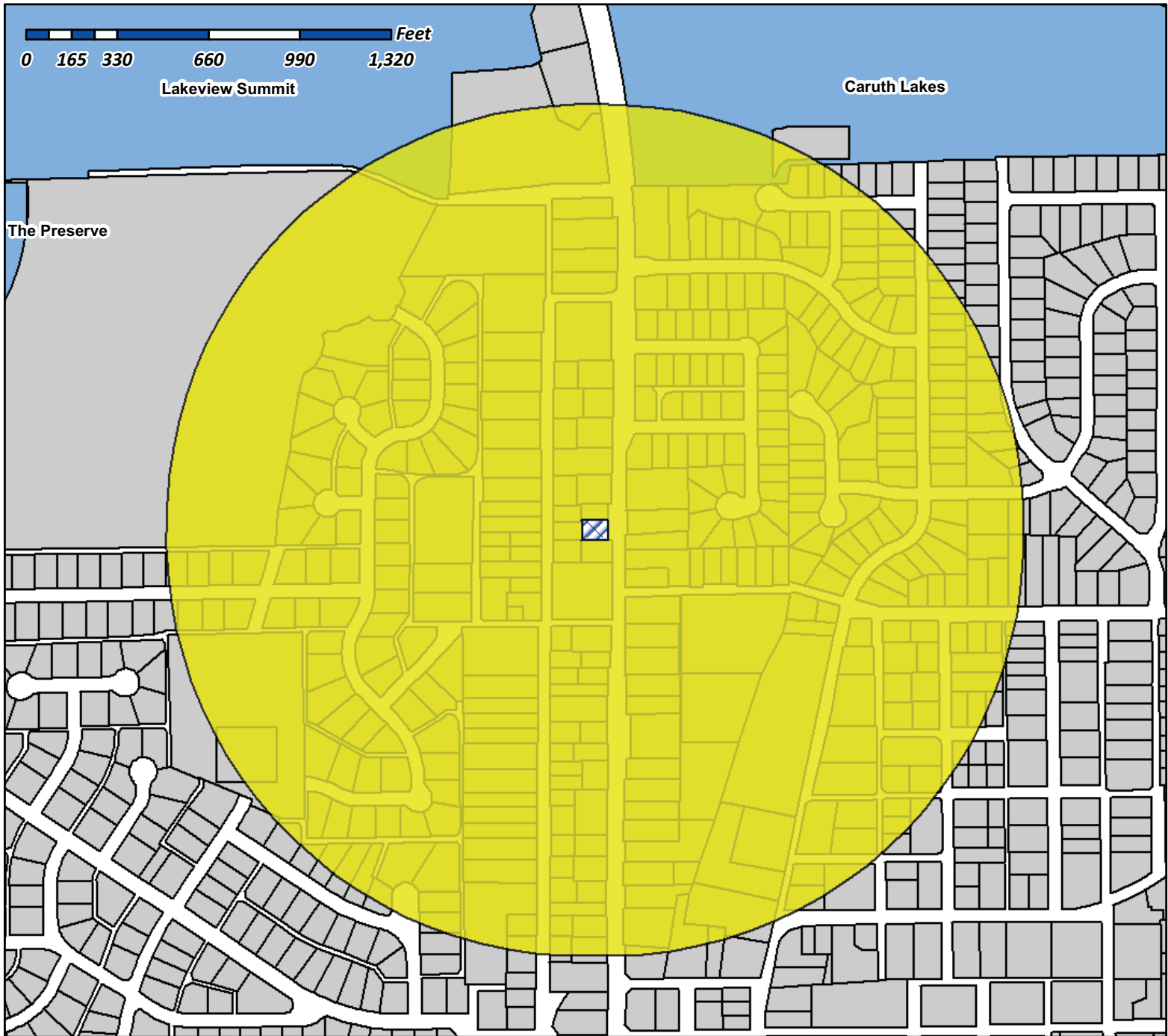
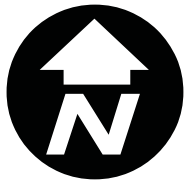




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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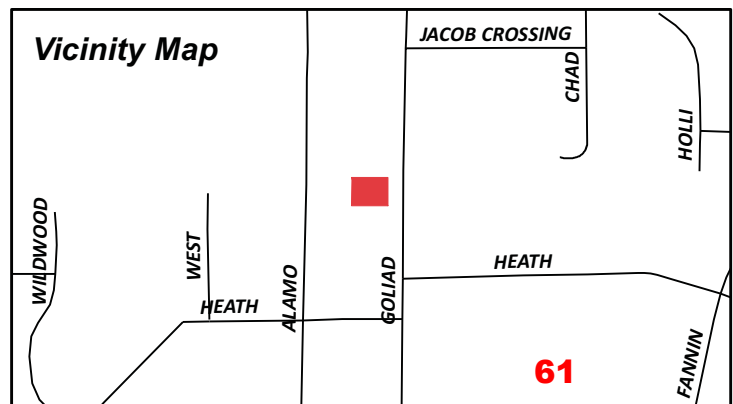


Case Number: Z2015-012
Case Name: Retail Store SUP
Case Type: Specific Use Permit
Zoning: PD-50
Case Address: 907 N Goliad St

Date Created: 3/12/2015

For Questions on this Case Call (972) 771-7745

Vicinity Map



Gonzales, David

From: Gonzales, David
Sent: Friday, March 27, 2015 4:33 PM
To: [REDACTED]
Cc: Miller, Ryan
Subject: Neighborhood Notification Program: Notice of Zoning Request
Attachments: Z2015-012 HOA Map.pdf

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was also published in the Rockwall Herald Banner on [April 3rd, 2015](#). If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at <http://www.rockwall.com/planning/planningDevCases.asp>.

Hold a public hearing to discuss and consider a request by Cindy Levandowski on behalf of the owner Terry Rowe for the approval of an amendment to a Specific Use Permit [Ordinance No. 09-28] to allow for a *General Retail Store* within Planned Development District 50 (PD-50) for a 0.16-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

Thank you,



DAVID GONZALES, AICP

SENIOR PLANNER • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6488 OFFICE
DGONZALES@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

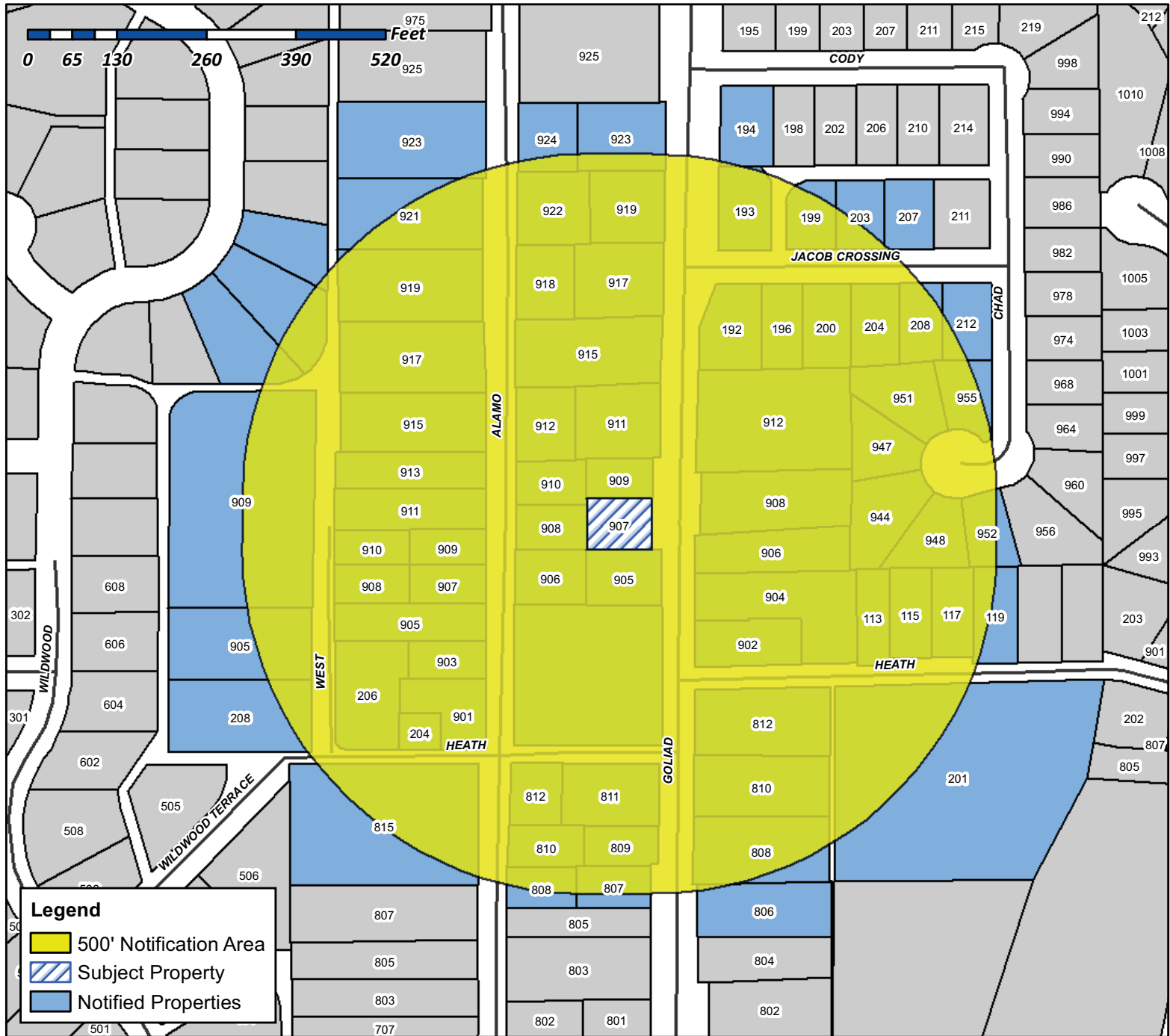
HELPFUL LINKS | CITY OF ROCKWALL WEBSITE | PLANNING & ZONING DIVISION WEBSITE | MUNICIPAL CODE WEBSITE
CITY OF ROCKWALL INTERACTIVE MAPS



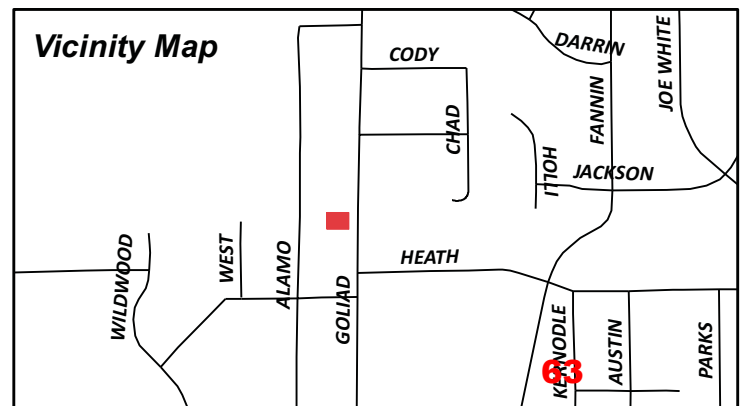
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2015-012
Case Name: Retail Store SUP
Case Type: Specific Use Permit
Zoning: PD-50
Case Address: 907 N Goliad St



Date Created: 3/12/2015

For Questions on this Case Call (972) 771-7745



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2015-012: Retail Store SUP

Hold a public hearing to discuss and consider a request by Cindy Levandowski on behalf of the owner Terry Rowe for the approval of an amendment to a Specific Use Permit [Ordinance No. 09-28] to allow for a General Retail Store within Planned Development District 50 (PD-50) for a 0.16-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 4/14/2015 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 4/20/2015 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **4/20/2015** to ensure they are included in the information provided to the City Council.

Sincerely,

Robert LaCroix, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP)

— • — • — PLEASE RETURN THE BELOW FORM — • — • —

Case No. Z2015-012: Retail Store SUP

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:	
Address:	

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2015-012: Retail Store SUP

Hold a public hearing to discuss and consider a request by Cindy Levandowski on behalf of the owner Terry Rowe for the approval of an amendment to a Specific Use Permit [Ordinance No. 09-28] to allow for a General Retail Store within Planned Development District 50 (PD-50) for a 0.16-acre parcel of land identified as Lot 1, Block 1, Henry Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 907 N. Goliad Street, and take any action necessary.

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Case No. Z2015-012: Retail Store SUP

Please place a check mark on the appropriate line below:

- ☒ I am in favor of the request for the reasons listed below.
☐ I am opposed to the request for the reasons listed below.

Also own 919 N. Goliad and I FAVOR the Request to Rezone

Name:

R.D. Vandevestice

Address:

911 N. Goliad Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2015-012: Retail Store SUP

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☐ I am opposed to the request for the reasons listed below.

I also own the property at 919 N. Goliad within the 500 ft notification area - Did not Receive Notice on this I vote in FAVOR of this Request AS 919 property owner ALSO

Name:

R.D. Vandestice

Address:

911 N. Goliad Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2015-012: Retail Store SUP

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

Needs to stay area for family homes - not businesses,

Timothy E White

Name: *Timothy E White (913 N. Adams owner)*
Address: *9104 RA 2325, Terrell, Texas 75760*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Good evening

My name is Cindy Levandowski and I'm excited to be here to tell you about a boutique that I would like to open just off the square in Rockwall.

The name of the store is "Cindy Lou & Baby 2" to be located at 907 N. Goliad St.

The store hours would be Tuesday thru Saturday 10:00am to 6:00am. Closed Sunday and Monday to stay in accordance with competition and the existing retailers in the square.

This will be an upscale boutique offering accessories for ladies and babies such as Jewelry, scarves, 2pc fun sleepwear, Christian gifts, tote bags, a small assortment of candles. For babies, picture frames, booties, piggy banks, memory books, a small assortment of onesies . . .

No sidewalk sales. All transactions/sales will take place inside the store.

All merchandise deliveries will be accepted in the rear of the building. These deliveries will be delivered during business hours from carriers such as UPS or Fed Ex. It's a single store operation taking in small shipments of merchandise.

I would be the sole owner of this boutique. I have no partners and 907 N. Goliad will be leased by the boutique. No sub letting.

The store décor will be representative of a beachy cape cod cottage. The atmosphere will be warm, cozy and welcoming, and bright and happy. There will be approximately 500 sq. ft. of selling space. My office, backroom holding back stock for the store and a bathroom will occupy the remaining square footage. There are 6 parking spots in the rear of the building, 2 parking spots on the fence side and 1 spot on the south side where I will park my vehicle. I would love to have all available parking filled during the time that the boutique is open AND I know that it takes at least 2 years to really enjoy the benefits of a retail operation☺

I have been a retail buyer for the last 35 years. I'm passionate about the customer and the service I can provide for the customer. I've worked with Toysrus/Babiesrus/Kidsrus, Limited Too (which is now Justice) and a very long time ago for JC Penney.

My family and I lived in Plano from 1987-1990 while I was a buyer at Penneys. My son, Matthew, was born at Presbyterian Dallas at the Margot Perot Center. It has taken us about 23 years to be able to move back to TX where we enjoy our retirement-like life.

Every summer, over the past years, we have traveled back to Rockwall to visit with family and friends and finally made the decision that this city is where we feel at home.

The square has offered great shopping at Groovys, Hazel & Olive and Hallie B, great restaurants such as Zanatas, Fatted Calf, Bin 303 and the tea room and quaint locations with some amazing services like Hair gallery, Signs and Graphics ect.

I can't think of a better location for a boutique store!!!

Thank you for considering my Zoning application.

Parking

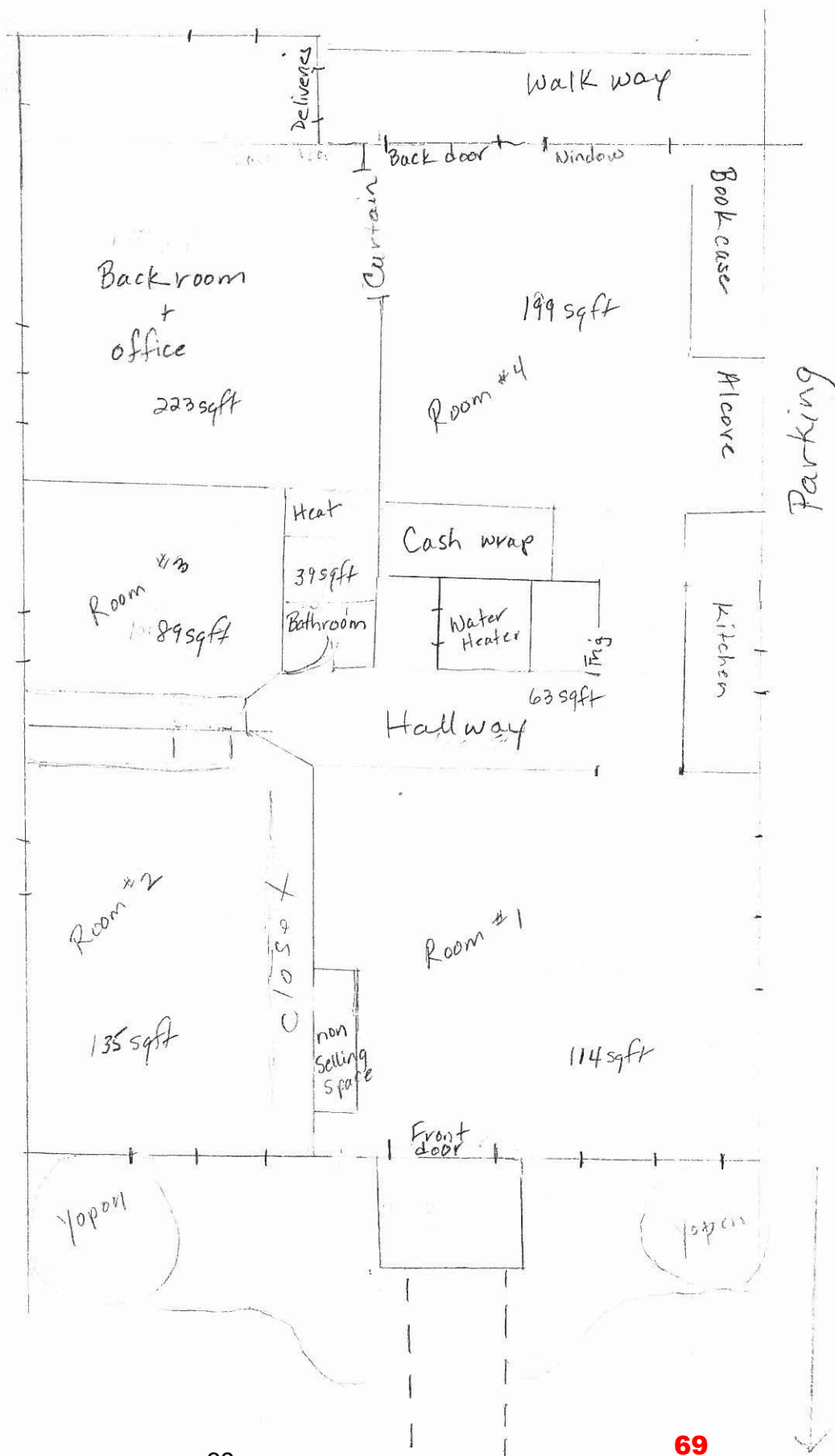
Parking

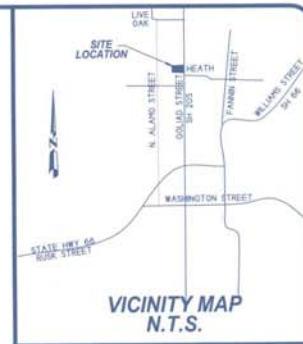
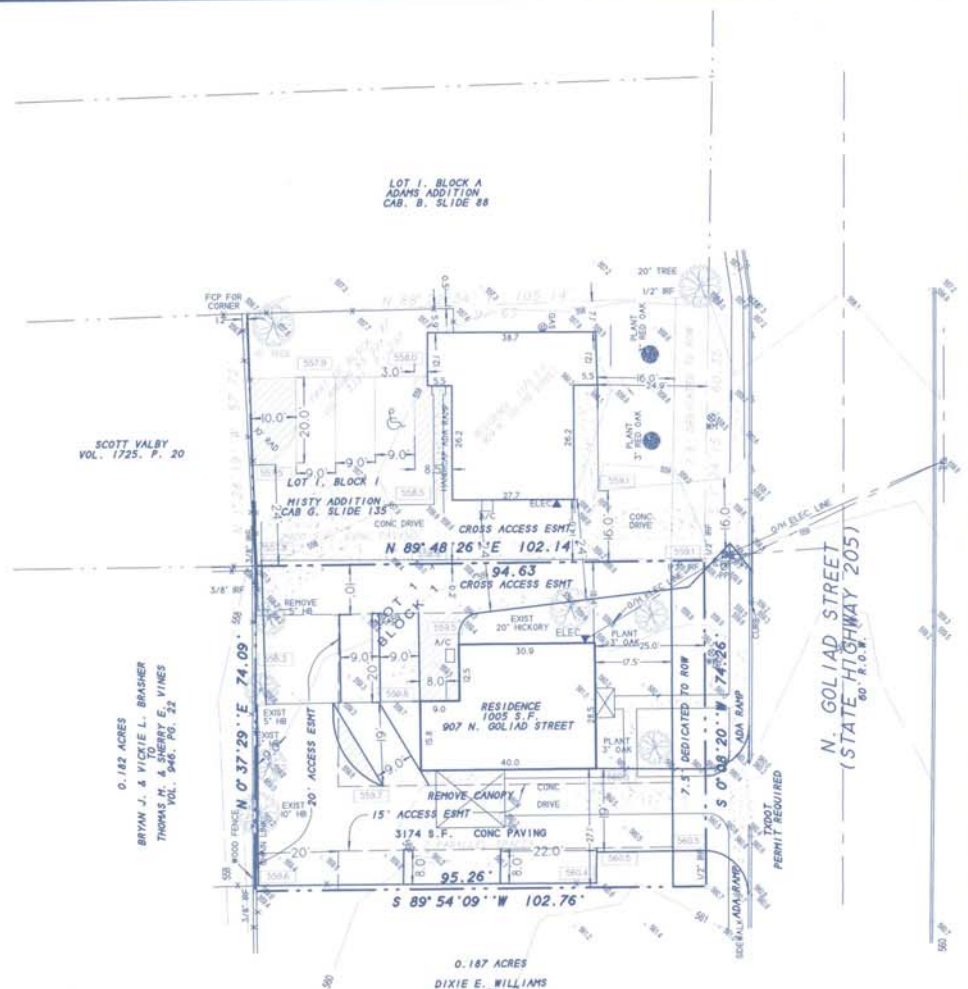
Parking

Rooms 537 - Selling
off 223
Bath 39
hall 63 } Non-Selling
862 sqft

1092

230??





AMENDED SITE PLAN LOT 1, BLOCK 1 HENRY ADDITION

7042 S.F. OR 0.16 ACRES
BEING A REPLAT OF
PART OF BLOCK 27
GARNER ADDITION

A PART OF THE S.S. McCURRY
SURVEY, ABSTRACT NO. 146
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER:
HENRY PHILLIPS
909 N. GOLIAD STREET
ROCKWALL, TEXAS 75087
469-223-9086

H.D. FETTY LAND SURVEYOR, LLC
8770 PM 1585 ROYSE CITY, TX 75189 972-835-2255 PHONE 972-835-9979 FAX



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SURVEY DATE: JUNE 15, 2009
SCALE: 1" = 20' FILE # 9912123P
CLIENT: PHILLIPS

CITY OF ROCKWALL

ORDINANCE NO. 15-_____

SPECIFIC USE PERMIT NO. S-068

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO AMEND SPECIFIC USE PERMIT (SUP) NO. S-68 [ORDINANCE NO. 09-28] TO ALLOW FOR A GENERAL RETAIL STORE IN A RESIDENTIAL-OFFICE (RO) DISTRICT, ON A 0.16-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK 1, HENRY ADDITION, GENERALLY LOCATED AT 907 N. GOLIAD STREET, AND ZONED PLANNED DEVELOPMENT DISTRICT NO. 50 (PD-50), CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Cindy Levandowski on behalf of the owner Terry Rowe for the approval of an amendment to Specific Use Permit (SUP) No. S-068 [Ordinance No. 09-28] to allow for a *General Retail Store* in a *Residential-Office (RO) District*, which shall also allow for the use of a *Hair Salon*, on a 0.16-acre parcel of land identified as Lot 1, Block 1, Henry Addition, generally located at 907 N. Goliad Street, and zoned *Planned Development District No. 50 (PD-50)*, City of Rockwall, Rockwall County, Texas, which herein after shall be referred to as the *Subject Property*, and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code [Ordinance 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to amend Specific Use Permit (SUP) No. S-068 [Ordinance No. 09-28] to allow for a *General Retail Store* within Planned Development District No. 50 (PD-50), which shall also allow for the use of a *Hair Salon* on the *Subject Property*, and

Section 2. That this Specific Use Permit (SUP) Ordinance shall supersede all requirements stipulated in Ordinance No. 09-28, and that the *Subject Property* shall maintain compliance to all conditions and standards contained within this ordinance; and

Section 3. That the Specific Use Permit shall be subject to the conditions set forth in *Planned*

Development District No. 50 (PD-50) & Section 4.2, Residential Office (RO) District, of Article V, District Development Standards, of the City of Rockwall Unified Development Code (Ordinance No. 04-38) as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following additions for the *Subject Property*:

- 1) That no parking will be allowed in the SH205 right of way or in front of the building, and
- 2) That the hours of operation shall be limited between 8:00 am to 8:00 pm. each day, and
- 3) That the use for a hair salon shall be limited to a maximum of one (1) chair, and
- 4) That all signage requires a separate permit and must conform to the standards established in the North Goliad Overlay District, and
- 5) That the City Council reserves the right to review the Specific Use Permit granted herein upon the expiration of one (1) year from the date hereof.

Section 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 8. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE ____ DAY OF _____, 2015.

Jim Pruitt, Mayor

ATTEST:

Kristy Ashberry, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: _____

2nd Reading: _____

DRAFT

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CITY OF ROCKWALL

CITY COUNCIL MEMO

AGENDA DATE: 04/20/2015

APPLICANT: Michael Clark

AGENDA ITEM: P2015-008 (808 Sam Houston - Replat)

SUMMARY:

Hold a public hearing to discuss and consider a request by Michael Clark for the approval of a residential replat for Lots 6 & 7, Block K, Sanger Brothers Addition, being a 0.23-acre parcel of land currently identified as the eastern ½ of Lot 3, Block K, Sanger Brothers Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 808 Sam Houston Street, and take any action necessary.

COMMENTS:

- The objective of this request is to replat an existing residential lot creating two (2) single-family residential lots. The 10,000 sq. ft. residential lot will be subdivided creating two (2) 5,000 sq. ft. lots for the purpose of constructing a single-family home on each site. The homes will be built under the SRO District and SF-7 standards as established in the Unified Development Code.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions below.
- With the exception of the items listed in the Recommendation section of this case memo, this plat is in substantial compliance with the requirements of the Subdivision Ordinance in the Municipal Code of Ordinances.

NOTIFICATION:

Staff mailed thirty-eight (38) notices to property owners within 200 feet of the subject property and a notice of Public Hearing was published in the Rockwall Herald-Banner as required by law. At the time this report was drafted, staff has received one (1) notice “opposed to” the residential replat requested.

RECOMMENDATIONS:

If the Planning & Zoning Commission and City Council choose to approve the request for final plat, staff would recommend the following conditions of approval:

- A) All the technical comments from the Engineering and Fire Departments shall be addressed prior to the filing of this plat, including the following Planning Comments;
1. Adherence to Engineering and Fire Department standards.
 2. Tie at least two corners to City monumentation (one indicated).

- B) Any construction resulting from the approval of this final plat shall conform to the requirements set forth by the Unified Development Code, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Planning and Zoning Commission Recommendation:

On April 14, 2015, the Planning and Zoning Commission recommended approval of the residential replat with staff conditions by a vote of 7 to 0.

City of Rockwall

Project Plan Review History



Project Number P2015-008	Owner MICHAEL CLARK	Applied 3/11/2015 DG
Project Name Residential Replat	Applicant MICHAEL CLARK	Approved
Type PLAT		Closed
Subtype REPLAT		Expired
Status STAFF REVIEW		Status 3/11/2015 DG

Site Address	City, State Zip	Zoning
808 SAM HOUSTON	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
SANGER	E/2 OF 3	K	E/2 OF 3	4900-000K-0003-A0-OR	

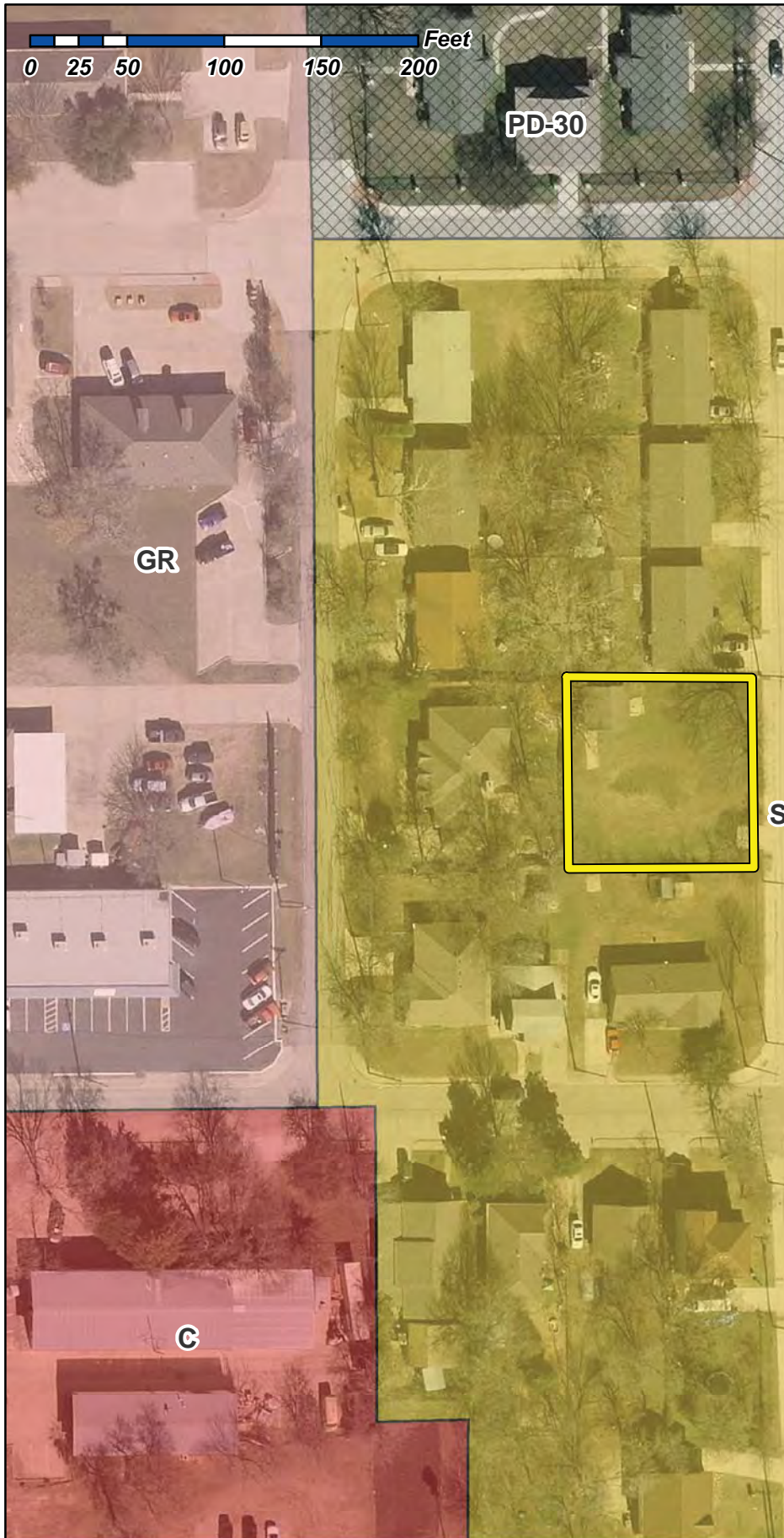
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Shannon	3/11/2015	3/18/2015	3/23/2015	12	APPROVED	
ENGINEERING	Amy Williams	3/11/2015	3/18/2015	3/20/2015	9	APPROVED	
FIRE	Ariana Hargrove	3/11/2015	3/18/2015	3/20/2015	9	APPROVED	
GIS	Lance Singleton	3/11/2015	3/18/2015	3/19/2015	8	APPROVED	See Comments
(3/19/2015 12:21 PM LS) Address Assignment: Lot 6: 806 SAM HOUSTON ST, ROCKWALL, TX 75087 Lot 7: 808 SAM HOUSTON ST, ROCKWALL, TX 75087							

Please contact Addressing@rockwall.com with any questions.

PLANNING	David Gonzales	3/11/2015	3/18/2015	3/20/2015	9	APPROVED W/ CONDITIONS	See comments
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Planning Staff Comments:

1. Tie at least two corners to City monumentation; only one corner indicated with X,Y coordinate.
2. Adherence to all Engineering and Fire Department standards.



P2014-035 - SANGER BROTHERS ADDITION
REPLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

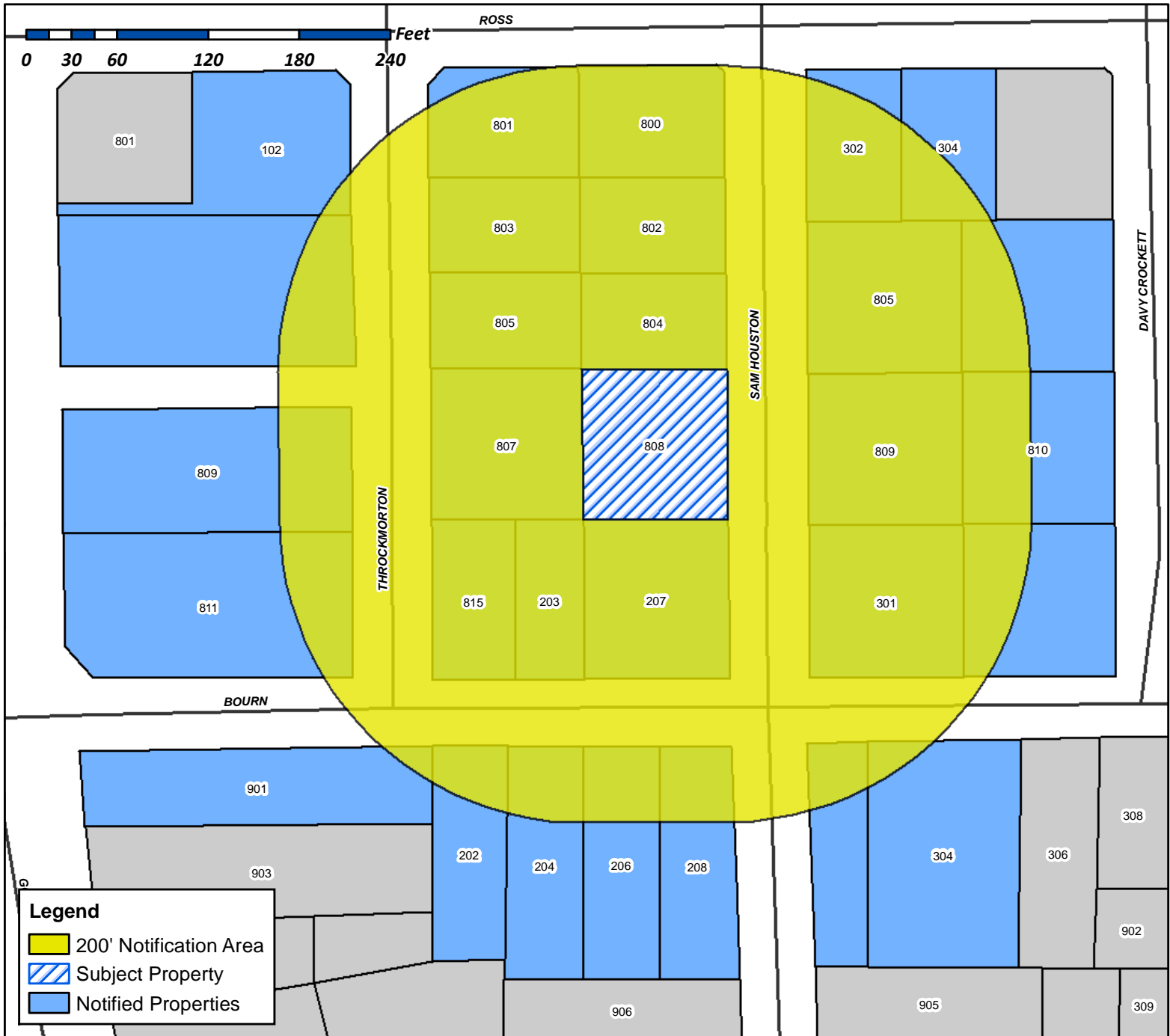
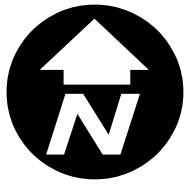




City of Rockwall

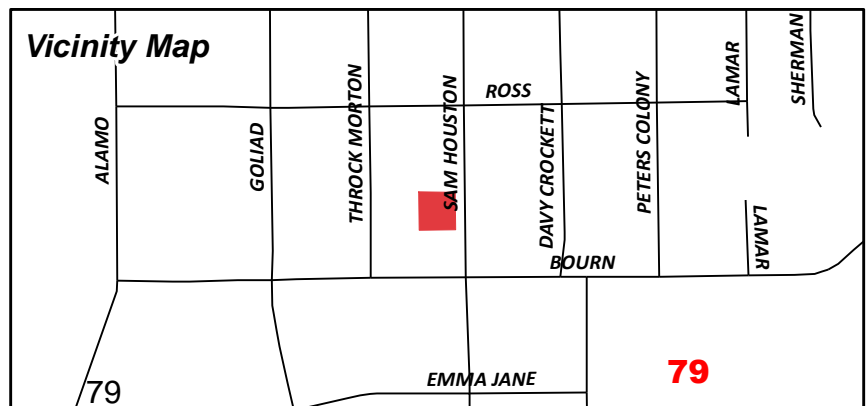
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(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: P2015-008
Case Name: Residential Replat
Case Type: Replat
Zoning: SF-7
Case Address: 808 Sam Houston

Vicinity Map



Date Created: 03/26/2015

For Questions on this Case Call (972) 771-7745



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. P2015-008: Residential Replat

Hold a public hearing to discuss and consider a request by Michael Clark for the approval of a residential replat for Lots 6 & 7, Block K, Sanger Brothers Addition, being a 0.23-acre parcel of land currently identified as the eastern ½ of Lot 3, Block K, Sanger Brothers Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 808 Sam Houston Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 4/14/2015 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 4/20/2015 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **4/20/2015** to ensure they are included in the information provided to the City Council.

Sincerely,

Robert LaCroix, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

— • — • — PLEASE RETURN THE BELOW FORM — • — • —

Case No. P2015-008: Residential Replat

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CURRENT RESIDENT
102 E ROSS AVE
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
201 MEADOWDALE DR
ROCKWALL, TX 75087

BATRES SALVADOR SR
202 E BOURN ST
ROCKWALL, TX 75087

MOTON R T
203 E BOURN ST
ROCKWALL, TX 75087

RIVERA JAIME & MARIA
204 E BOURN ST
ROCKWALL, TX 75087

MIMS KATHY
206 E BOURN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
207 BOURN AVE
ROCKWALL, TX 75087

SCROGGINS BILLY & JOYCE
208 E BOURN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
301 E BOURN ST
ROCKWALL, TX 75087

VILLALOBOS JOSE MARVIN & JACKELIN IZELA
302 E ROSS
ROCKWALL, TX 75087

CURRENT RESIDENT
304 BOURN
ROCKWALL, TX 75087

DAVIDSON JEFFREY LEE & MELIZA IBARRA
304 E ROSS AVE
ROCKWALL, TX 75087

EDWARDS JASON
309 NORMANDY LN
HEATH, TX 75032

BUSH JULIA A
(MR)
4014 PASEO BLVD APT 2
KANSAS CITY, MO 64110

HUMPHREY CHARLES RAY
405 ER ELLIS
ROCKWALL, TX 75087

HECKARD ALLEN
4906 FREEMAN DR
ROWLETT, TX 75088

SPENCER NEFAME
6138 SINGING HILLS DR
DALLAS, TX 75241

ERGAZTHEOI LLC
709 WEST RUSK STREET SUITE B BOX 567
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

BENNETT A L EST
C/O OLIVER LINVELL
712 PETERS COLONY
ROCKWALL, TX 75087

MCGUIRE JOHN L
800 SAM HOUSTON ST
ROCKWALL, TX 75087

LAFAYETTE ESTELLE
801 THROCKMORTON ST
ROCKWALL, TX 75087

JACKSON CALVIN
802 SAM HOUSTON ST
ROCKWALL, TX 75087

DANIELS ANNIE L
803 THROCKMORTON ST
ROCKWALL, TX 75087

DIXON ALMA
804 SAM HOUSTON ST
ROCKWALL, TX 75087

CURRENT RESIDENT
805 SAM HOUSTON
ROCKWALL, TX 75087

ALLEN SAMUEL
805 THROCKMORTON ST
ROCKWALL, TX 75087

CURRENT RESIDENT
807 THROCKMORTON
ROCKWALL, TX 75087

CURRENT RESIDENT
808 SAM HOUSTON
ROCKWALL, TX 75087

CURRENT RESIDENT
809 GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
809 SAM HOUSTON
ROCKWALL, TX 75087

STRANGE FREDERICK & PATRICIA
810 DAVY CROCKETT ST
ROCKWALL, TX 75087

CURRENT RESIDENT
811 S GOLIAD
ROCKWALL, TX 75087

HERNANDEZ ALMA VELIA
815 THROCKMORTON ST
ROCKWALL, TX 75087

DEL RIEGO ANA MARIA GONZALEZ
816 COURTLAND DR
MESQUITE, TX 75150

CLARK JUDY A
853 BREEZY HILL LN
ROCKWALL, TX 75087

CURRENT RESIDENT
901 S GOLIAD
ROCKWALL, TX 75087

NEW CALDONIA BAPTIST CHURCH
PO BOX 481
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

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Sincerely,

Robert LaCroix, AICP
Director of Planning & Zoning

MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: [HTTP://WWW.ROCKWALL.COM/PLANNING/PLANNINGDEVCASES.ASP](http://www.rockwall.com/planning/planningdevcases.asp)

----- PLEASE RETURN THE BELOW FORM -----

Case No. P2015-008: Residential Replat

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
☒ I am opposed to the request for the reasons listed below.

This is a single family home area & I worry that our property values will decline. ~~Let's please keep it as is~~ Let's please keep it as is

Name: *Jeffrey Davidson*

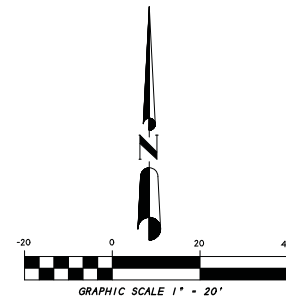
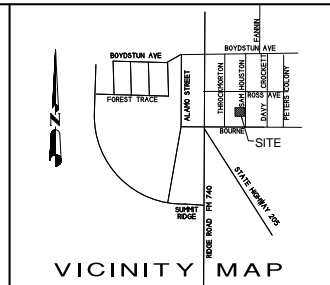
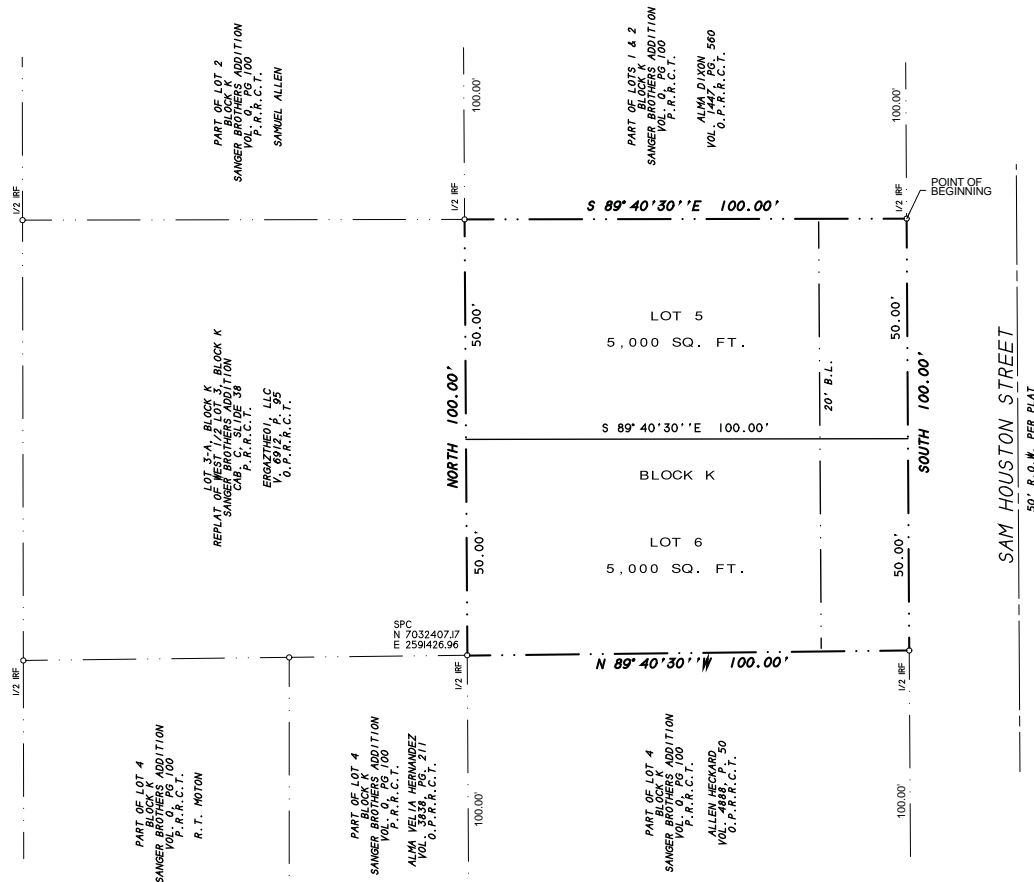
Address: *304 E. Ross St Rockwall, TX 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

THROCKMORTON STREET

30' R.O.W. PER PLAT



FINAL PLAT SANGER BROTHERS ADDITION LOTS 5 & 6, BLOCK K

BEING A REPLAT OF
THE EAST 1/2 LOT 3, BLOCK K
SANGER BROTHERS ADDITION

10000 S.F. OR 0.23 ACRES
(2 LOTS)

B.J. T. LEWIS SURVEY, A-255
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

OWNER: MICHAEL CLARK
c/o TERESA DABNEY
469-831-1095
8305 CONCORD
ROWLETT, TX 75089

SYMBOL LEGEND	
	Survey Line
	Boundary Line
	Easement
	Right of Way
	Lot
	Block
	Addition
	Survey
	Plat
	Surveyor
	Client

SURVEY DATE: OCTOBER 17, 2014
SCALE: 1" = 20' FILE # 20140396-RP
CLIENT: CLARK

H.D. Fetty Land Surveyor, LLC
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

- NOTES
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040L dated SEPT 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
 - 3) ALL 1/2" IRS ARE CAPPED WITH "YELLOW PLASTIC CAPS" RPLS 5034."

CASE NO. P2015-008

OWNER'S CERTIFICATE
(Public Dedication)

All that certain lot, tract or parcel of land situated in the City of Rockwall, Rockwall County, Texas, and being the East 1/2 of Lot 3, Block K of SANGER BROTHERS ADDITION, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Volume Q, Page 100 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

THENCE SOUTH, along the west right-of-way line of Sam Houston Street, a distance of 100.00 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 40 min. 30 sec. W. a distance of 100.00 feet to a 1/2" iron rod found for corner at the southeast corner of Lot 3-A, Block K, of REPLAT OF WEST 1/2 LOT 3, BLOCK K, SANGER BROTHERS ADDITION, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet C, Slide 38 of the Plat Records of Rockwall County, Texas;

THENCE NORTH along the east line of Lot 3-A, a distance of 100.00 feet to a 1/2" iron rod found for corner;

THENCE S. 89 deg. 40 min. 30 sec. E. along the north line of Lot 3, Block K, a distance of 100.00 feet to the POINT OF BEGINNING and containing 10,000 square feet or 0.23 acres of land.

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as SANGER BROTHERS ADDITION, LOTS 5 & 6, BLOCK K, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, easements and public places shown on this plat for the purpose and to the use therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of the electric system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintain aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with the requirements of the Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sio m structures, storm sewers, and alleys, all according to the standards and specifications of the City of Rockwall.

Until an engineer deposits sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or the time and expense of the city to make such improvements, the city secretary shall require the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as a progress payment, and the city secretary may, at the discretion of the city secretary, make any improvements requested by the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

MICHAEL CLARK

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared MICHAEL CLARK known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____.

Notary Public in and for the State of Texas

My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of SANGER BROTHERS ADDITION, LOTS 5 & 6, BLOCK K, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 20____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____.

Mayor, City of Rockwall

City Secretary City of Rockwall

City Engineer _____ Date _____

FINAL PLAT
SANGER BROTHERS ADDITION
LOTS 5 & 6, BLOCK K

BEING A REPLAT OF
THE EAST 1/2 LOT 3, BLOCK K
SANGER BROTHERS ADDITION

10000 S.F. OR 0.23 ACRES
(2 LOTS)

B.J. T. LEWIS SURVEY, A-255
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER: MICHAEL CLARK
c/o TERESA DABNEY
469-831-1095
8305 CONCORD
ROWLETT, TX 75089

SYMBOL LEGEND

TV TELEVISION CABLE SERVICE	GAS GAS METER	TEL PHONE METER	PH HYDRANT	FP FIRE PROOF
ELEC ELECTRIC METER	ELEC ELECTRIC BOX	WATER WATER METER	LP LIGHT POLE	20' R/W 20' R/W AND FOOTING CORNER
PERCE PERCE	BASEMENT BASEMENT LINE	PROPERTY PROPERTY LINE	A/C A/C UNIT	PROP. LINE PROP. LINE

SURVEY DATE OCTOBER 17, 2014
SCALE 1" = 20' FILE # 20140396-F
CLIENT CLARK

H.D. Fetty Land Surveyor, LLC
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CASE NO. P2015-008



City of Rockwall
The New Horizon

MEMORANDUM

TO: Mayor and City Council

FROM: Rick Crowley, City Manager

DATE: April 17, 2015

SUBJECT: SH 205 and John King Blvd

After our meeting in Austin yesterday, Mayor Pruitt and Councilmember White requested a resolution related to our request that TxDOT include the “John King Boulevard Route” in the study that they have initiated for improvement of SH205 from SH78 to US80. A draft of such a resolution has been prepared and I’ve also attached previously provided emails, and placed on the agenda for Monday night for the Council’s consideration.

Indications at the first TxDOT Stakeholder Meeting (also this week) which Tim Tumulty and I attended were that TxDOT and its consultant would give consideration to the City’s request.

There is much work to be done with TxDOT as the “John King Route” is considered. All of these considerations would have come into play when the roadway was originally built had the issue of the state required construction cross section not come into play and ended (for then) that consideration. This will include the following matters (and probably others):

- The “John King Route” offers less disruption to properties along the existing route and likely would be positioned
- TxDOT has indicated that the typical standard for the ultimate right-of-way will include 150’ of right-of-way, but that they anticipate that there will be variations in the amount of right-of-way required as the roadway goes through the several cities along the route. The 120’ right-of-way section along John King will accommodate an ultimate six lane roadway, but if there is additional right-of-way width required by TxDOT along the John King Route, the area is much less developed than the existing SH205 route.
- TxDOT and the City would have to come to terms on the amount and specific circumstances of the portions of the existing route that would, if the John King Route is selected, be taken off system and become city streets. These matters would have to be considered and determinations which portions of existing state roadways would be

conveyed to the City and the timing for same. These discussions may, as they would have in 2005, involve consideration of certain sections of existing SH205, FM740, and perhaps SH276.

Despite the detail to be sorted out, consideration of this route is vitally important in my view.

If we do not secure consideration of the John King Route for SH205 as a part of this specific study, that opportunity under any circumstance will not be an option for consideration in the future; however, until the details of the matter are resolved by work to be done as apart of this planning study, the City is not required to finally provide its final designation of the "Official Locally Preferred Route."

The resolution is designed to formally request consideration of the route. If there are any changes in the resolution, we will be happy to make them at Monday's meeting. Once the resolution is considered by the Council, the Staff will immediately schedule meetings with TxDOT and their consultant to begin the major task of working through details of the proposal. We will be preparing a "talking points" summary of the route matter that would be under consideration.

CITY OF ROCKWALL, TEXAS

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, APPLAUDS THE LONG-TERM IMPROVEMENT OF SH205 FROM SH78 TO US80; AGREES THE IMPROVEMENTS ARE IMPORTANT TO CURRENT AND FUTURE TRAFFIC; EXAMINES AND SELECTS THE MOST BENEFICIAL ROUTE TO MOVE TRAFFIC WHILE MINIMIZING NEED TO DISRUPT CURRENT PROPERTIES; CONSIDERS THE MOST FAVORABLE ROUTE FOR SH205 THROUGH THE CITY OF ROCKWALL TO THE “JOHN KING BOULEVARD ROUTE;” RECOGNIZES CONSIDERATION OF THIS ROUTE WILL REQUIRE EVALUTION FROM THE TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT); PETITIONS TXDOT TO INCLUDE “JOHN KING BOULEVARD ROUTE” AS THE CURRENT PLANNING STUDY FOR IMPROVEMENTS TO SH205.

WHEREAS, the City Council of the City of Rockwall, Texas applauds and is in agreement with the decision of the Texas Department of Transportation's efforts to initiate the planning for improvements of SH205 from SH78 to US80, and

WHEREAS, SH205 is the main north/south roadway in Rockwall moving approximately 20,000 cars and trucks per day through downtown Rockwall, and

WHEREAS, the residents of the City of Rockwall, Texas expressed their support for the construction of John King Boulevard as the route for SH205 through Rockwall by approval of a 2005 Bond Election which financed the acquisition of a 120 foot right-of way section along the route and construction of the roadway from its intersection with the existing SH205 North to its intersection with SH205 South, and

WHEREAS, the existing SH205 route is currently developed in such a manner that significant widening of the right-of-way along that route would result in significant disruption of property rights, commerce, and character, and

WHEREAS, the route along John King Boulevard is currently significantly less developed than the current SH205 route, and

WHEREAS, the route along John King Boulevard provides an opportunity for safer movement of higher volumes of SH205 traffic,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. The City of Rockwall applauds the Texas Department of Transportation for its initiation of planning for the long-term improvement of SH205 from SH78 to US80, and

Section 2. The City of Rockwall agrees that the improvement of this state roadway is important to the movement of traffic and future well-being of the communities, including the city of Rockwall, located along the route and to those who travel along the route, and

Section 3. The City of Rockwall has significant interest in the route study that examines and selects the most beneficial route for the roadway such that the final route selection will reflect both the roadway's ultimate ability to move traffic while minimizing the need to disrupt current and historic business and residential properties along the current route of SH205, and

Section 4. The City of Rockwall currently considers the most favorable ultimate route for SH205 through the City of Rockwall to the "John King Boulevard Route" - from that road's north intersection with existing SH205 to that road's south intersection with the existing SH205, and

Section 5. The City of Rockwall recognizes that the consideration of this "John King Boulevard Route" will require considerable evaluation on the part of both the Texas Department of Transportation and the City of Rockwall and commits to assisting in that evaluation as consideration in any way necessary during the course of the current study, and

Section 6. That the City of Rockwall hereby petitions the Texas Department of Transportation to include the "John King Boulevard Route" through the City of Rockwall in the current planning study for improvements to SH205.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 20th day of April, 2015.

Jim Pruitt, Mayor

ATTEST:

Kristy Ashberry, City Secretary

Update:

Because I wanted to have an opportunity to discuss the City of Rockwall's initial input in planning for SH205 (between SH78 and US80), I asked TxDOT to schedule the first stakeholder meeting after the next Council meeting. TxDOT has agreed to do that although I do not yet know how soon after our April 6, meeting that the first SH205 stakeholder meeting will be scheduled. The first stakeholder meeting will NOT be the last opportunity for City of Rockwall input to be heard and considered in the planning process, but I do think it is important that we discuss this particular planning project before that first stakeholder meeting. We will add a 4:00 work session to discuss for discussion of TxDOT roadway planning on the April 6 agenda. We should not necessarily expect that this work session will finalize the City's position and consideration of the subject.

A few things to keep in mind as we consider these matters:

This major project is in only now beginning as a planning project and has not been funded by TxDOT; therefore, we have no idea what a timeframe for the project's construction after planning may be. Such an aggressive project would generally take some time to receive TxDOT funding, but, once plans for major projects like this one are adopted, funding may become available for various sections of the project such that the project is implemented over time.

Since TxDOT was unwilling to accept the John King Blvd. construction standard to serve as SH205 after their construction standards changed, they may be unwilling or unable to consider it now as an alternative to the six-lane SH205 roadway through Rockwall.

The construction of a six-lane SH20 along its current route would drastically change the complexion of community especially along the roadway based primarily on the width of right-of-way required. Over the past many years both TxDOT and the City have required dedication of about 7.5 feet of right-of-way when property has been platted or re-platted, yet the City's thoroughfare plan has not been changed to reflect any new right-of-way requirements for six lanes. On the other hand, the transfer of a SH205 route to John King Blvd. If approved, would also change the nature of traffic downtown - with debate possible as to whether this would be a positive or negative change. In decades past, construction of "highway bypass" tended to move commerce from downtown areas to the new routes. This tended to change the nature of downtowns across the county. Circumstances MAY be different today in that our downtown has become a destination, again, what may be debated is the role of significant State Highway traffic in creation of such a destination and whether changes that might result from changes in that would be a net positive or a net negative in terms of continuing downtown as a destination.

Several sections of the existing SH205 route remain unimproved at this time. Whether TxDOT could be convinced to make improvements on these sections of the roadway IF a change in route were requested and approved remains to be seen. If TxDOT does not agree to make those improvements the full costs of those needed improvements would become the obligation of the City and would need to be factored in as costs of making the route change if the change was requested and approved.

There will likely be considerable controversy and concern about this matter in our community as we have seen some years ago here, and more recently in other area cities.

In preparation of the Council work session on April 6, I have requested a staff meeting with the TxDOT Advance Planning group next week. Our goal for this meeting is to get an indication of conception point of beginning that TxDOT planners will start from as the planning begins. This should be helpful to our discussions at the work session. We may also include a brief update on the status of other TxDOT roadway projects as time allows during this same work session.

Thanks,
Rick

-----Original Message-----

From: Crowley, Rick
Sent: Monday, March 16, 2015 5:10 PM
To: Crowley, Rick
Subject: Fwd: TxDOT hires Halff and Assoc - SH205

Mayor and Council

FYI

As I forwarded to you earlier, Halff and Associates has told our City Engineer that they have been retained by TxDOT to begin planning for a major project for SH 205 between SH78 and Highway 80. A meeting is to be scheduled for the consultant to kick off the project.

You may recall that the original plan was for John King Blvd. to become the route of SH205 and that the current SH205 route through Rockwall would become a city street without TxDOT regulation, etc. This would have made it possible for the City, among other things, to designate John King Blvd. as the through truck route through the City rather than have a continued route through downtown and along the rest of the existing SH205 route through the City. After John King was authorized and before it was designed, TxDOT changed their construction requirements for State Highways and would not honor their previous agreement to make the change unless the City drastically altered the design of John King Blvd. to meet the new design standard which were FAR more expensive than standards used even for the portion of SH205 that the state had used in the reconstruction of that road from downtown Rockwall to I30 even though that was a then recent project. As a result John King was built to the planned standards as a City street.

As we prepare to attend the kickoff meeting (which has not been yet scheduled) as we have been invited to do, The question now seems appropriate as to whether the Council would like to take "another run" at the "route swap" given that this overall massive project is now being pursued by TxDOT. Since the SH205 project is in the planning phase, it is not currently funded. If the current Council wants to have this considered (as was the case with several previous Councils) it would be appropriate for the question to now be again raised with TxDOT and their planners. This question is a matter that warrants Council discussion at the next meeting.

If there is an interest, we would also want to discuss the matter of improvements to yet-to-be-improved sections of the existing route. If the route trade is desirable, it seems a reasonable trade to me that the project also include improvement of these portions of the roadway to City Standards. Of course, from my standpoint, the TxDOT project should include paying for this as well.

Please consider this matter between now and the next meeting. Additional information will be provided in the packet for the next meeting.

If there is no interest, we will proceed to the kickoff meeting without bringing the matter up.

Thanks,
Rick

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City of Rockwall
The New Horizon

MEMORANDUM

TO: Mayor and City Council

FROM: Hotel Occupancy Tax Sub-committee Members
Mary Smith, Assistant City Manager

DATE: April 17, 2015

SUBJECT: Request for Funding Allocation – Soroptimist’s Country Fair

The City received a supplemental funding request for hotel occupancy tax revenues from the Soroptimist Club for their annual Country Fair to be held in late May. Copies of the Funding Request Questionnaire and supporting narrative are attached for your review. Their request totals \$20,000 for promotion of the event which will be held adjacent to the Courthouse.

The request would qualify under the tourism category included in the Act.

At the present, the Hotel/Motel Occupancy Tax budget is as follows:

Fund Balance carried forward	\$ 144,140
Revenues budgeted	310,000
Allocated Funding	<u>(337,735)</u>
Projected Fund Balance	\$ 106,405

The subcommittee met and are recommending Council approve \$2,500 funding for promotional expenses for the Soroptimist Country Fair.



City of Rockwall
The New Horizon

Hotel Occupancy Tax

Program Year 2015

Application

MUST BE TYPED or PRINTED

DELIVER TO:

City of Rockwall Finance Office
Attn: Lea Ann Ewing
385 S. Goliad St., Rockwall, TX 75087
972-771-7700 lewing@rockwall.com

Organization Name: Soroptimist International of Rockwall
Name of Event: Rockwall Country Fair
Date(s) of Event: May 30, 2015
Funding Request \$: \$20,000
Website Address: www.RockwallCountryFair.com
Mailing Address: P.O. Box 372, Rockwall, TX, 75087
Physical Address:
Telephone: Fax:

Primary Contact Name: Karen Coughlin
(Project Director)
Mailing Address: 2360 Shorecrest Dr
Rockwall, TX 75032
Email Address: KarenCoughlin@ebby.com
Telephone: 972-567-6316 Fax:

Secondary Contact Name: Erin Atkins
(President/ Board Chairman)
Mailing Address: 1695 Ashbourne Dr.
Rockwall, TX 75087
Email Address: erin@hrkinsurance.com
Telephone: 972-740-0678 Fax:

- ▶ COMPLETE AN APPLICATION FOR EACH EVENT/PROGRAM/EXHIBIT REQUESTING FUNDS
- ▶ INCOMPLETE APPLICATIONS WILL NOT BE FORWARDED TO THE COUNCIL SUBCOMMITTEE

1. Mark an "X" next to the category or categories that your organization is requesting funds in the attached budget request.

☒ **Advertising/Tourism** Requested funding amount \$
Conducting solicitation or promotional programs that encourage tourists and delegates to come to the City of Rockwall.

☐ **Arts** Requested funding amount \$
Providing encouragement, promotion, improvement and application of the arts as it relates to the presentation, performance execution or exhibition of the major art forms in the City of Rockwall.

☐ **Historical** Requested funding amount \$
Providing historical restoration, preservation, programs and encouragement to visit preserved historic sites or museums located in the City of Rockwall.

2. Briefly state the purpose of your organization/mission statement: Improving the lives of women and children in our local community and through out the world.

3. Does your organization have paid staff? No
Yes # Full-Time # Part-Time

4. Does your organization use volunteers? Yes
Yes Approximately how many? Over 50

5. Is the event/program that the organization is requesting Hotel Tax funds held in/on City-owned property?
Yes Name location: Land adjacent to the Rockwall County Courthouse

If you are holding your event in/on city-owned property, the City may, in lieu of funds, donate the cost of the facility/property rental for that event.

6. Will your event be held in "The Downtown" or adjacent to Lake Ray Hubbard? No
Yes Name location:

7. Will your organization provide special event insurance coverage for the event/program if held on City property? Yes
Yes Name of Insurance Company: Philadelphia Insurance Company

8. List all other sources of funding your organization receives for this event. Include event budget (use the required budget form attached). Sponsorships, vendor fees, kid zone fees, food and beverage sales.

9. List the programs, activities, exhibits, or event for the upcoming fiscal year (Oct. 1, 2014-Sept. 30, 2015) that the requested Hotel funding will support partially or in full.
Rockwall Country Fair, Antique Car Show, Live Music, Country Fair Games, Vendor/Craft Show, Kid Zone (including Rides and Bounce Houses).

10. Provide 3 years attendance history for the above listed programs, activities, exhibits or event in #9 above.

Event	Year	Event Duration (in Days)	Audience Size	# of Attendees in hotel rooms
Rockwall Country Fair	2014	1	400	50
Lassos & Lace	2013	1	300	10
Lassos & Lace	2013	1	250	10

11. How do the requested budget expenditures meet the definition of the categories marked in #1? Advertising/Tourism, Arts, Historical
Funding will be used to advertise and promote this event and Rockwall. The location is very visible, right off the Interstate 30 service road. The event is expected to enhance tourism by major marketing campaign including news articles, social media, bill boards, etc.
12. What specific market will you target with the event/program's marketing plan? Attach up to 3 examples and evidence of marketing area and readership (Label Exhibit C).
Statewide Vendors/Food Trucks and families all over North Texas and surrounding areas looking for a fun family day.
13. Describe in detail how your event/program will promote tourism and the hotel industry in Rockwall.
The Rockwall Country Fair will continue to promote Rockwall as a Texas music destination. Social Media, such as facebook, the website, will promote the area and event.
14. Describe the organization's long-term plan (3-5 year) in regard to the program/event that funds are being requested.
Soroptimist International of Rockawll would like to continue to partner with the city and county to create a long term annual event for North Texans.
15. The City of Rockwall must require segregated accounting of its Hotel funds. Organizations must maintain and account for revenue provided from the tax authorized by section 351.101(a) within one of the two options listed below.
- Separate checking account without combining with any other revenues or maintained in any other bank account or
 - Maintain a line item accounting, whereby the Hotel revenues may not be combined with any other revenues or expenditures. The funds may be maintained in the same bank account, provided they are reported as a separate line item in the organization's budget. Interest earned on the Hotel revenues must be used to support the event/program as well.

Will the organization be able to segregate the accounting process in either a) or b) above? Yes

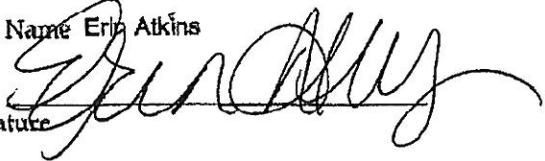
16. Provide all of the following documentation with this application and label each as outlined below.

Exhibit A	Proposed budget for each event/program using attached form
Exhibit B	Letter of determination certifying federal tax exempt 501(c)(3) status
Exhibit C	Examples and evidence of marketing area and readership (limit 3)
Exhibit D	List members of the governing body including name, position, mailing address and phone number

We certify, to the best of our ability, that the information in this application, including all exhibits and supporting documentation is true and correct to the best of our knowledge. It is understood and agreed that any funds awarded as a result of this application will be used for the purpose set for herein and the program guidelines.

President/Board Chairman:

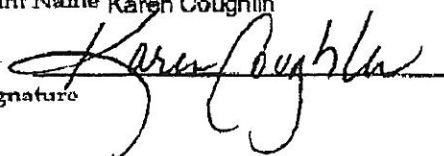
Print Name Erin Atkins

Signature 

Date 03/25/2015

Event/Program Director:

Print Name Karen Coughlin

Signature 

Date 03/25/2015

Both signatures are required for application to be considered complete.

EXHIBIT A

Hotel Occupancy Tax Funding Request
Event/Program Budget - Program Year 2015

Financial information (round to the nearest dollar). Include a completed copy of this budget with funding request.

Organization Name: Soroptimist International of Rockwall
 Event/Program Name: Rockwall Country Fair
 Requested Funding: \$ 20,000

Expenses (for this project only)	Funding Request	Cash from all other sources	In-Kind, no cash Paid (value of volunteered services or goods)	Total a + b + c
	a	b	c	= d
1. Personnel				
Administrative				
Artistic				
Technical				
Other personnel				
2. Fees for outside professional service				
Administrative				
Artistic				
Technical				
3. Space Rental				
4. Equipment Rental		\$17,500		
5. Travel/Transportation				
6. Promotion/Printing	\$20,000			
7. Costumes/Royalties				
8. Other (supplies, postage etc.)		\$2,500		
9. Sub -Totals				
10. Total Expenses				\$40,000

Revenues (for this project only)				
1. Total Amount of funding request	\$20,000			
2. Admissions (ticket and concessions)		\$35,000		
3. Donations		\$20,000		
4. Organizational funds budgeted				
5. Grants (State)				
6. Other (list):				
7. Other (list):				
8. Other (list):				
9. Other (list):				
10. Total income and contributions		\$55,000		
11. Total In-Kind				
12. Total Revenues				\$55,000

Financial Information (for this project only)				
Fiscal Year	2011	2012	2013	2014
Total Revenues				\$44,036
Total Expenses				\$16,102
Total Prior Year Hotel funds awarded				\$2,000

March 10, 2005

Debbie Branch, President
Soroptimist International of Rockwall, TX
PO Box 372
Rockwall, TX 75087

Dear Debbie,

Soroptimist International of Rockwall has been included in the federation's group exemption with the Internal Revenue Service (IRS). The letter granting that group exemption is enclosed and should be kept on file in your club's permanent records. If the club needs to provide proof of its charitable, 501(c)(3) status, you should make a copy of the letter and always retain the original. SIA's group exemption number is 3899. This number must be included on the 990 forms which you must file annually with the IRS if your gross receipts are \$25,000 or more. SIA will NOT be filing a group return. Form 990 must be filed by November 15 if your fiscal year ends on June 30. If the club receives a 990 form in the mail, it must be completed and returned even if gross receipts are less than \$25,000. Gross receipts means ALL revenue received by the club in the form of dues, donations, grants, interest and fundraising revenue in ALL club accounts.

Please note on page 2 of the enclosed letter the information that must be available for public inspection upon request. Note also, that certain income may be subject to unrelated business income tax (UBIT). Unrelated business income is defined as "income from a trade or business, regularly carried on, that is not substantially related to the charitable purpose that is the basis for the organization's exemption." IRS publication 598 deals with this subject. If you are in doubt, please ask us or consult with a non-profit tax consultant.

Always use the CLUB'S employee identification number (EIN). Your club's EIN is 75-2056847. Never use SIA's EIN. The club's EIN should be used on all bank accounts, IRS or state filings and other legal or accounting documents. It is a unique identifier, like a personal social security number and should be protected and maintained by the club indefinitely. If for any reason you change your EIN, headquarters must be notified.

All club financial reports and audits should be prepared in a timely manner and must be kept on file in the club. SIA will NOT be filing any consolidated financial reports with the IRS. If the club changes its fiscal year, SIA and the IRS should be notified.

The paperwork that you submitted is on file here at headquarters and must be retained for the IRS. Copies of both the request for inclusion and the letter of agreement that your club signed should be kept with the club's permanent records. The agreement is as binding as Soroptimist law and failure to meet the requirements of this agreement might jeopardize your club's good standing. If the club revises its bylaws, please send a copy to headquarters after adoption. While we reviewed bylaws only for possible conflict with the IRS requirements for 501(c)(3) organizations, we did notice that many club bylaws are very outdated. Sample club bylaws are available and we will begin reviewing them to make sure that they reflect modern club culture and operation. If you haven't revised your bylaws in the last 15 years, they are probably due for complete revision.

All of the above requirements are not new. These same rules applied to clubs under SIA's old 501(c)(4) group exemption, but the new designation has increased benefits and therefore is monitored by the IRS more closely. The new exemption means that the club is now able to

receive grants and corporate contributions to help conduct projects and programs that meet our tax exempt purpose. Participating in SIA identifying programs like Women's Opportunity Awards, Violet Richardson Awards and the prevention of domestic violence initiatives will help ensure that your club is fulfilling its purpose. Make sure that your club is familiar with SIA's strategic plan and choose club projects that fit under the strategic goals and objectives. The plan is available right on the SIA home page www.soroptimist.org. On the home page, just click "Our vision and mission".

Individuals may also make tax deductible donations to the club. All donations should be acknowledged. Receipts **MUST** be issued for donations greater than \$250. This can be done in letter form. Neither SIA nor the club should give individual tax advice, but as of this date, members who itemize deductions may include the SI and SIA portion of their dues as a charitable donation. Region and club dues may also be deductible if nothing of substantial extrinsic value is received in return. Hence, if your dues payment includes meal assessments, you shouldn't deduct that portion for meals consumed. Expenses to attend conventions and conferences may also be deductible with certain limitations. As always, members should be instructed to consult their own tax advisors.

Individuals contributing to SIA should send their checks, payable to Soroptimist International of the Americas, directly to headquarters and these donations will be acknowledged with a receipt and credited towards recognition programs like the Laurel Society. Legacies and bequests are deposited in the Endowment Fund. Clubs and regions are generally not equipped to handle large bequests, especially if they contain donor restrictions. Members wishing to support Soroptimist should be encouraged to name SIA in their estate planning for large gifts, rather than the local club. Large bequests at the local level can become such a substantial part of the local club's assets that the IRS might consider the club to be a private foundation and therefore not eligible to be included in SIA's group exemption. While clubs should have reasonable levels of reserves available, our purpose is not to amass wealth, but conduct projects and programs that make a difference for women.

Remember that this 501(c)(3) group exemption is a federal designation. The exemption is from federal taxes only. Your state may have additional tax and filing requirements for not for profit organizations. It is up to the club to know the rules in their state and local jurisdictions.

If you have any questions, please don't hesitate to contact us at headquarters. We are pleased to be able to provide this service to your club and to include the club in our group exemption. The average cost to secure such a designation on your own would have cost about \$1800. We hope that you will be generous in remembering SIA when making charitable distributions from your fundraisers. SIA needs both dues and donations to continue providing quality programs, products and services to our 44,000 members in 1500 clubs in 19 countries.

Sincerely,



Leigh Wintz, CAE
Executive Director

cc: Board of Directors
Fund Development Council
Region Governors

INTERNAL REVENUE SERVICE
P. O. BOX 2508
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date: **NOV 26, 2002**

DLN: 17053200049002
Contact Person: LYNN A BRINKLEY - ID# 31435
Contact Phone #: 877-829-5500
Addendum Applies: No
GROUP EXEMPTION #: 3899

SOROPTIMIST INTERNATIONAL OF THE AMERICAS INC
23-2154856
2 PENN CENTER 1000
PHILADELPHIA, PA 19102-1721

Dear Applicant:

We have considered your application for a group exemption letter recognizing your subordinates as exempt from federal income tax under section 501(a) of the Internal Revenue Code as organizations of the type described in section 501(c)(3).

Our records show that you were recognized as exempt from federal income tax under section 501(c)(3) of the Code. Your exemption letter remains in effect.

Based on information you supplied, we recognize your subordinates whose names appear on the list you submitted as exempt from federal income tax under section 501(c)(3) of the Code.

Additionally, we have classified the organizations that you operate, supervise, or control, and that are covered by your notification to us, as organizations that are not private foundations because they are organizations of the type described in section 509(a)(2) of the Code.

Donors may deduct contributions to your subordinates as provided in section 170 of the Code. Bequests, legacies, devises, transfers, or gifts to your subordinates or for their use are deductible for federal estate and gift tax purposes if they meet the applicable provisions of section 2055, 2106, and 2522 of the Code.

Your subordinates whose gross receipts each year are normally more than \$25,000 are each required to file Form 990, Return of Organization Exempt From Income Tax, by the 15th day of the fifth month after the end of their annual accounting period. If you prefer, you may file a group return for those subordinates that authorize you in writing to include them in that return. If you are required to file Form 990 for your own activities, you must file a separate return and may not be included on any group return that you file for your subordinates. The law imposes a penalty of \$20 a day when a return is filed late, unless there is reasonable cause for the delay. However, the maximum penalty imposed cannot exceed \$10,000 or 5 percent of your gross receipts for the year, whichever is less. For organizations with gross receipts exceeding \$1,000,000 in any year, the penalty is \$100 per day per return, unless there is reasonable cause for the delay. The maximum penalty for an organization with gross receipts exceeding \$1,000,000 shall not exceed \$50,000. This penalty may also be charged if a return is not complete, so your subordinates should make sure their returns are complete before filing them. Please advise your subordinates that, if they receive a Form 990 package in the mail, they should file the return even if their gross receipts do not exceed the \$25,000 minimum. If not required to file, a subordinate should simply attach the label provided, check the box in the heading to indicate that its annual gross receipts are normally \$25,000 or less and sign the return. This will allow us to update our records to show that the subordinate is not required to file and to delete that subordinate from the list of organizations that will receive Form 990 packages in future years.

Your subordinates are required to make their annual information return, Form 990 or Form 990-EZ, available for public inspection for three years after the later of the due date of the return or the date the return is filed. You and your subordinates are also required to make available for public inspection your group exemption application, any supporting documents and this exemption letter. Copies of these documents are also required to be provided to any individual upon written or in person request without charge other than reasonable fees for copying and postage. You may fulfill this requirement by placing these documents on the Internet. Penalties may be imposed for failure to comply with these requirements. Additional information is available in Publication 557, Tax-Exempt Status for Your Organization, or you may call our toll free number shown above.

Letter 2419 (DO/CG)

Your subordinates are not required to file federal income tax returns unless subject to the tax on unrelated business income under section 511 of the Code. Each organization subject to this tax must file Form 990-T, Exempt Organization Business Income Tax Return. In this letter we are not determining whether any of your subordinates' present or proposed activities are unrelated trade or business as defined in section 513 of the Code.

As of January 1, 1984, each of your subordinates is liable for social security taxes under the Federal Insurance Contributions Act on remuneration of \$100 or more they pay to each of their employees during a calendar year. Your subordinates are not liable for the tax imposed under the Federal Unemployment Tax Act (FUTA).

Each year, at least 90 days before the end of your annual accounting period, please send the items listed below to the Internal Revenue Service Center at the address shown below.

1. A statement describing any changes during the year in the purposes, character, or method of operation of your subordinates;
2. A list showing the names, mailing addresses (including Postal ZIP codes), actual addresses if different, and employer identification numbers of subordinates that, since your previous report:
 - a. Changed names or address;
 - b. Were deleted from your roster; or
 - c. Were added to your roster
3. For subordinates to be added, attach:
 - a. A statement that the information on which your present group exemption letter is based applies to the new subordinates;
 - b. A statement that each has given you written authorization to add its name to the roster;
 - c. A list of those to which the Service previously issued exemption rulings or determination letters;
 - d. A statement that none of the subordinates is a private foundation as defined in section 509(a) of the Code if the group exemption letter covers organizations described in section 501(c) (3);
 - e. The street address of each subordinate whose mailing address is a P.O. Box; and
 - f. The information required by Revenue Procedure 75-50, 1975-2 C.B. 587, for each subordinate that is a school claiming exemption under section 501(c) (3). Also include any other information necessary to establish that the school is complying with the requirements of Revenue Ruling 71-447, 1971-2 C.B. 230. This is the same information required by Schedule B, Form 1023, Application for Recognition of Exemption Under Section 501(c) (3) of the Internal Revenue Code.
4. If applicable, a statement that your group exemption roster did not change since your previous report.

Please mail the information requested in this letter to the following address:

Internal Revenue Service
Ogden UT 84201

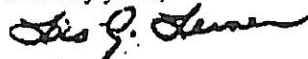
Your Group Exemption Number is 3899. Your subordinates are required to include this number on each Form 990, Return of Organization Exempt From Income Tax, and Form 990-T, Exempt Organization Business Income Tax Return, that they file. Please advise your subordinates of this requirement and provide them with the Group Exemption Number.

If the heading of this letter indicates that an addendum applies, the enclosed addendum is an integral part of this letter. Because this letter could help resolve any questions about the exempt status and foundation status of your subordinates, you should keep it for your records.

We have sent a copy of this letter to your representative as indicated in your power of attorney.

If you have any questions, please contact the person whose name and telephone number are shown in the heading of this letter.

Sincerely yours,



Lois G. Lerner
Director, Exempt Organizations

PRESENTS



SATURDAY, MAY 30


10AM - 8PM

1111 E YELLOW JACKET LN ★ ROCKWALL, TX

(on the corner of T L Townsend and the I-30 Service Road)

FREE ADMISSION

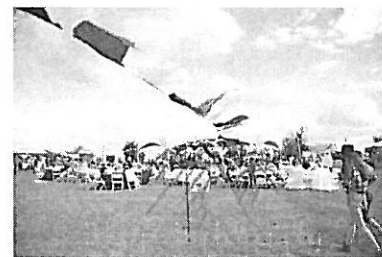
**Live Music, Rides, Games,
Vendors, Food Trucks, Beverages and More!**

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64°  7-day Forecast

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Rockwall / Rowlett

First Rockwall County fair to be held Saturday

 Share  Tweet  Email [Comment](#)  Print

By LIZ FARMER  

neighborsgo

Published: 09 June 2014 03:45 AM

Updated: 03 June 2014 03:45 AM

The first Rockwall County fair will be from 4 to 11 p.m. Saturday at Rock-wall Technology Park, 2610 Interstate 30 Frontage Road in Rockwall.

Activities will include live music, auctions, balloon rides and a chili cook-off.

Tickets are \$20 for adults, \$10 for kids ages 4 to 11 and free for kids under 3. Family packs with two adult tickets and two kids tickets are \$50. Proceeds will benefit Rockwall Soroptimist, an international women's organization. For more information, visit soroptimistrockwall.org.

On Twitter:

@R_R_News

 Share  Tweet  Email [Comment](#)  Print

Promoted Stories From The Web

Exhibit D-

Erin Atkins, President, 1695 Ashbourne Dr., Rockwall, TX, 75087, 972-740-0678

Norma Morris, President Elect, 1365 FM 740, Heath, TX 75126, 903-413-9179

Judy Canterbury, Treasurer, 929 Grand Cypress Ln, Fairview, TX, 75069, 760-419-5227

Debbie Niems, Secretary, 502 Shoreview Dr., Rockwall, TX, 75087, 214-864-8130

Cookie Ray, Treasurer Elect, 785 Shores Blvd., Rockwall, TX, 75087, 214-662-3435

Frances Egan, Director, 2811 Rochell, Rockwall, TX, 75032, 214-546-6458

Madelyn Hill, Director, 5441 Ranger Dr, Rockwall, TX, 75032, 214-534-9740

Karen Coughlin, Director, 2360 Shorecrest Dr., Rockwall, TX, 75032, 972-567-6316

Sandy Hansen, Director, 801 Austin, Rockwall, TX, 75087, 214-284-4784

Ewing, Lea Ann

From: Erin Atkins <erin@hrkinsurance.com>
Sent: Thursday, March 26, 2015 4:05 PM
To: Ewing, Lea Ann
Subject: RE: HOT Application Rockwall Country Fair

Importance: High

Hi Lea Ann-

We would like to put a billboard up on I-30, hire a local news affiliate to run a social media campaign including print and online advertising, advertise the event in local newspapers and magazines, do an advertisement with the local movie theater, etc.

Please let me know if you need additional information.

Thank you,



Please take a minute and vote for Hanby Insurance as the Best of Lakeside 2015. Click the picture above or follow this link: <http://livingmagazine.net/vote-best-lakeside-2015/>

A handwritten signature in cursive script that reads "Erin Atkins".

Erin Atkins
Principal Agent/Agency Owner
Hanby Insurance

Rockwall:

Tel: 972-771-4110 x7014

Mesquite:

Tel: 972-285-0381 x7014

Text: 469-475-2001

E-fax: 214-975-1827

E-mail: erin@hrkinsurance.com

Site: www.hrkinsurance.com



Click to Connect:



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From: Ewing, Lea Ann [mailto:LEwing@rockwall.com]
Sent: Wednesday, March 25, 2015 3:23 PM
To: Erin Atkins
Subject: RE: HOT Application Rockwall Country Fair

Hi Erin,

I read the application and have a couple of questions. What types of advertising and promotional items would support the requested \$20,000. Would you specify please. I received a copy of the Poster and what else? I saw Billboard, which one? Thanks!

Thank you,

Lea Ann Ewing
Purchasing Agent
City of Rockwall
385 S. Goliad
Rockwall, TX 75087
972-771-7700 Voice
972-771-7728 Fax
www.rockwall.com

From: Erin Atkins [mailto:erin@hrkinsurance.com]
Sent: Wednesday, March 25, 2015 10:48 AM
To: Ewing, Lea Ann
Subject: HOT Application Rockwall Country Fair
Importance: High

Hello Lea Ann-

Attached is the Rockwall Soroptimist application for HOT funds for the Rockwall Country Fair. Please let me know if you require any additional information.

Thank you,



Erin Atkins
Principal Agent/Agency Owner
Hanby Insurance

Rockwall:

Tel: 972-771-4110 x7014

Mesquite:

Tel: 972-285-0381 x7014

Text: 469-475-2001

E-fax: 214-975-1827

E-mail: erin@hrkinsurance.com

Site: www.hrkinsurance.com



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CITY OF ROCKWALL

CITY COUNCIL MEMO

AGENDA DATE: 04/20/2015

APPLICANT: Maria Bonilla; *Winkelmann and Associates, Inc.*

AGENDA ITEM: **SP2015-007**; *Kroger Site Plan (SH-205 & Quail Run Road)*

SUMMARY:

Discuss and consider a request by Maria Bonilla of Winkelmann and Associates, Inc. on behalf of Mark Matise of MAKKO Goliad I, LP for the approval of a site plan for a grocery store and fuel center on an 11.28-acre tract of land identified as Lots 2 & 3, Block A, Quail Run Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N SH-205 OV) District, located at the southeast corner of the intersection of N. Goliad Street (SH-205) and E. Quail Run Road, and take any action necessary.

BACKGROUND:

The subject property is an 11.28-acre tract of land situated at the southeast corner of the intersection of N. Goliad Street (SH-205) and E. Quail Run Road and is zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses (*with the exceptions contained within Ordinance No. 00-28*). The property has been zoned for General Retail (GR) District land uses since Planned Development District 5 (PD-5) was originally approved on September 4, 1973 under *Ordinance No. 73-31*. According to the concept plan approved with this ordinance, the property was designation for a *Community Mini Mall Shopping Center*.

On October 2, 2000, the City Council approved *Ordinance No. 00-28*, which amended the previous Planned Development District ordinance to allow for a *Planned Shopping Center (on less than 19-acres)* and *Neighborhood Convenience Center*, restaurant with outdoor seating and drive-through facilities, pharmacy with drive-through facilities, and a retail convenience store limited to six (6) gas pump dispensers on the subject property. Additionally, the Planned Development District ordinance required site plan approval by the Planning and Zoning Commission and City Council, which was required on all site plan cases prior to the adoption of the current zoning ordinance (*Ordinance No. 04-38*). Submitted with the zoning change application was a preliminary concept plan that showed the construction of a 62,999 SF grocery store with attached retail store space estimated to be $\pm 27,000$ SF in size.

A site plan (*Case No. PZ2002-030-002*) conforming to *Ordinance No. 00-28* was approved by City Council on April 15, 2002. This site plan showed the subject property being subdivided into five (5) lots with a 61,508 SF grocery store and 8,900 SF of attached retail space being constructed on one of the lots. As part of this site planning process, the property was replatted and impact fees were paid. An outstanding tree mitigation balance of 691-inches was required to be satisfied as part of the approval of this site plan; however, no building permit was submitted.

SITE PLAN:

On March 13, 2015, the applicant, Maria Bonilla of Winkelmann and Associates, Inc., submitted an application requesting approval of a site plan for a 90,000 SF Kroger grocery store and gas

station on the subject property. The gas station will be located at the southeast corner of Quail Run Road and SH-205, and consist of a 352 SF convenience store and a fuel canopy that will house six (6) gas pump dispensers. The development will be accessible from two (2) access drives along Quail Run Road and one (1) along Memorial Drive, and will not have direct access to SH-205. According to the *Parking Requirement Schedule* in Article VI, *Parking and Loading*, of the Unified Development Code (UDC) the proposed development will require 362 parking spaces (*i.e.* $90,000 \text{ SF} / 250 \text{ SF} = 360 \text{ Parking Spaces}$; $352 \text{ SF} / 250 \text{ SF} = 1.4$ or $\sim 2 \text{ Parking Spaces}$). The submitted site plan shows that the development will incorporate 363 parking spaces and conform to all parking requirements.

With respect to the density and dimensional requirements contained in Planned Development District 5 (PD-5) and the UDC the applicant's plan, with the adoption of the conditions of approval, is in conformance with all applicable requirements with the exception of the aforementioned variance to the parking area restrictions.

LANDSCAPE PLAN:

According to the UDC, properties within the General Retail (GR) District are required to provide a minimum landscape percentage of 15% (*or net 10% with the maximum landscaping credits*) of the subject property's total square footage (*i.e.* $486,519 \text{ SF} * 15\% = 72,977 \text{ SF}$). The landscape plan provided by the applicant shows that $\sim 28\%$ of the total site would be landscaped, which equates to 135,980 SF landscaping. Included in this landscaping percentage is the N SH-205 OV District's landscape buffer requirements, which include: 1) a 20-foot landscape buffer adjacent to SH-205, 2) four (4) accent trees (*i.e.* 'Tuscarora' Crape Myrtle and Texas Redbud) per every 100 linear feet of street frontage, 3) three (3) canopy trees (*i.e.* Shumard Oak and Cedar Elm) per every 100 linear feet of street frontage, and 4) an 18"-24" berm and shrub row (*i.e.* Pfitzer Juniper). In addition, the plan shows that one (1) canopy tree (*i.e.* Texas Ash, Shumard Oak, and Southern Live Oak) will be planted for every 50 linear feet of frontage inside the ten (10) foot landscape buffers along Quail Run Road and Memorial Drive. These same canopy trees are also utilized as plantings around the drainage/detention pond located adjacent to Memorial Drive in the southeast corner of the subject property.

Per the requirements of the UDC the applicant is showing a 30-foot landscape buffer adjacent to the residential properties situated along the eastern property line. In this landscape buffer, the landscape plan shows that one (1) canopy tree (*i.e.* Southern Live Oak) will be placed every 25-feet adjacent to the residential properties and that a shrub row consisting of Pfitzer Juniper will be planted along the entire eastern property line. Additionally, the applicant is proposing to construct a precast masonry-screening wall in order to better screen the development from the residential properties. According to the Article XI, *Fences*, of Chapter 10, *Buildings and Building Regulations*, of the Municipal Code of Ordinances, "(p)recast solid fencing shall require special approval by the Planning and Zoning Commission." By recommending approval of this site plan per staff's conditions on April 14, 2015 the Planning and Zoning Commission approved the use of the proposed precast masonry-screening fence. With the proposed 30-foot landscape buffer and the fire-lane that wraps around the building, the proposed grocery store will be approximately 60-feet from the residential properties located adjacent to the eastern property line.

With respect to the required landscape standards, the proposed landscape plan is in conformance with all requirements of the UDC and Planned Development District 5 (PD-5).

TREESCAPE PLAN:

As stated above, under Case No. PZ2002-030-002 a Treescape Plan was approved indicating an outstanding balance of 691-inches of trees needing mitigation. This mitigation total was

calculated under the previous tree mitigation requirements, which preceded the current mitigation requirements that were adopted on June 21, 2004 by *Ordinance No. 04-38* and amended on June 15, 2009 by *Ordinance No. 09-23*. Staff has recalculated the outstanding tree mitigation requirements under the current ordinance and determined that the total outstanding tree mitigation balance for the subject property is 548-inches. The applicant's landscape plans indicated that a total of 497-inches of trees will be planted as part of this development leaving an outstanding balance of 51-inches of trees. The applicant has submitted a letter stating that they intend to pay \$6,375.00 (*i.e. 51-inches @ \$125.00/inch*) into the Tree Fund to satisfy the remaining tree mitigation.

PHOTOMETRIC PLAN:

The applicant has submitted a photometric plan and lighting cut sheets that demonstrate conformance to all lighting requirements contained within Article 7, *Environmental Performance*, of the UDC.

BUILDING ELEVATIONS:

The building elevations submitted by the applicant show the grocery store building utilizing a mixture of cultured stone veneer (*i.e. Palo Pinto Cobble and Granbury Cobble*), architectural concrete block (*i.e. Quik Brik*), cast stone and stucco. The applicant will be requesting a variance to the 20% natural or quarried stone requirement stipulated by the N SH-205 OV District for the purpose of allowing the proposed cultured stone veneer. The building will incorporate various architectural elements (*e.g. canopies, recesses/projections, outdoor patios, varied roof heights, etc.*) to meet the articulation requirements stipulated by the UDC; however, the applicant will be requesting a variance to the four (4) sided architectural requirements stipulated for properties within the N SH-205 OV District for the purpose of allowing the rear building elevation to be less ornate than the front and side elevations. Additionally, the rear of the building will require variances to the horizontal/vertical articulation requirements and to the minimum 20% natural, quarried or cultured stone material requirement. The purpose of the requested variance is due to the façade's lack of visibility from a public right-of-way. These variances are not uncommon for larger *big-box* developments (*see the Variance section of this case memo*), but are a discretionary decision for the City Council.

The proposed convenience store and fuel center will utilize the same architectural concrete block and cultured stone as the grocery store building. Both buildings will incorporate a mansard roof utilizing the same colored standing seam metal roof as the grocery store. The columns of the fuel canopy will be wrapped in the same masonry materials utilized on the convenience store building. *With the exception of the requested variances, the building elevations for both buildings meet the requirements of the N SH-205 OV and the General Commercial District as stipulated by the UDC and Planned Development District 5 (PD-5).*

According to Section 4.1.C.7 of Article V, *District Development Standards*, of the UDC, buildings in excess of 80,000 SF are required to submit a plan demonstrating that the building can be subdivide (*reasonably*) into multi-tenant spaces. The applicant has submitted a plan indicating that the building could be subdivided into four (4) tenant spaces with a service corridor leading to the loading docks. Staff has reviewed the plan and determined that it does meet the requirements stipulated by the UDC.

VARIANCES:

Based on the applicant's submittal staff has identified the following variances:

- (1) *Building Materials.*

- (a) *Masonry Material Requirements.* According to Section 6.11.C.1 of Article V, *District Development Standards*, of the UDC, each exterior wall that is visible from an open space or public street should incorporate a minimum of 20% natural or quarried stone (*i.e. excluding cultured or cast stone*). The applicant is requesting a variance to this requirement for the purpose of utilizing cultured stone veneer (*i.e. Palo Pinto Cobble and Granbury Cobble from Texas Stone Design, Inc.*) on all the exterior walls of the proposed grocery store and convenience store. *This variance will require a minimum of a ¾-majority vote to be approved by the City Council.*
- (b) *Stone Requirements.* According to Section 4.1, *General Commercial District Standards*, of the UDC, each exterior wall should incorporate a minimum of 20% stone (*e.g. natural, quarried or cultured*). The building elevations submitted by the applicant show stone percentages on each building façade ranging from two (2) percent to 23.9% (*i.e. East: 2%; North: 23.9%; South: 20.6%; West: 20.2%*). The rear elevation (*i.e. East Elevation*) is the only elevation that is less than 20%. *This variance will require a simple majority vote to be approved by the City Council.*

(2) *Building Form.*

- (a) *Articulation Requirements.* According to Section 4.1 of Article V, *District Development Standards*, of the UDC, all the facades of a building are required to meet minimum vertical and horizontal articulation requirements. In this case, the proposed grocery store building meets the horizontal and vertical articulation requirements on three (3) of the four (4) sides of the building. The only exception is the rear of the building in which the projections and off-sets are not deep enough to meet the minimum requirements. *This variance will require a simple majority vote to be approved by the City Council.*
- (b) *4-Sided Architecture Requirements.* According to Section 6.11.C.5 of Article V, *District Development Standards*, of the UDC, buildings shall be designed so that they are architecturally finished on all four (4) sides. This means that buildings are required to utilize the same materials, detailing and features on all four (4) sides of the building. In this case, the only side of the building that is not meeting this requirement is the rear of the building. *This variance will require a minimum of a ¾-majority vote to be approved by the City Council.*

With respect to the requested variances, all of the variances are typical on larger *big-box* developments. The one exception is the variance request for cultured stone in lieu of natural or quarried stone. As part of this request, staff requested that at a minimum the applicant utilize a cultured stone product that contains pigment throughout the product. This is similar to the cultured stone products that have been granted in the Harbor District. While these variances are typical of a larger development, variances in general require recommendation by the Planning and Zoning Commission and discretionary approval by the City Council.

ARCHITECTURAL REVIEW BOARD (ARB):

On March 31, 2015, the Architectural Review Board (ARB) reviewed the building elevations provided with the original submittal. The board expressed concern that the building did not translate well in relation to comparable development within the City and did not adhere to the overlay district requirements. The board members specifically stated that the building lacked material variation, articulation, and architectural elements. Prior to making a recommendation the board asked the applicant to reconsider the building in relation to comparable development within the City and provide a product that better addressed the City's requirements. The applicant has since provided staff with updated building elevations that better address the

ARB's comments and the City's codes. This project will be re-reviewed by the board prior to the Planning and Zoning Commission meeting on April 14, 2015. Any recommendations from the board will be provided by the ARB Chairman prior to staff presenting the case.

On April 14, 2015, the ARB reviewed the resubmitted building elevations. The board felt that the intent of their comments were addressed; however, they did request that the applicant extend the glass at the entryways from above the canopies to grade. The purpose of this request was to create a more appealing storefront. The applicant has agreed to comply with the Board's recommendations.

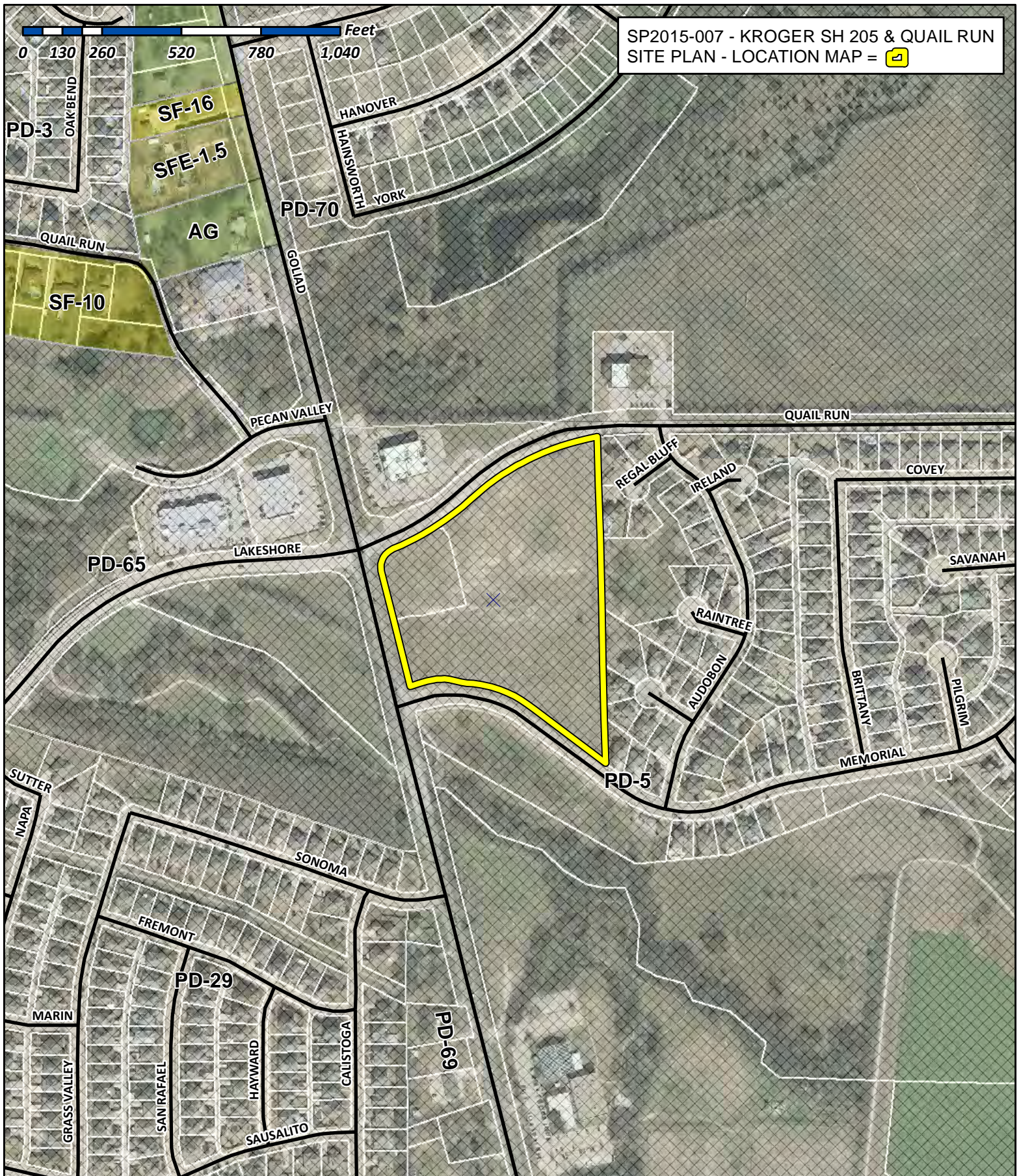
RECOMMENDATIONS:

Should the City Council choose to approve the applicant's request, then the following conditions of approval should be adopted with this case:

- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) All proposed grading, drainage and utility improvements will need to adhere to the Engineering Department's *Standards of Design Manual*.
- 3) Per the requirements of the N SH-205 OV District no light pole, pole base or combination thereof shall exceed 20-feet. Additionally, all lighting fixtures shall focus light downward and/ or be shielded;
- 4) Prior to the issuance of a building permit the applicant will need to satisfy all outstanding tree mitigation;
- 5) Any construction or building necessary to complete this *Site Plan* request must conform to the requirements set forth by the UDC, the 2009 International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION:

On April 14, 2015, the Planning and Zoning Commission approved a motion to recommend approval of the site plan and variances per staff's recommendations by a vote of 7-0.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

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CONSULTING CIVIL ENGINEERS * SURVEYORS
6750 HILLCREST PLAZA DR., STE. 325
DALLAS, TX 75230 (972) 490-7090 FAX (972) 490-7099

April 8, 2015

Ryan C. Miller, AICP
Planning Manager/Planning & Zoning Division
City of Rockwall
385 S. Goliad Street
Rockwall, TX 75087
RMILLER@ROCKWALL.COM

RE: Kroger SW574
SP2015-007

Mr. Miller:

We respectfully request the following variances for the proposed Kroger project located at 1950 N Goliad St, Rockwall, TX 75087:

- Cultured Stone (Texas Stone) in place of natural stone
- Waiver for 20% stone on the rear elevation
- Waiver for horizontal and vertical articulations on the rear elevation
- Waiver for four sided architectural elements on rear elevation
- Waiver to the parking requirements to allow for more than two rows of parking in front of the building

Thank you for your consideration.

Sincerely,

A handwritten signature in cursive script that reads 'Maria C. Bonilla'.

Maria C. Bonilla, P.E., CFM
Vice President

Cc: Mike Clark, WAI
Christina Konrad, Kroger



*Southwest Division
Real Estate Department
1331 E. Airport Freeway
Irving, TX 75062
Phone: 972-785-6011
Fax: 972-785-6019*

April 8, 2015

Ryan Miller
Planning Manager
City of Rockwall – Planning & Zoning Division
385 S. Goliad Street
Rockwall, Texas 75087

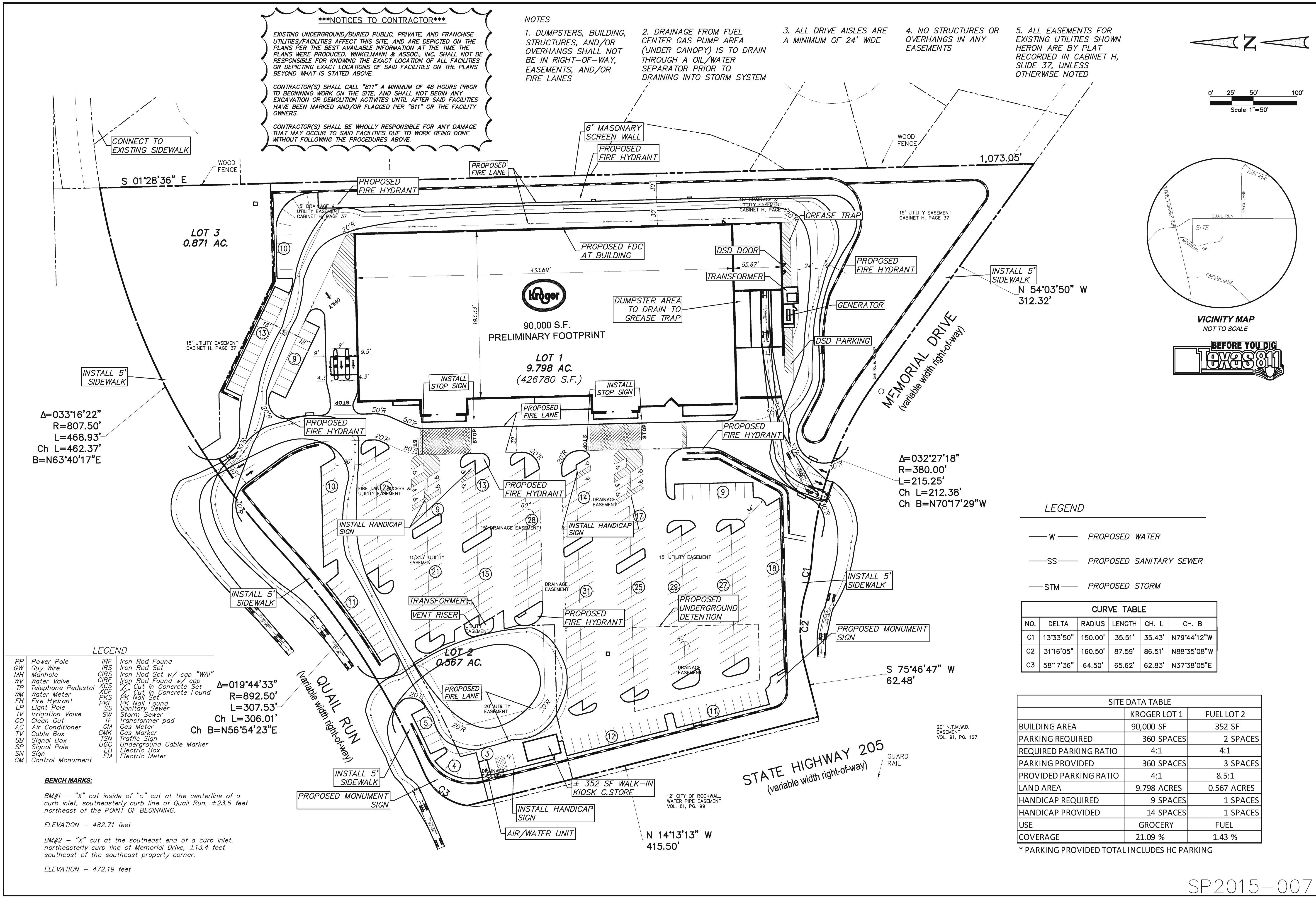
Dear Mr. Miller,

Kroger understands that there is an outstanding tree mitigation fee on the property we are planning to develop on at the southeast corner of Quail Run Road and Goliad Street in Rockwall, Texas. Kroger plans to pay \$6,375 for the remaining 51 inches of trees not covered in our landscape plan for the development.

If you have any questions or concerns, please contact me at 972-785-6020.

Sincerely,

Jackie Kreda
Real Estate
Kroger Southwest - Dallas



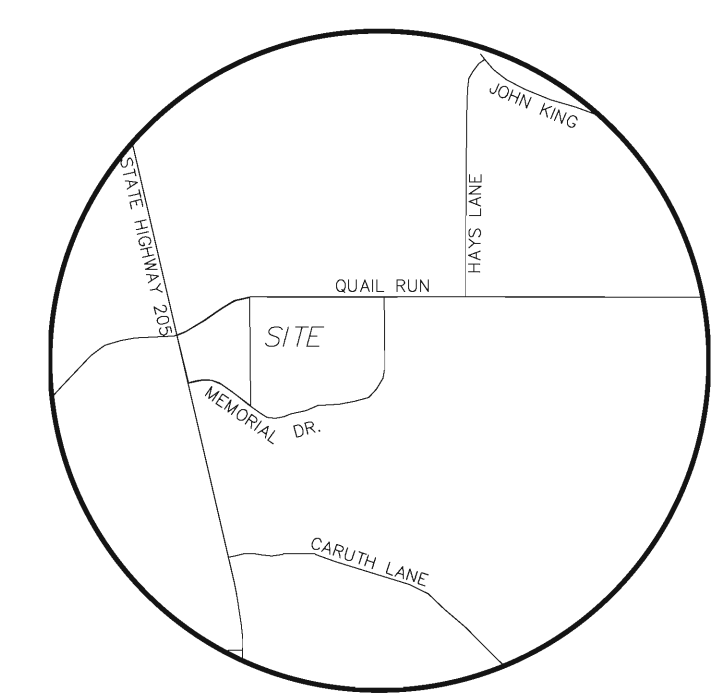
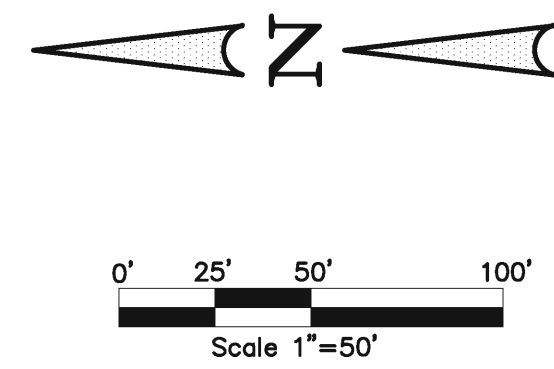
*****NOTICES TO CONTRACTOR*****

EXISTING UNDERGROUND/BURIED PUBLIC, PRIVATE, AND FRANCHISE UTILITIES/FACILITIES AFFECT THIS SITE, AND ARE DEPICTED ON THE PLANS PER THE BEST AVAILABLE INFORMATION AT THE TIME THE PLANS WERE PRODUCED. WINKELMANN & ASSOC., INC. SHALL NOT BE RESPONSIBLE FOR KNOWING THE EXACT LOCATION OF ALL FACILITIES OR DEPICTING EXACT LOCATIONS OF SAID FACILITIES ON THE PLANS BEYOND WHAT IS STATED ABOVE.

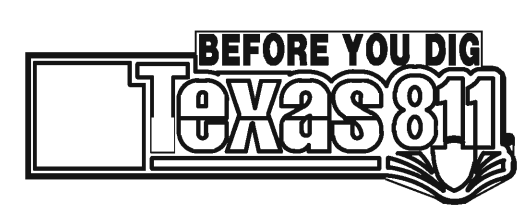
CONTRACTOR(S) SHALL CALL "811" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK ON THE SITE, AND SHALL NOT BEGIN ANY EXCAVATION OR DEMOLITION ACTIVITIES UNTIL AFTER SAID FACILITIES HAVE BEEN MARKED AND/OR FLAGGED PER "811" OR THE FACILITY OWNERS.

CONTRACTOR(S) SHALL BE WHOLLY RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO SAID FACILITIES DUE TO WORK BEING DONE WITHOUT FOLLOWING THE PROCEDURES ABOVE.

- NOTES**
1. DUMPSTERS, BUILDING, STRUCTURES, AND/OR OVERHANGS SHALL NOT BE IN RIGHT-OF-WAY, EASEMENTS, AND/OR FIRE LANES
 2. DRAINAGE FROM FUEL CENTER GAS PUMP AREA (UNDER CANOPY) IS TO DRAIN THROUGH A OIL/WATER SEPARATOR PRIOR TO DRAINING INTO STORM SYSTEM
 3. ALL DRIVE AISLES ARE A MINIMUM OF 24' WIDE
 4. NO STRUCTURES OR OVERHANGS IN ANY EASEMENTS
 5. ALL EASEMENTS FOR EXISTING UTILITIES SHOWN HEREON ARE BY PLAT RECORDED IN CABINET H, SLIDE 37, UNLESS OTHERWISE NOTED



VICINITY MAP
NOT TO SCALE



LEGEND

PP	Power Pole	IRF	Iron Rod Found
GW	Guy Wire	IRS	Iron Rod Set
MH	Manhole	CIRS	Iron Rod Set w/ cap "WAI"
WV	Water Valve	CIRF	Iron Rod Found w/ cap
TP	Telephone Pedestal	XOS	X Cut in Concrete Set
WM	Water Meter	XCF	X Cut in Concrete Found
FH	Fire Hydrant	PKS	Pk Nail Set
LP	Light Pole	PKF	Pk Nail Found
IV	Irrigation Valve	SS	Sanitary Sewer
CO	Clean Out	SW	Storm Sewer
AC	Air Conditioner	TF	Transformer pad
CB	Cable Box	GM	Gas Meter
SB	Signal Box	GMK	Gas Marker
SP	Signal Pole	TSN	Traffic Sign
SN	Sign	UGC	Underground Cable Marker
CM	Control Monument	EB	Electric Box
		EM	Electric Meter

BENCH MARKS:

BM#1 - "X" cut inside of "a" cut at the centerline of a curb inlet, southeasterly curb line of Quail Run, ±23.6 feet northeast of the POINT OF BEGINNING.

ELEVATION - 482.71 feet

BM#2 - "X" cut at the southeast end of a curb inlet, northeasterly curb line of Memorial Drive, ±13.4 feet southeast of the southeast property corner.

ELEVATION - 472.19 feet

LEGEND

— W —	PROPOSED WATER
— SS —	PROPOSED SANITARY SEWER
— STM —	PROPOSED STORM

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
C1	13°33'50"	150.00'	35.51'	35.43'	N79°44'12"W
C2	31°16'05"	160.50'	87.59'	86.51'	N88°35'08"W
C3	58°17'36"	64.50'	65.62'	62.83'	N37°38'05"E

SITE DATA TABLE

	KROGER LOT 1	FUEL LOT 2
BUILDING AREA	90,000 SF	352 SF
PARKING REQUIRED	360 SPACES	2 SPACES
REQUIRED PARKING RATIO	4:1	4:1
PARKING PROVIDED	360 SPACES	3 SPACES
PROVIDED PARKING RATIO	4:1	8.5:1
LAND AREA	9.798 ACRES	0.567 ACRES
HANDICAP REQUIRED	9 SPACES	1 SPACES
HANDICAP PROVIDED	14 SPACES	1 SPACES
USE	GROCERY	FUEL
COVERAGE	21.09 %	1.43 %

* PARKING PROVIDED TOTAL INCLUDES HC PARKING

6.

5.

4.

3.

2.

1.

No.

DATE

REVISION

1ST CITY RESUBMITAL

MB

APPROVAL

Winkelmann & Associates, Inc.

CONSULTING CIVIL ENGINEERS • SURVEYORS
17020 HILLCREST PLAZA, SUITE 325
ROCKWALL, TEXAS 75087
(972) 480-7990
FAX (972) 480-7998
www.winkelmann.com
Professional Engineer Registration No. 100866-00
Professional Surveyor Registration No. 100866-00
Surveyor & Engineer • Landscape & Architecture, Inc.

STATE OF TEXAS

THESE PLANS WERE PREPARED UNDER THE DIRECT SUPERVISION AND SEAL OF BONILLA-NICHOLS, P.E. PROVIDED, THESE ARE ISSUED FOR REVIEW ONLY. THESE ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES WITHOUT THE SIGNATURE OF THE ENGINEER.

04-03-2015

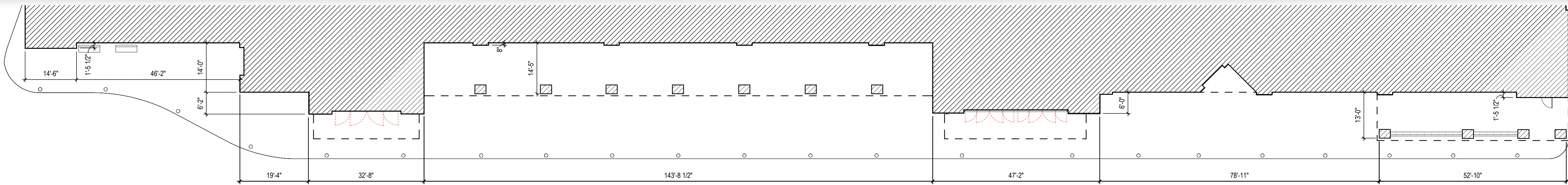
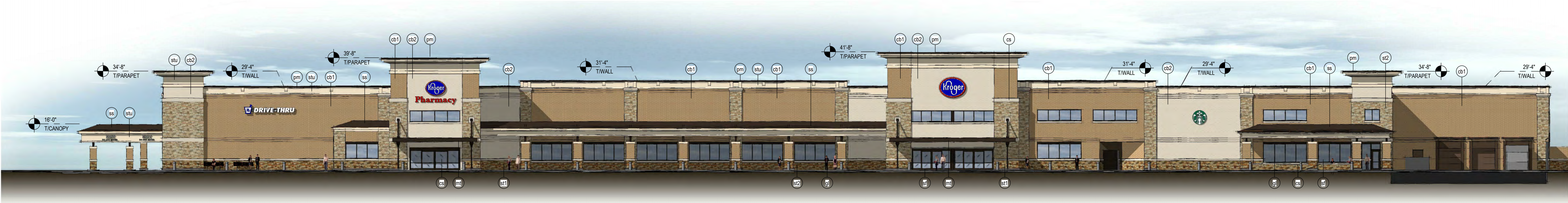
SITE PLAN

SW574

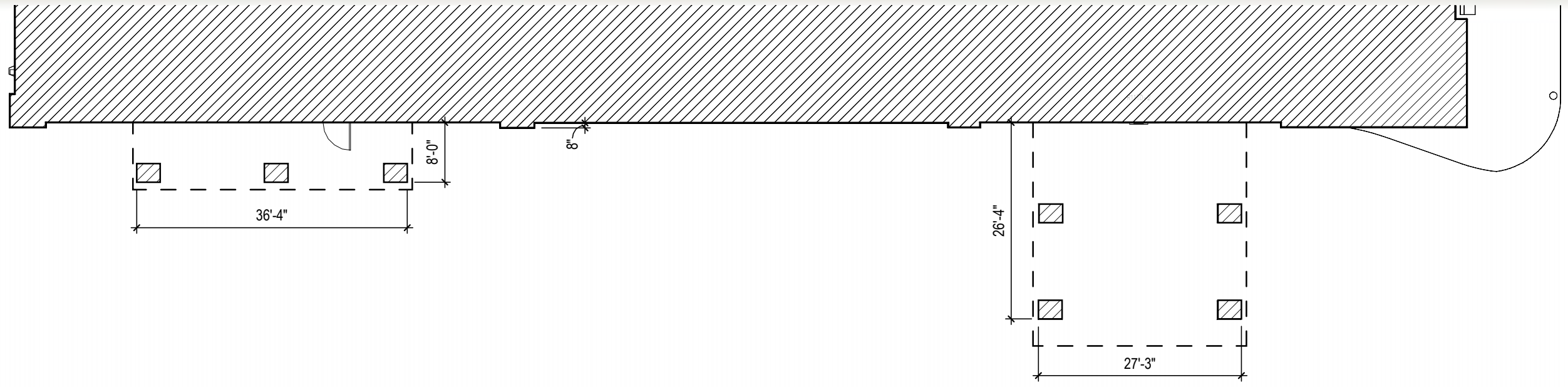
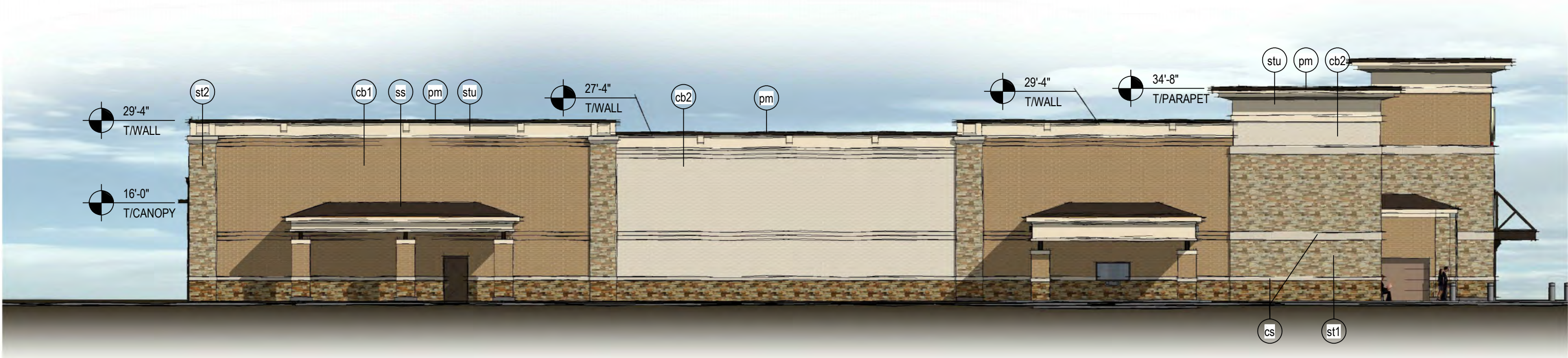
SEC N. GOLIAD ST. AND E. QUAIL RUN RD.

ROCKWALL, TEXAS

C-1.0



WEST ELEVATION



NORTH ELEVATION

Buildings over fifty thousand (50,000) square feet and under one-hundred thousand (100,000) square feet must include a minimum of six (6) architectural elements.

- Architectural Elements Provided:
- Canopies
 - Recesses/projections
 - Outdoor patios
 - Articulated ground floor levels or base
 - Articulated cornice line
 - Varied roof heights

FINISH SCHEDULE	
st1	Cultured Stone Veneer Texas Stone Design Inc. - Palo Pinto Cobble
st2	Cultured Stone Veneer Texas Stone Design Inc. - Granbury Cobble
cb1	Architectural Concrete Block Oldcastle - Quik Brik - Autumn Blend - 4"
cb2	Architectural Concrete Block Oldcastle - Quik Brik - Artic White - 4"
cb3	Architectural Concrete Block Oldcastle - Quik Brik - Autumn Blend - 8" split
cb4	Architectural Concrete Block Oldcastle - Quik Brik - Artic White - 8" split
cs	Continental Cast Stone 1103 St. Thomas Tan
mr	Mortar Amerimix - Light Tan
stu	Stucco Oyster Shell
ss	Standing Seam Metal Roof Dark Bronze
mt	Exposed Metal Paint to match "pm"
pm	Prefinished Metal Dark Bronze
sf	Dark Bronze
gl	Glazing

Material Percentages		
West		
Masonry		
Quik Brik	58.3%	90.5%
Stone	20.2%	
Stucco	12.0%	
Secondary Materials		
Metal	5.5%	9.5%
Cast Stone	4.0%	

Material Percentages		
North		
Masonry		
Quik Brik	55.0%	92.5%
Stone	23.9%	
Stucco	13.6%	
Secondary Materials		
Metal	4.2%	7.5%
Cast Stone	3.3%	



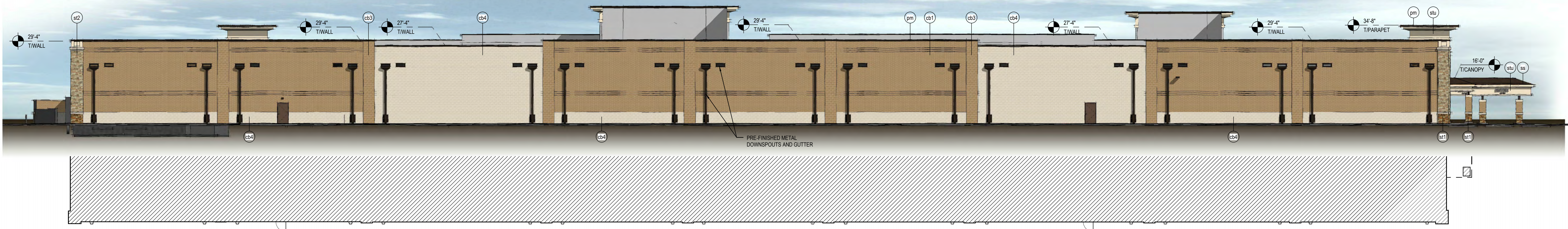
April 7, 2015

Kroger Store SW574

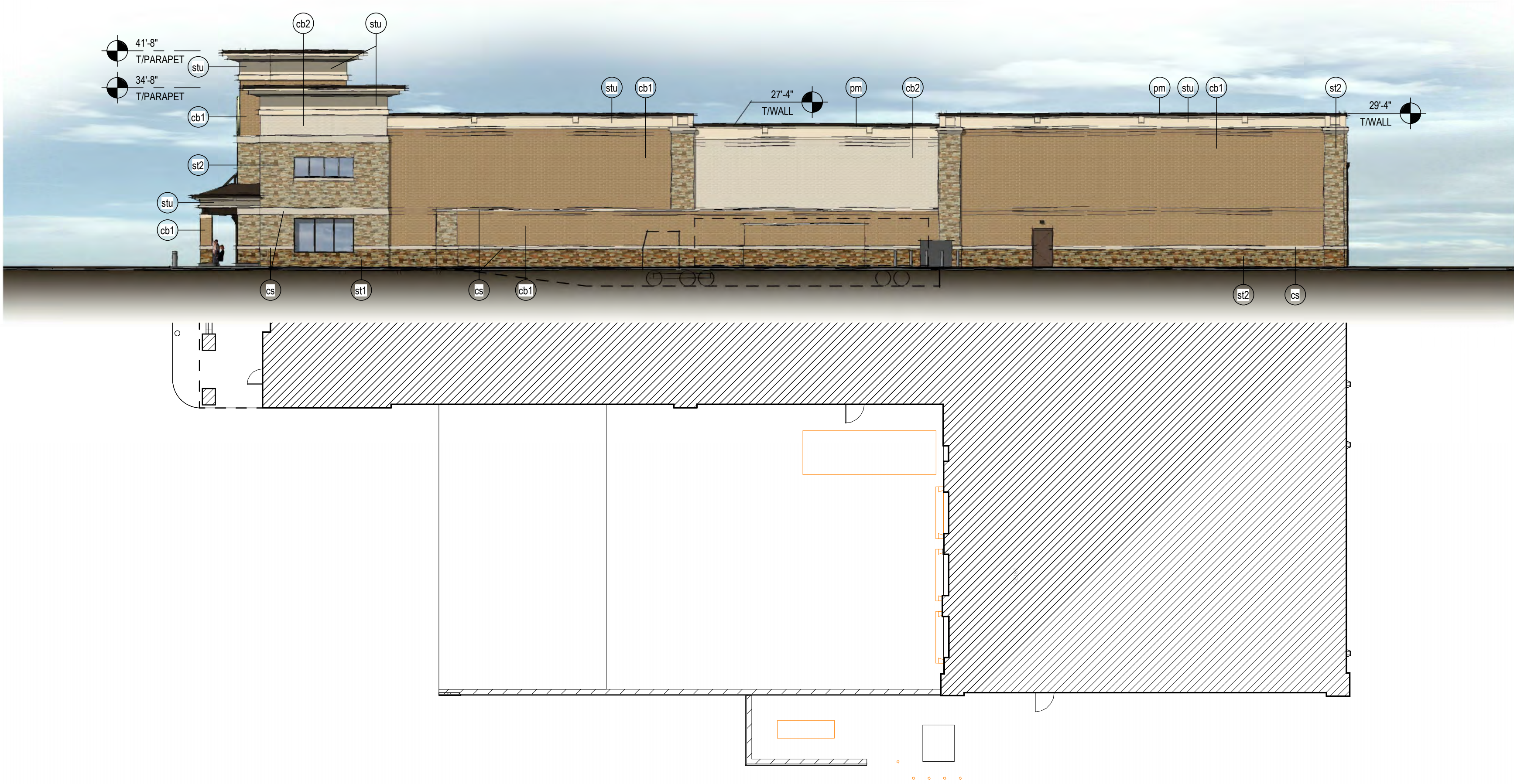
Rockwall, TX
K515406



SP2015-007



EAST ELEVATION



SOUTH ELEVATION

Buildings over fifty thousand (50,000) square feet and under one-hundred thousand (100,000) square feet must include a minimum of six (6) architectural elements.

- Architectural Elements Provided:
- Canopies
 - Recesses/projections
 - Outdoor patios
 - Articulated ground floor levels or base
 - Articulated cornice line
 - Varied roof heights

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cb4	Architectural Concrete Block Oldcastle - Quik Brik - Artic White - 8" split
cs	Continental Cast Stone 1103 St. Thomas Tan
mr	Mortar Amerimix - Light Tan
stu	Stucco Oyster Shell
ss	Standing Seam Metal Roof Dark Bronze
ml	Exposed Metal Paint to match "pm"
pm	Prefinished Metal Dark Bronze
sf	Dark Bronze
gl	Glazing

Material Percentages			
East			
Masonry			
Quik Brik	57.0%	98.0%	
Stone	2.0%		
Stucco	2.0%		
Split-face CMU	37.0%		
Secondary Materials			
Metal	1.99%	2.00%	
Cast Stone	0.01%		

Material Percentages			
South			
Masonry			
Quik Brik	60.2%	95.4%	
Stone	20.6%		
Stucco	14.0%		
Split-face CMU	0.6%		
Secondary Materials			
Metal	1.5%	4.6%	
Cast Stone	3.1%		



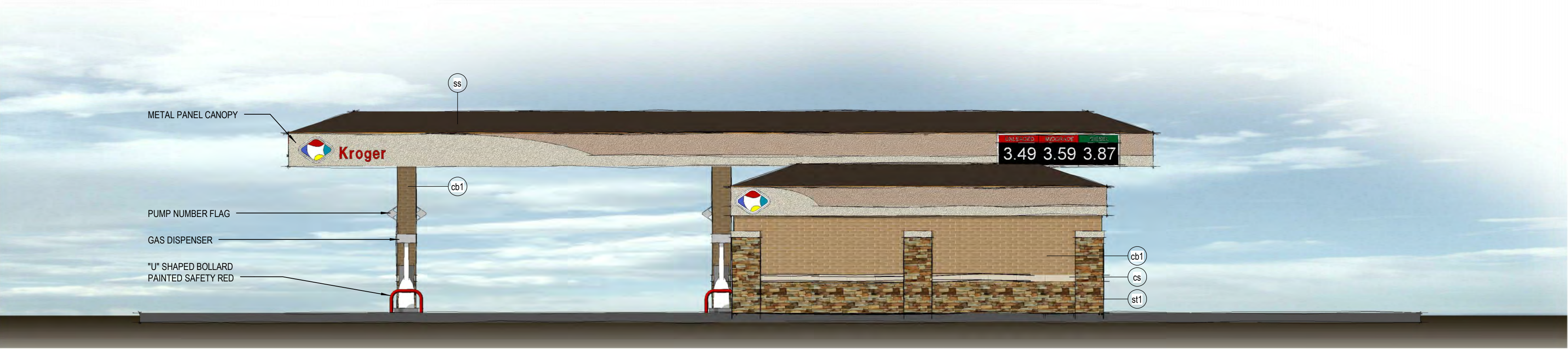
April 6, 2015

Kroger Store SW574

Rockwall, TX
K515406

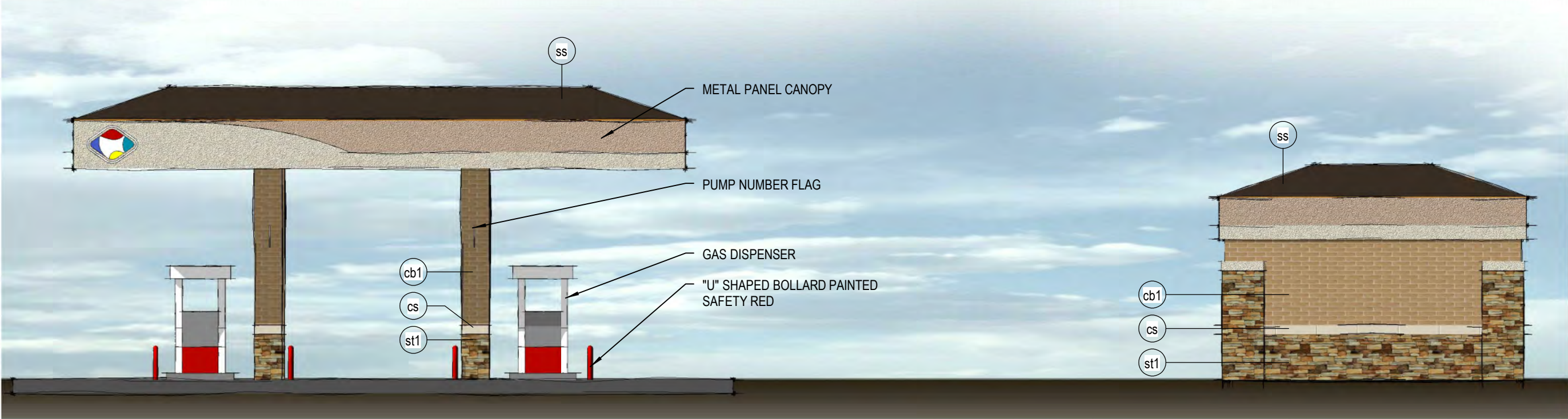


SP2015-007

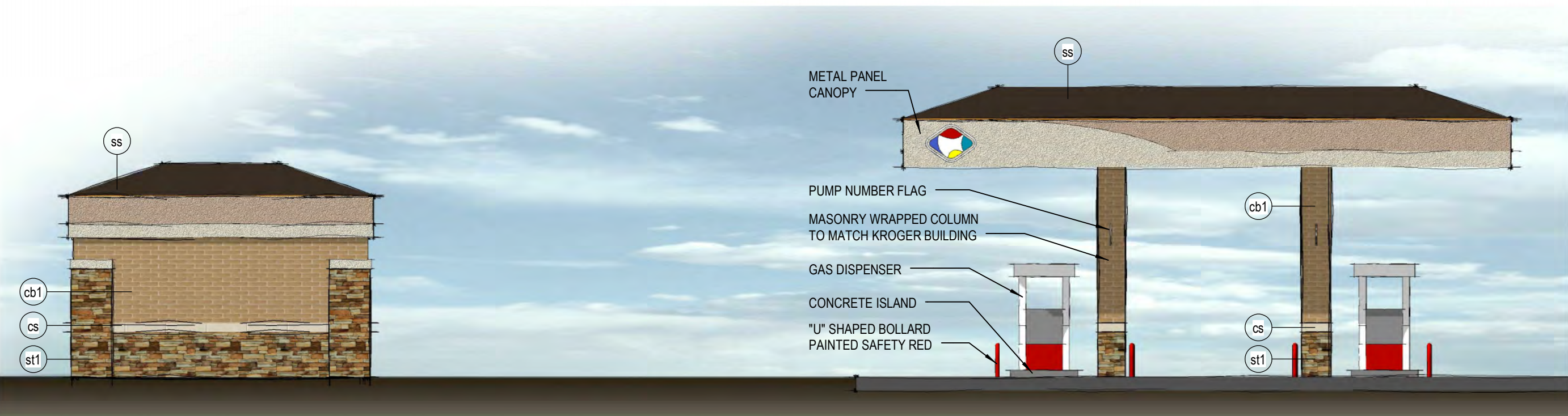


Material Percentages		
West		
Masonry		
Quik Brik	50.0%	94.0%
Stone	44.0%	
Secondary Materials		
Cast Stone	6.0%	6.0%

WEST ELEVATION

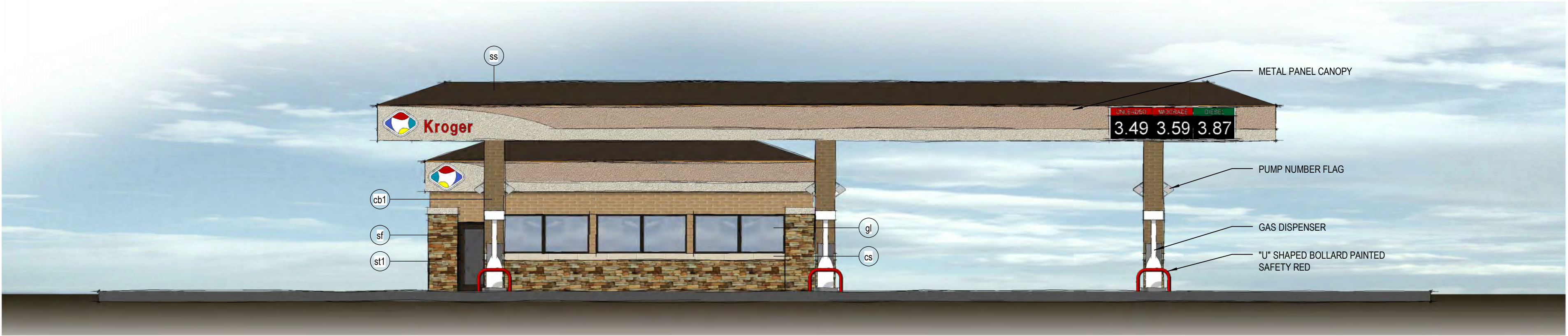


Material Percentages		
North & South		
Masonry		
Quik Brik	46.2%	94.2%
Stone	48.0%	
Secondary Materials		
Cast Stone	5.8%	5.8%



SOUTH ELEVATION

NORTH ELEVATION



Material Percentages		
East		
Masonry		
Quik Brik	27.5%	90.9%
Stone	63.4%	
Secondary Materials		
Cast Stone	9.1%	9.1%

EAST ELEVATION

FINISH SCHEDULE

- (st1) Cultured Stone Veneer
Texas Stone Design Inc. - Palo Pinto Cobble - Matching store materials
- (cb1) Architectural Concrete Block
Oldcastle - Quik Brik - Autumn Blend - 4" - Matching store materials
- (cs) Continental Cast Stone
1103 St. Thomas Tan - Matching store materials
- (mr) Mortar
Amerimix - Light Tan - Matching store materials
- (ss) Standing Seam Metal Roof
Dark Bronze - Matching store materials
- (st) Dark Bronze - Matching store materials
- (gl) Glazing - Matching store materials



April 6, 2015

Kroger SW574

Rockwall, TX
K515406



SP2015-007



1 VIEW FROM THE CORNER
OF QUAIL RUN RD. AND SH 205



2 VIEW FROM SH 205



3 VIEW FROM MEMORIAL DRIVE



4 VIEW FROM QUAIL RUN RD.



April 7, 2015

Kroger Store SW574

Rockwall, TX
K515406



SP2015-007



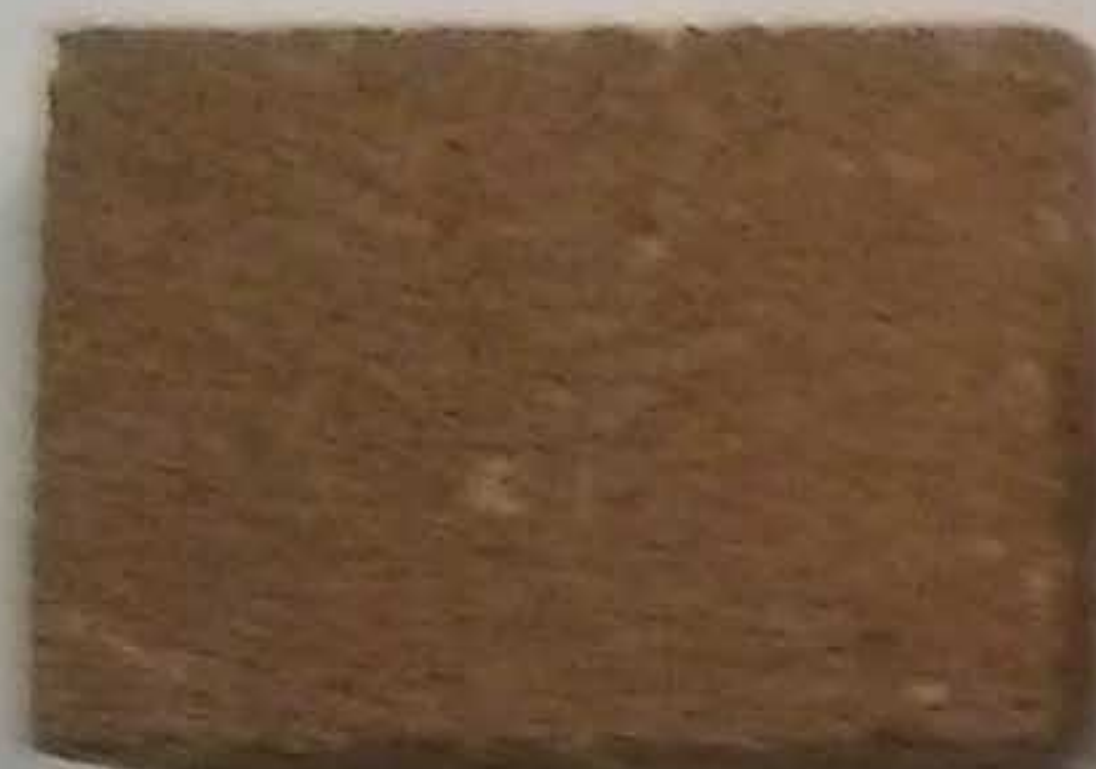
April 7, 2015

Kroger SW574

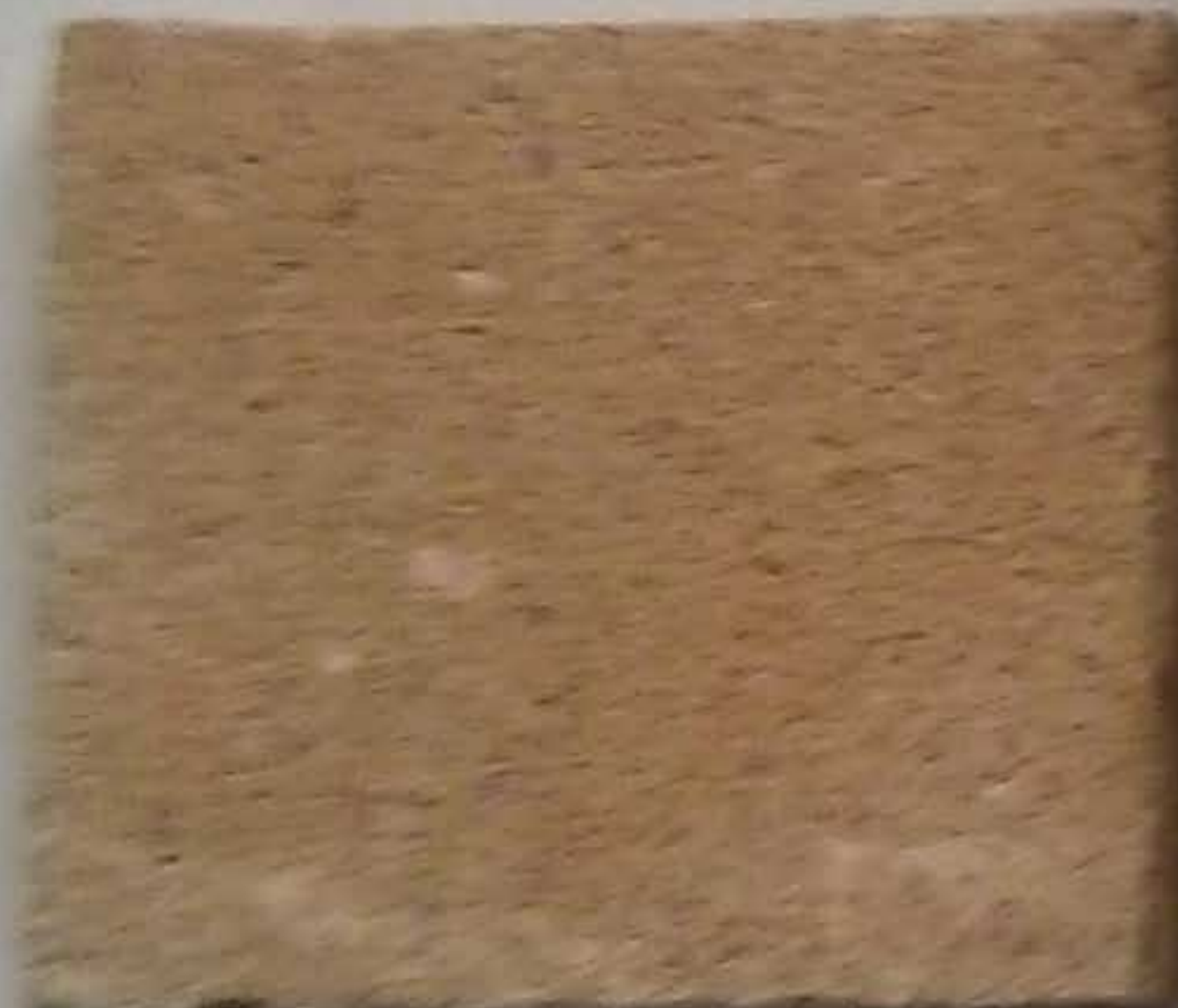
Rockwall, TX
K515406



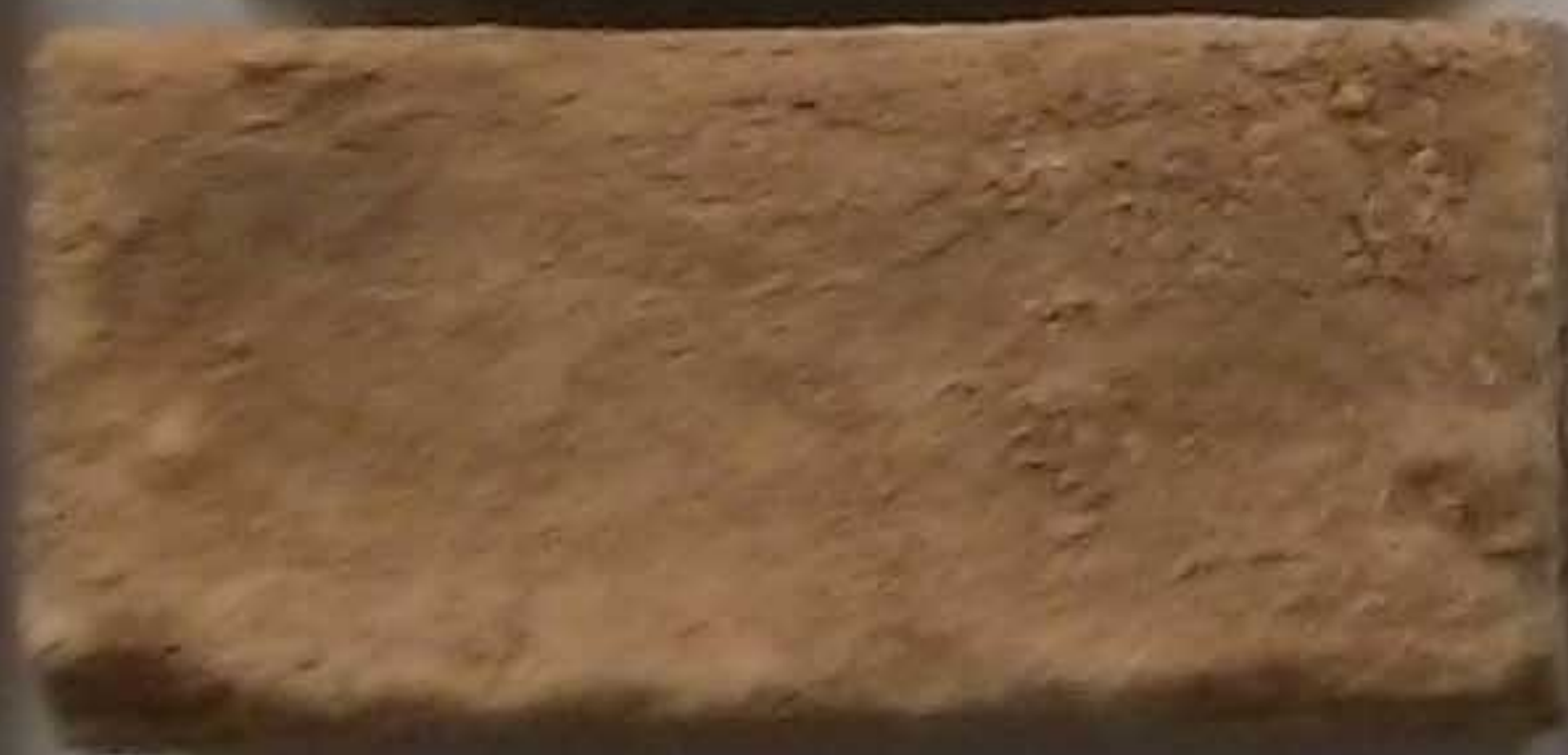
SP2015-007



Decorative Concrete Masonry
Oldcastle - Quik Brick - Autumn Blend



Decorative Concrete Masonry
Oldcastle - Quik Brick - Arctic White



Concrete Stone Veneer
Texas Stone Design Inc. - Palo Pinto Cobble



Cast Stone
Continental Cast Stone - 1103 St. Thomas Tan



Mortar
Amerimix - Light Tan



Concrete Stone Veneer
Texas Stone Design Inc. - Granbury Cobble



Metal Roof Panels
Berridge - Dark Bronze



Stucco
Oyster Shell



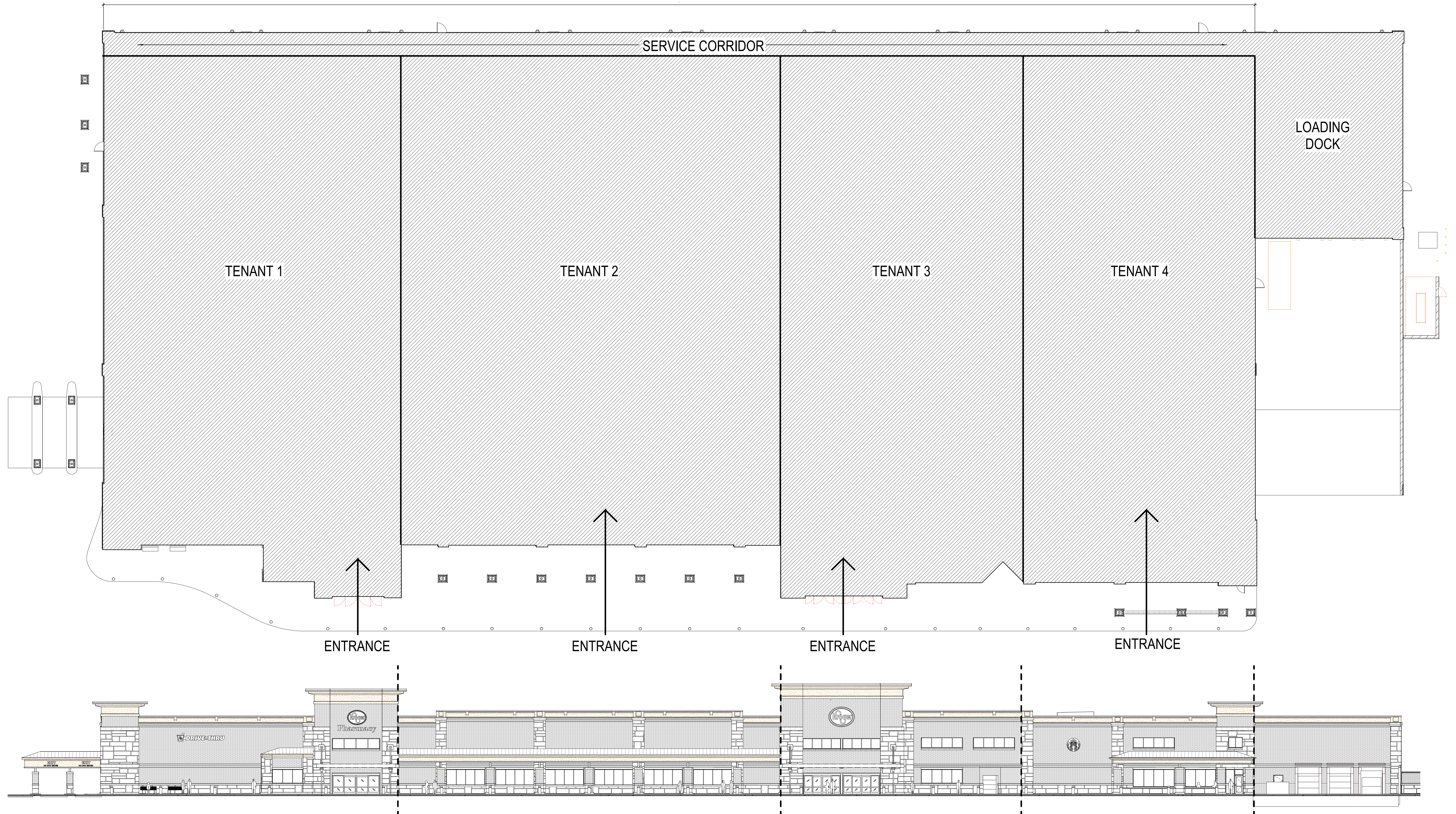
EXTERIOR MATERIAL SAMPLES

Kroger SW574 | Rockwall, TX

04-06-18



EXITS POSSIBLE OUT REAR OF BUILDING ALL ALONG SERVICE CORRIDOR



April 7, 2015

Kroger Store SW574

Rockwall, TX
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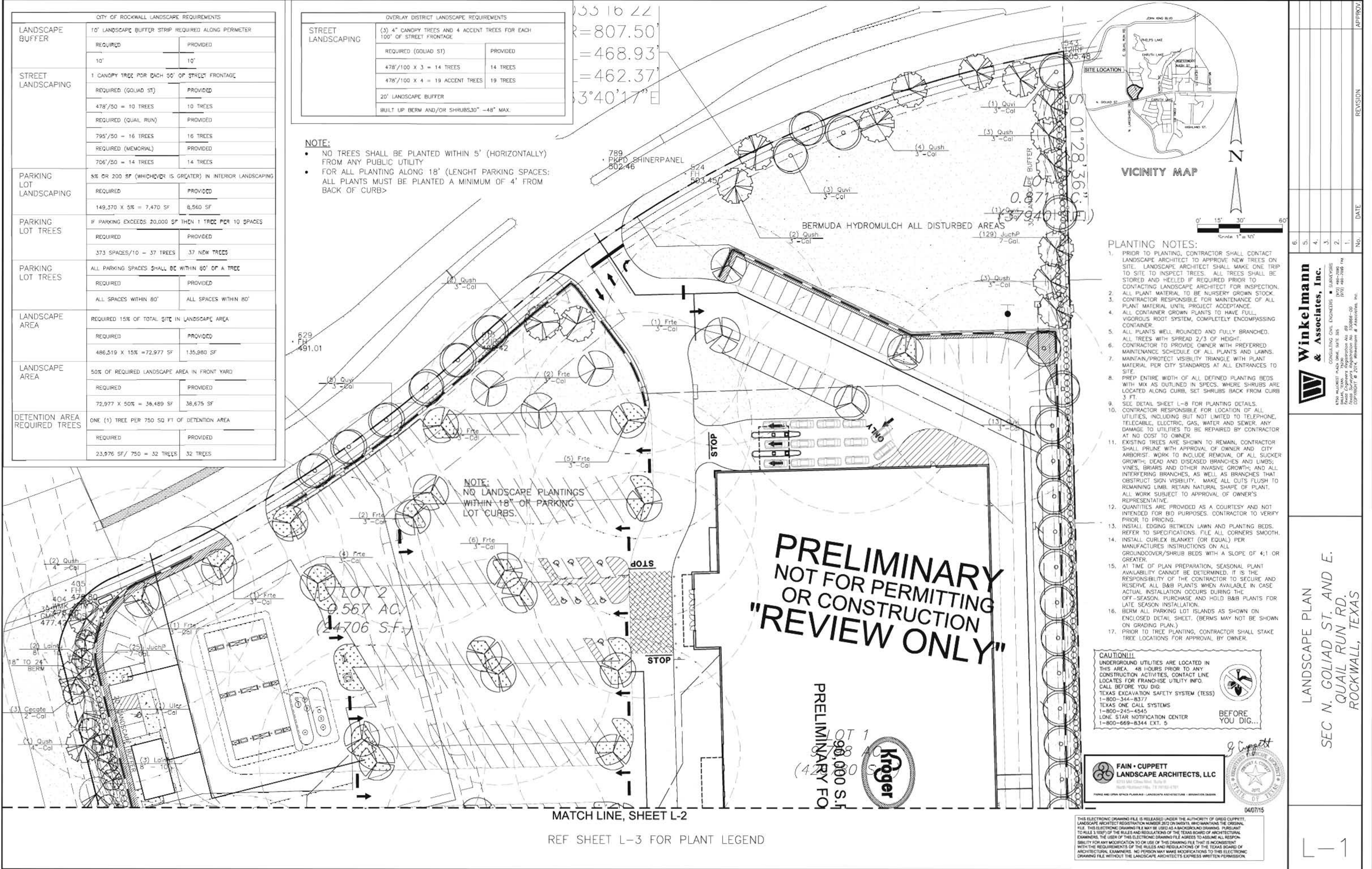
SP2015-007

CITY OF ROCKWALL LANDSCAPE REQUIREMENTS		
LANDSCAPE BUFFER	10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER	
	REQUIRED	PROVIDED
	10'	10'
STREET LANDSCAPING	1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE	
	REQUIRED (GOLIAD ST)	PROVIDED
	478'/50 = 10 TREES	10 TREES
	REQUIRED (QUAIL RUN)	PROVIDED
	795'/50 = 16 TREES	16 TREES
PARKING LOT LANDSCAPING	5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING	
	REQUIRED	PROVIDED
	149,370 X 5% = 7,470 SF	8,560 SF
PARKING LOT TREES	IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES	
	REQUIRED	PROVIDED
PARKING LOT TREES	ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE	
	REQUIRED	PROVIDED
LANDSCAPE AREA	REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA	
	REQUIRED	PROVIDED
LANDSCAPE AREA	50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD	
	REQUIRED	PROVIDED
DETENTION AREA REQUIRED TREES	ONE (1) TREE PER 750 SQ FT OF DETENTION AREA	
	REQUIRED	PROVIDED

OVERLAY DISTRICT LANDSCAPE REQUIREMENTS		
STREET LANDSCAPING	(3) 4" CANOPY TREES AND 4 ACCENT TREES FOR EACH 100' OF STREET FRONTAGE	
	REQUIRED (GOLIAD ST)	PROVIDED
	478'/100 X 3 = 14 TREES	14 TREES
	478'/100 X 4 = 19 ACCENT TREES	19 TREES
	20' LANDSCAPE BUFFER	
PARKING LOT TREES	BUILT UP BERM AND/OR SHRUBS 30" - 48" MAX.	

NOTE:

- NO TREES SHALL BE PLANTED WITHIN 5' (HORIZONTALLY) FROM ANY PUBLIC UTILITY
- FOR ALL PLANTING ALONG 18' (LENGTH PARKING SPACES: ALL PLANTS MUST BE PLANTED A MINIMUM OF 4' FROM BACK OF CURB)



PLANTING NOTES:

- PRIOR TO PLANTING, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO APPROVE NEW TREES ON SITE. LANDSCAPE ARCHITECT SHALL MAKE ONE TRIP TO SITE TO INSPECT TREES. ALL TREES SHALL BE STORED AND HELED IF REQUIRED PRIOR TO CONTACTING LANDSCAPE ARCHITECT FOR INSPECTION.
- ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
- ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
- ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
- CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
- MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
- PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
- SEE DETAIL SHEET L-8 FOR PLANTING DETAILS.
- CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELEPHONE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
- EXISTING TREES ARE SHOWN TO REMAIN. CONTRACTOR SHALL PRUNE WITH APPROVAL OF OWNER AND CITY ARBORIST. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES, AS WELL AS BRANCHES THAT OBSTRUCT SIGN VISIBILITY. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
- INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS. FILE ALL CORNERS SMOOTH.
- INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUND COVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
- AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
- BERM ALL PARKING LOT ISLANDS AS SHOWN ON ENCLOSED DETAIL SHEET. (BERMS MAY NOT BE SHOWN ON GRADING PLAN.)
- PRIOR TO TREE PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.

CAUTION!!!
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
TEXAS EXCAVATION SAFETY SYSTEM (TESS)
1-800-344-8377
TEXAS ONE CALL SYSTEMS
1-800-245-4545
LONE STAR NOTIFICATION CENTER
1-800-669-8344 EXT. 5

FAIN • CUPPETT
LANDSCAPE ARCHITECTS, LLC
2023 S.W. 10th Street, Suite 100
Rockwall, Texas 75087-1000
(972) 940-1000
www.faincuppett.com

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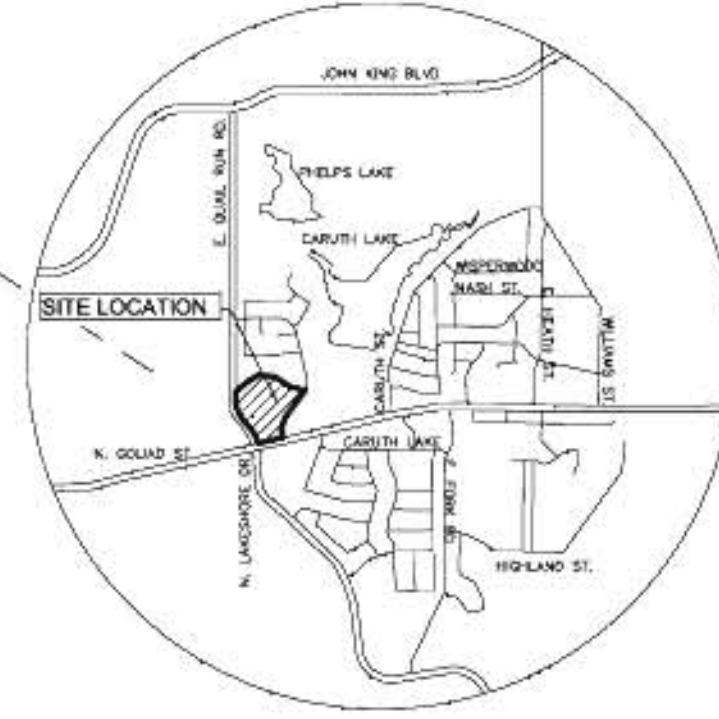
Winkelman & Associates, Inc.
CONSULTING CIVIL ENGINEERS • SURVEYORS
1820 MILLCREEK PLAZA, SUITE 200, WILLOW PARK, TEXAS 75075
(972) 462-7800
FAX (972) 462-7800
www.winkelman.com

LANDSCAPE PLAN
SEC. N. GOLIAD ST. AND E.
QUAIL RUN RD.
ROCKWALL, TEXAS

L-1

MATCH LINE, SHEET L-1

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VICINITY MAP

CAUTION!!!
UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG.
TEXAS EXCAVATION SAFETY SYSTEM (TESS) 1-800-344-6377
TEXAS ONE CALL SYSTEMS 1-800-245-4545
LONE STAR NOTIFICATION CENTER 1-800-668-8344 EXT. 5
BEFORE YOU DIG...

NOTE:

- TURF ADJACENT TO GOLIAD, QUAIL RUN, MEMORIAL, SLOPES IN EXCESS OF 25% AND IN ANY PARKING ISLAND DESIGNATED AS TURF SHALL BE SOLID BERMUDA SOD. GENERAL CONTRACTOR HAS THE OPTION TO HYDROMULCH BERMUDA TURF ELSEWHERE ON SITE. HOWEVER, IF GRASS IS NOT ESTABLISHED AND ACCEPTED BY OWNER IN ALL DISTURBED AREAS PRIOR TO FILING N.O.T. (NOTICE OF TERMINATION) THE GENERAL CONTRACTOR HAS TO INSTALL SOD.
- REFER TO SHEETS L-10 FOR PLANT LEGEND.
- NO LANDSCAPE PLANTINGS WITHIN 18" OF PARKING LOT CURBS.
- CONTRACTOR SHALL APPLY FRESH MULCH TO A DEPTH OF 4", TWO WEEKS PRIOR TO OPENING. DATE OF OPENING BY OWNER.
- NO LANDSCAPING SHALL BE LOCATED CLOSER THAN 10' TO A FIRE HYDRANT WITHIN ANY PUBLIC ROW OR 5' WITHIN THE PROPERTY'S INTERIOR.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM TREE CALIPER MEASUREMENT HEIGHT ABOVE GRADE AS REQUIRED BY CITY.
- ALL TREES (EXISTING AND NEWLY PLANTED) SHALL BE PRUNED TO PROVIDE VISIBILITY ONTO SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT APPROPRIATE DEPARTMENT FOR DIRECTION PRIOR TO ACTIVITY.
- TEMPORARY IRRIGATION WILL BE REQUIRED TO ESTABLISH TURF IN ALL DISTURBED AREAS WITHOUT A PERMANENT IRRIGATION SYSTEM. SOD ADJACENT TO PUBLIC STREETS AND ANY PARKING LOT ISLAND WITH TURF. HYDROMULCH TURF IN ALL OTHER DISTURBED AREAS AS IDENTIFIED ON GRADING AND EROSION CONTROL PLANS. ALL FRONTAGE AND SIDE YARDS ARE TO RECEIVE IRRIGATION.
- PRIOR TO TREE PLANTING, CONTRACTOR SHALL STAKE TREE LOCATIONS FOR APPROVAL BY OWNER.

REF SHEET L-1 FOR PLANTING NOTES
AND L-3 FOR PLANT LEGEND

LANDSCAPE PLAN
SEC N. GOLIAD ST. AND E.
QUAIL RUN RD.
ROCKWALL, TEXAS

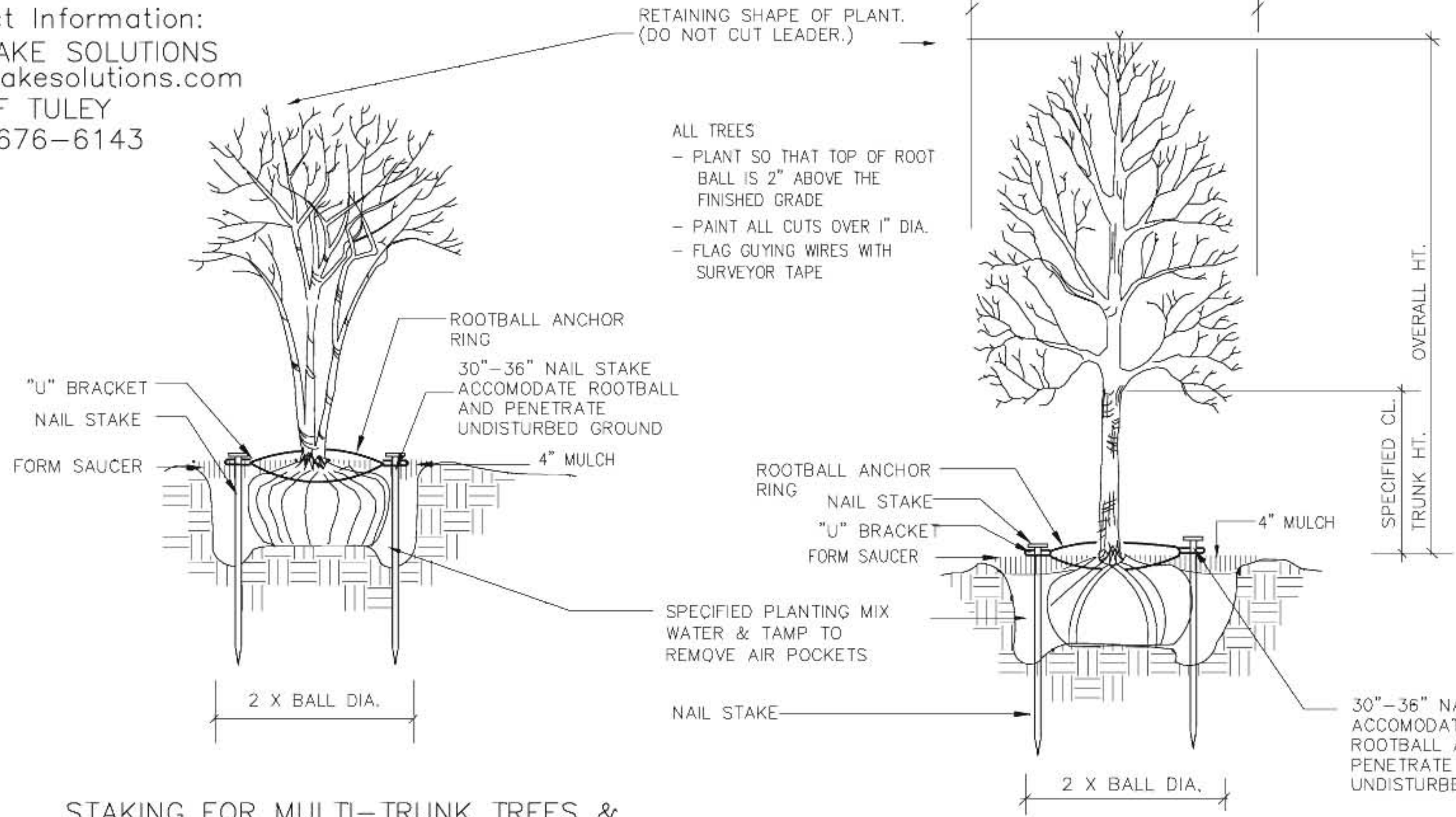
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www.faincuppert.com



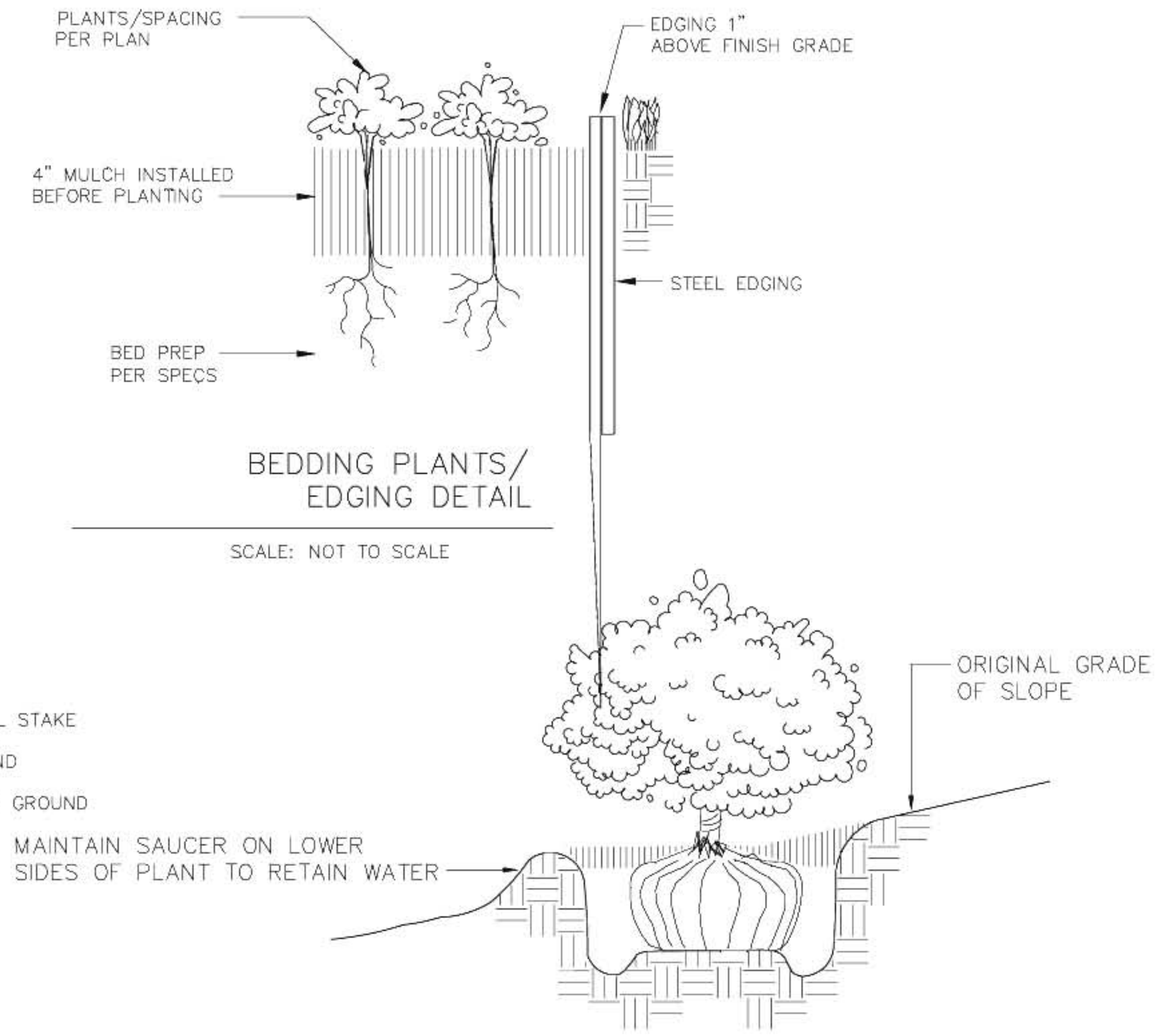
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Contact Information:
TREE STAKE SOLUTIONS
www.treestakesolutions.com
JEFF TULEY
903-676-6143



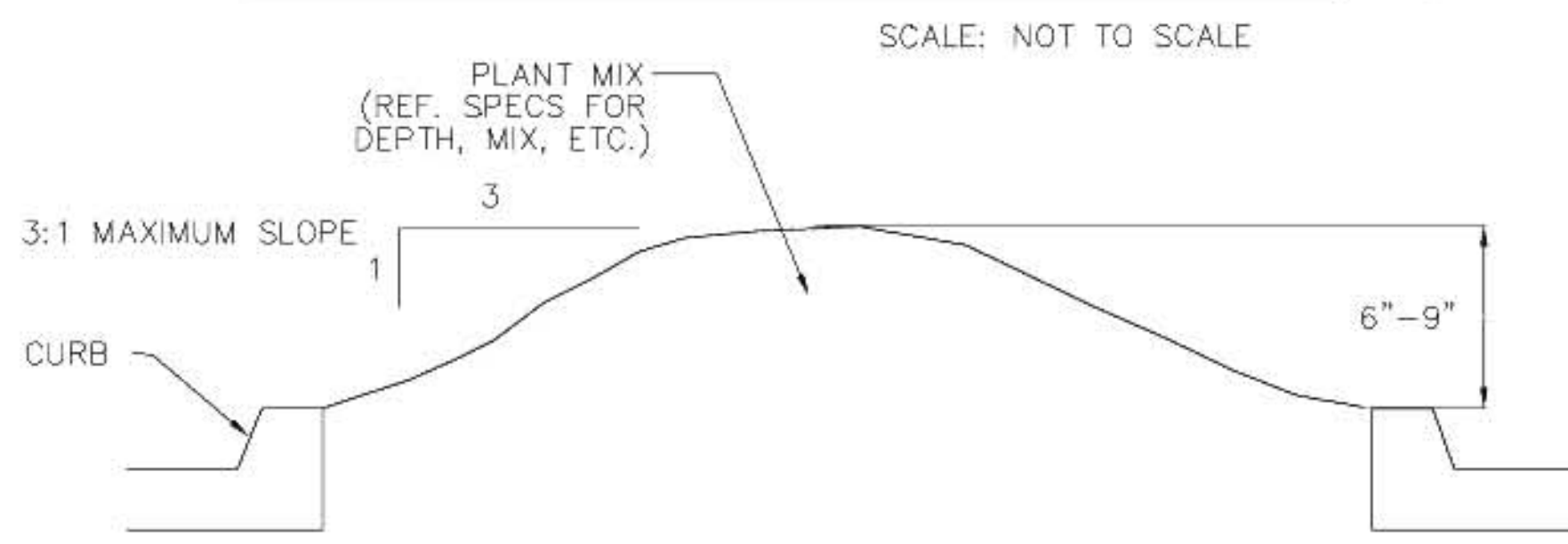
STAKING FOR MULTI-TRUNK TREES & TREES 2" CAL. & UNDER

SAFETY STAKE BY TREE STAKE SOLUTIONS



TREE/SHRUB PLANTING ON SLOPES

SHRUB PLANTING



TYPICAL PARKING LOT ISLAND MOUNDING

PLANT LIST

Symbol	Quantity	Code Name	Scientific Name	Common Name	Planting Size	Comments	Mature Height
	50	Frte	Fraxinus texensis	Texas ash	3"-Cal/12' min ht	B & B	30'
	23	Qush	Quercus shumardii	Shumard oak	3"-Cal/12' min ht	B & B	50'
	50	Quvi	Quercus virginiana	Southern live oak	3"-Cal/12' min ht	B & B	50'
	13	Ultr	Ulmus crassifolia	Cedar elm	3"-Cal/12' min ht	B & B	50'
	6	Cail	Carya illinoensis	Pecan	3"-Cal/12' min ht	B & B	50'
	5	Juvi	Juniperus virginiana	Eastern red cedar	3"-Cal/10' min ht	B & B	25'
	7	Qush	Quercus shumardii	Shumard oak	4"-Cal/14' min ht	B & B	50'
	7	Ultr	Ulmus crassifolia	Cedar elm	4"-Cal/14' min ht	B & B	50'
	343	JuchP	Juniperus chinensis 'Pfitzerana'	Pfitzer juniper	7-Gal./30" min ht	48" O.C.	48"
	11	Laintu	Lagerstroemia indica 'Tuscarora'	'Tuscarora' crape myrtle	45-Gal./8' min ht	3 to 5 Canes, Tree form	15'
	8	Cecate	Cercis canadensis 'Texensis'	Texas redbud	2"-Cal/8' min ht	8'-10' Min Ht	15'
		Stite	Stipa tenuissima	Mexican feathergrass	1-Gal	18" O.C.	
		Tras	Trachelospermum asiaticum	Asian jasmine	4" pot	12" O.C.	
		Cyda	Cynodon dactylon	Solid Bermuda sod	Sod	Solid	

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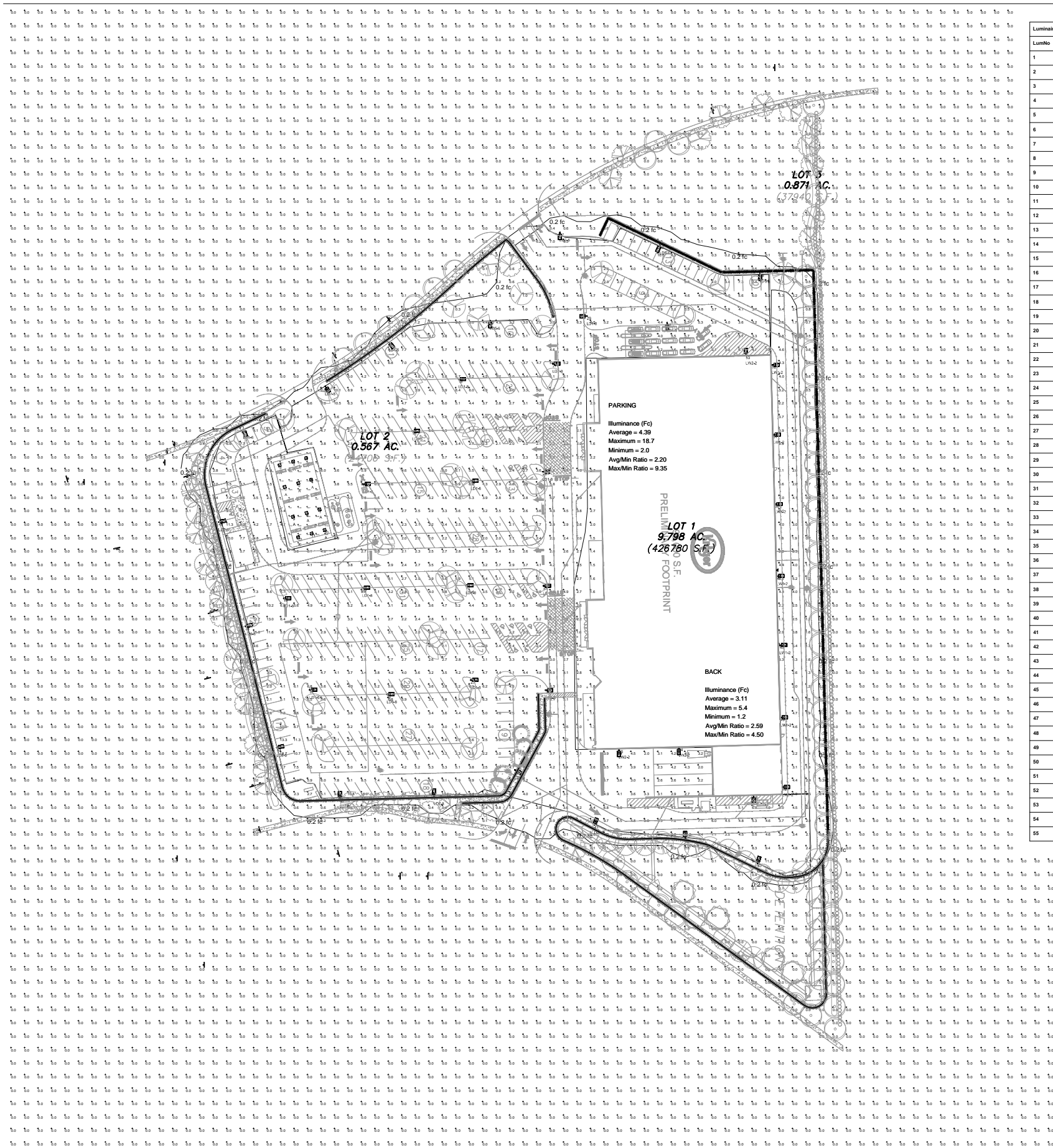
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PLANTING DETAILS
SEC N. GOLIAD ST. AND E.
QUAIL RUN RD.
ROCKWALL, TEXAS

L-3

No.	DATE	REVISION	APPROV
6.			
5.			
4.			
3.			
2.			
1.			



Luminaires Location Summary						
LumNo	Label	X	Y	Z	Orient	TIR
1	A	2593685.	7034597.	15	14.034	0
2	A	2593671.	7034594.	15	14.034	0
3	A	2593655.	7034590.	15	14.034	0
4	A	2593691.	7034573.	15	14.034	0
5	A	2593676.	7034570.	15	14.034	0
6	A	2593661.	7034565.	15	14.034	0
7	A	2593700.	7034540.	15	14.034	0
8	A	2593688.	7034536.	15	14.034	0
9	A	2593670.	7034532.	15	14.034	0
10	A	2593706.	7034517.	15	14.034	0
11	A	2593691.	7034514.	15	14.034	0
12	A	2593676.	7034509.	15	14.034	0
13	LD1-d	2593658.	7034445.	20	0	0
14	LD1-d	2593689.	7034339.	20	0	0
15	LD1-d	2593929.	7034251.	20	331.624	0
16	LD1-d	2593798.	7034628.	20	0	0
17	LD1-d	2593749.	7034569.	20	0	0
18	LD1-d	2593855.	7034486.	20	0	0
19	LD1-d	2593854.	7034571.	20	0	0
20	LD1-d	2593739.	7034463.	20	0	0
21	LD1-d	2593846.	7034456.	20	0	0
22	LD1-d	2593775.	7034335.	20	0	0
23	LD1-d	2593869.	7034337.	20	0	0
24	LD1-d	2593952.	7034339.	20	0	0
25	LD1-d	2593949.	7034455.	20	0	0
26	LD1-d	2593966.	7034565.	20	0	0
27	LD1-d	2593962.	7034678.	20	0	0
28	LD1-d	2594102.	7034751.	20	270.063	0
29	LD1-d	2593998.	7034756.	20	180	0
30	LD5-d	2594079.	7034634.	20	246.194	0
31	LD5-d	2593615.	7034629.	20	291.803	0
32	LD5-d	2593990.	7034750.	20	270	0
33	LD5-d	2593652.	7034275.	20	12.34	0
34	LD5-d	2593618.	7034410.	20	12.34	0
35	LD7-d	2593777.	7034726.	20	369.353	0
36	LD7-d	2594190.	7034803.	20	270	0
37	LD7-d	2593968.	7034849.	20	270	0
38	LD7-d	2593738.	7034221.	20	90	0
39	LD7-d	2593829.	7034222.	20	90	0
40	LD7-d	2593588.	7034526.	20	11.482	0
41	LD7-d	2594006.	7034189.	20	68.497	0
42	LD7-d	2594107.	7034712.	20	90	0
43	LD7-d	2594191.	7034144.	20	72.123	0
44	LD7-d	2593706.	7034677.	20	302.735	0
45	LW1-2	2594212.	7034389.	15	0	0
46	LW1-2	2594163.	7034222.	15	270	0
47	LW1-2	2594209.	7034466.	15	0	0
48	LW1-2	2594215.	7034231.	15	0	0
49	LW1-2	2594213.	7034309.	15	0	0
50	LW1-2	2594207.	7034546.	15	0	0
51	LW1-2	2594205.	7034624.	15	0	0
52	LW1-2	2594204.	7034701.	15	0	0
53	LW2-2	2594175.	7034712.	15	90	0
54	LW3-2	2594100.	7034275.	15	270	0
55	LW2-2	2594033.	7034273.	15	270	0

Luminaria Schedule									
Symbol	Qty	Label	Argument	Turn Weeks	Total Weeks	Lum. Luminas	LLP	Description	LED
☐	12	A	SINGLE	88	1068	8212	0.912	GLEON-06-0-LED-E1-AMF	0.950
☐	4	LO-15	SINGLE	315	1260	32241	0.912	GLEON-06-0-LED-E1-OMG	0.950
☐	13	LO-18	SINGLE	0.912	6473	42318	0.912	GLEON-06-0-LED-E1-OMV	0.950
☐	15	LO-5	SINGLE	315	945	28220	0.912	GLEON-06-0-LED-E1-3-MS	0.950
☐	2	LO-5	SINGLE	421	642	20134	0.912	GLEON-06-0-LED-E1-3-MS	0.950
☐	3	LO-7.5	SINGLE	315	945	29399	0.912	GLEON-06-0-LED-E1-3-MS	0.950
☐	7	LO-7.8	SINGLE	421	2947	23278	0.912	GLEON-06-0-LED-E1-3-MS	0.950
☐	8	LW-12	SINGLE	107	856	16501	0.912	GLEON-06-0-LED-E1-7.7	0.950
☐	3	LW-2	SINGLE	107	321	10562	0.912	GLEON-06-0-LED-E1-7.7	0.950

Catalization Summary						
Label	Cat-type	Unit	Avg	Max	Avg/Min	Max/Min
Catalytic-1 under anaerobic	Irradiance	Fe	0.83	18.7	0.0	N.A.
	Irradiance	Fe	14.36	22.5	4.0	3.99
	Irradiance	Fe	3.11	5.4	1.2	5.5
PARKING	Irradiance	Fe	4.39	18.7	2.0	3.15

Cooper Lighting by BFCB	Applications Engineering 1121 Highway 74 South Peachtree City, GA 30269
tel no: 770-486-4579	
fax no: 770-486-4599	
e-mail: mkt-lightingapplications@ Eaton.com	

[illegible]

Project Name: KROGER #574 ROCKWALL, TX	Client: GREG STEIN
Drawn By: Arnel Uy	

Project No:
1500935.AGI

DESCRIPTION

The LRC LED Recessed Canopy Luminaire is specifically designed for recessed applications in single or double skin canopies. Three specialized optics are optimized for efficiency and uniformity, delivering high light levels on task. Typical applications include retail gas stations, convenience stores, banks and pharmacy drive thru canopies. UL/cUL listed for wet locations.

SPECIFICATION FEATURES

Construction

Heavy-duty cast aluminum housing with aluminum mounting frame. Wet location driver enclosure is elevated to prevent water ingress. 1/2" knockouts provided for wiring connections. IP66 Rated.

Optics

Dedicated optical cavities for the array of 16 individual LEDs to maximize the efficiency and control of the distribution out of each module. To enhance visual comfort, a glare-reducing optical system is utilized to maximize delivered lumens while minimizing glare. Scalable in 1, 2 or 4 Light Square LED modules to optimize cost and lumen output. Each reflector is precision manufactured via injection molding and coated with a highly reflective optical coating via vacuum metallization. Two symmetric optics and one asymmetric optic are specifically designed for efficiency and

uniformity. Offered standard in 4000K (+/- 275K) CCT and nominal 70 CRI. Optional 6000K CCT with nominal 70 CRI, and 3000K with nominal 80 CRI.

Electrical

LED driver is enclosed in a wet location box, designed to manage thermals for longevity. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Optional proprietary circuit module designed to withstand 10kV of transient line surge. 90% lumen maintenance expected at 60,000 hours. The LRC LED Recessed Canopy Luminaire is suitable for operation in -40°C to 40°C ambient operations.

Mounting

Designed to recess in single or double skin canopies. Luminaire can be installed from above or below canopy, through 14" square cutout in the canopy.

Finish

Housing and lens frame are finished in Super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard housing and lens frame trim finished in true white color. Optional lens frame trim colors include white, grey, black, bronze, dark platinum, and graphite metallic. RAL and color matches available.

Warranty

Five-year warranty.

McGRAW-EDISON®



Catalog #		Type
Project		
Comments		Date
Prepared by		

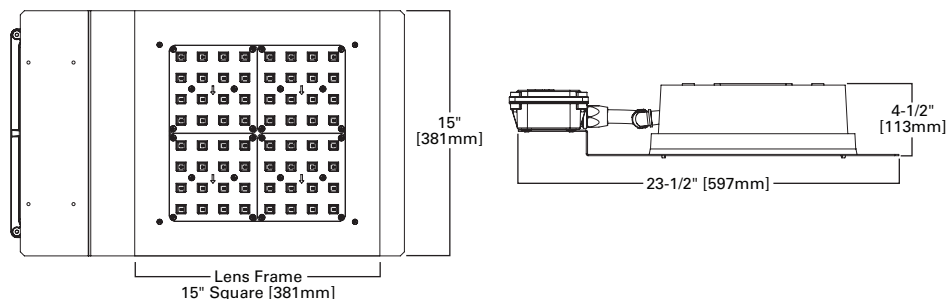


LRC LED RECESSED CANOPY

1, 2 or 4 Light Squares
Solid State LED

CANOPY LUMINAIRE

DIMENSIONS



CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-40°C Minimum Temperature
40°C Maximum Ambient Temperature

SHIPPING DATA

Approximate Net Weight:
20-29 lbs. (9.07-13.15 kgs.)

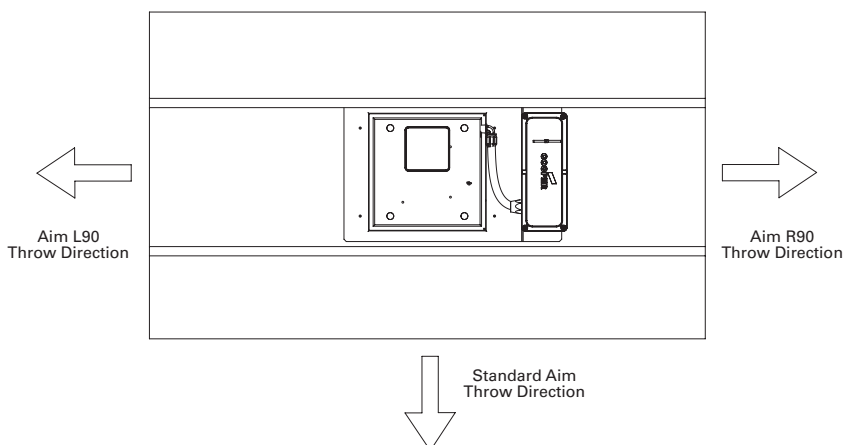


POWER AND LUMENS BY NUMBER OF LEDS

Number of LEDs	LED Drive Current	Input Wattage	Input Current (Amps)		Optics	MST	VAT	WST
			120V	277V				
16	700mA	37W	0.33	0.15	Lumens	3,099	2,987	3,026
					BUG Rating	2-0-0	2-0-0	1-0-0
	950mA	50W	0.41	0.19	Lumens	3,841	3,702	3,751
					BUG Rating	2-0-1	2-0-0	2-0-0
32	350mA	35W	0.30	0.14	Lumens	3,448	3,323	3,367
					BUG Rating	2-0-0	2-0-0	2-0-0
	450mA	46W	0.40	0.18	Lumens	4,285	4,130	4,184
					BUG Rating	2-0-1	2-0-0	2-0-0
	700mA	73W	0.62	0.23	Lumens	6,048	5,829	5,906
					BUG Rating	3-0-1	3-0-0	2-0-0
64	350mA	69W	0.59	0.28	Lumens	6,679	6,439	6,524
					BUG Rating	3-0-1	3-0-0	2-0-0
	450mA	88W	0.77	0.36	Lumens	8,212	8,019	8,125
					BUG Rating	3-0-1	3-0-0	3-0-0

NOTE: Lumen values tested at 4000K CCT.

VAT OPTIC ORIENTATION



LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.04
15°C	1.03
25°C	1.00
40°C	0.96

ORDERING INFORMATION

Sample Number: LRC-B64-4-LED-E1-VAT

Product Family ¹	Generation	Number of LEDs	Drive Current ²	Lamp Type	Voltage	Distribution	Trim Color
LRC=LED Recessed Canopy	B=B	16=16 32=32 64=64	1=950mA 3=350mA 4=450mA 7=700mA	LED=Solid State Light Emitting Diodes	E1=Electronic 120-277V 347=347V 480=480V ³	VAT=Vertical Asymmetric WST=Wide Symmetric MST=Medium Symmetric	[Blank]=True White AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Option (Add as Suffix)						Accessories (Order Separately)	
10K=10kV Surge Module 2L=Two Circuits ⁴ L90=Optics Rotated 90° Left ⁵ R90=Optics Rotated 90° Right ⁵ 7060=70 CRI/6000K CCT ⁶ 8030=80 CRI/3000K CCT ⁶						MA1253=10kV Circuit Module Replacement	

Notes:

- DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
- 950mA available only in 16 LEDs. 700mA available in 16 or 32 LEDs. 450mA available only in 32 or 64 LEDs. 350mA only available in 32 or 64 LEDs.
- Not to be used with un-grounded systems.
- Not available in 347V or 480V. Not available with 16 LEDs. Not available with 32 LEDs in 350mA or 450mA.
- Only applies with VAT distribution. MST and WST distributions are symmetrical.
- Consult factory for lead times and lumen multiplier.

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

SPECIFICATION FEATURES

Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics

Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 6000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can

be field or factory installed. The house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Standard with 0-10V dimming. Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

Mounting

Extruded aluminum arm includes internal bolt guides allowing for

easy positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.



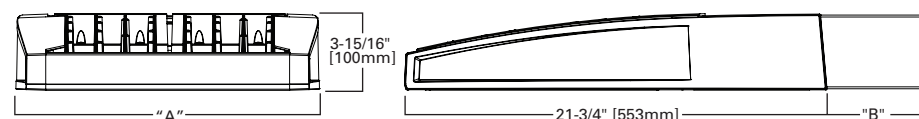
GLEON GALLEON LED

1-10 Light Squares
Solid State LED

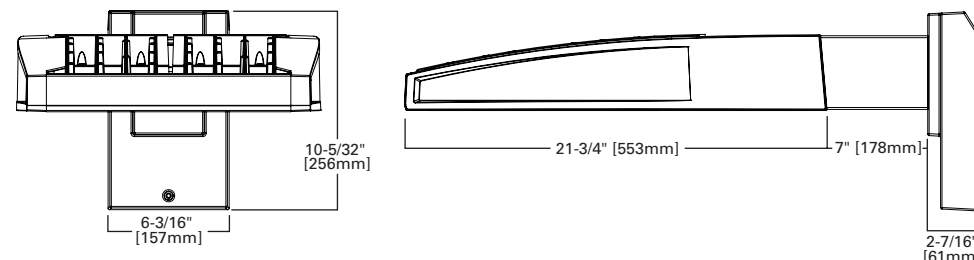
AREA/SITE LUMINAIRE

DIMENSIONS

POLE MOUNT



WALL MOUNT



DIMENSION DATA

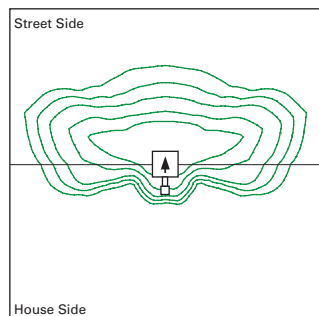
Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length ¹	Weight with Arm (lbs.)	EPA with Arm ² (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1 Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table. 2 EPA calculated with optional arm length.

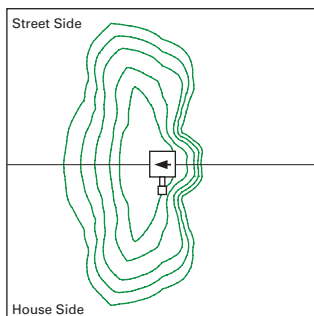
Cooper Lighting

by **F.T.N**

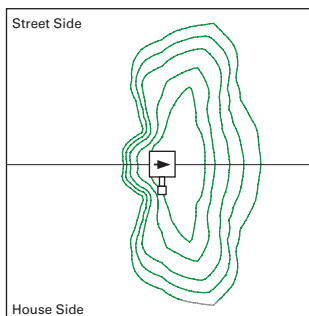
OPTIC ORIENTATION



Standard

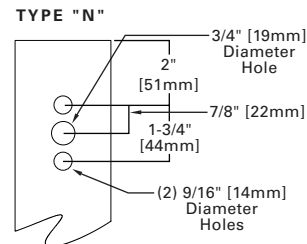


Optics Rotated Left @ 90° [L90]



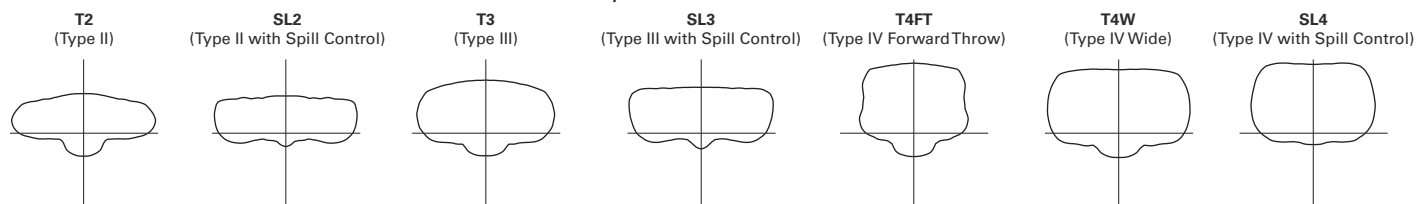
Optics Rotated Right @ 90° [R90]

DRILLING PATTERN

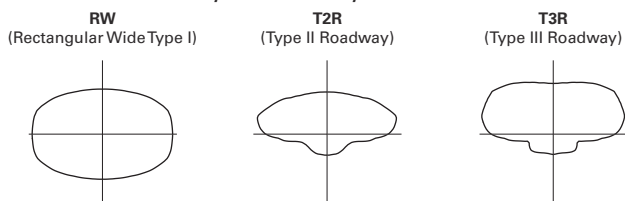


OPTICAL DISTRIBUTIONS

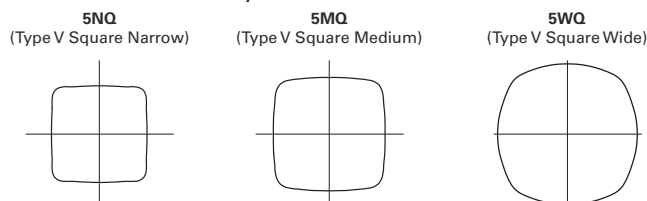
Asymmetric Area Distributions



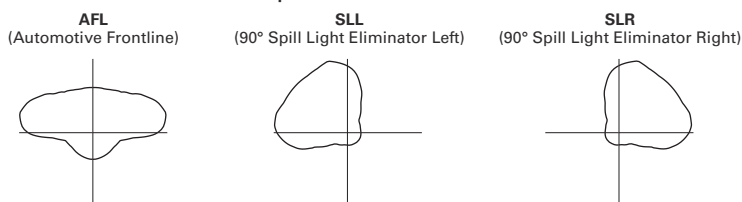
Asymmetric Roadway Distributions



Symmetric Distributions

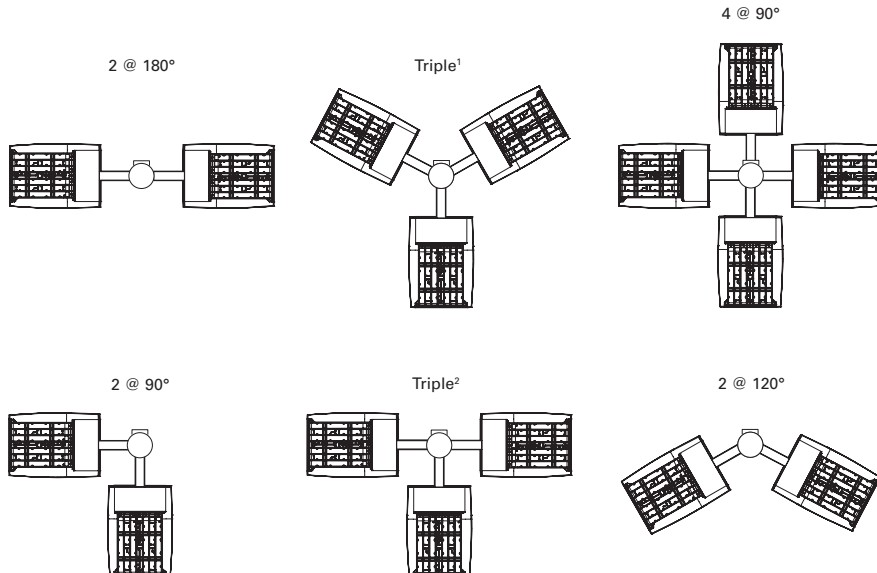


Specialized Distributions



ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AE-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AE-10	16" Extended Arm (Required)	16" Extended Arm (Required)



NOMINAL POWER AND LUMENS (1A)

Number of Light Squares		1	2	3	4	5	6	7	8	9	10
Drive Current		1A	1A	1A	1A	1A	1A	1A	1A	1A	1A
Nominal Power (Watts)		56	107	157	213	264	315	370	421	475	528
Input Current @ 120V (A)		0.47	0.90	1.31	1.79	2.21	2.64	3.09	3.51	3.96	4.41
Input Current @ 208V (A)		0.28	0.51	0.74	1.02	1.25	1.48	1.76	1.99	2.22	2.50
Input Current @ 240V (A)		0.25	0.45	0.65	0.90	1.10	1.30	1.55	1.75	1.95	2.20
Input Current @ 277V (A)		0.23	0.41	0.59	0.82	1.00	1.18	1.41	1.59	1.77	2.00
Optics											
T2	Lumens	5,272	10,303	15,373	20,313	25,168	30,118	35,618	40,357	45,018	49,842
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
T2R	Lumens	5,597	10,938	16,321	21,565	26,719	31,974	37,813	42,844	47,792	52,914
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G4	B4-U0-G5
T3	Lumens	5,374	10,501	15,669	20,704	25,652	30,697	36,303	41,134	45,884	50,802
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3R	Lumens	5,493	10,735	16,017	21,164	26,222	31,379	37,110	42,048	46,904	51,930
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4FT	Lumens	5,405	10,562	15,760	20,824	25,801	30,875	36,514	41,372	46,150	51,096
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	Lumens	5,335	10,426	15,556	20,555	25,468	30,476	36,042	40,838	45,554	50,436
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL2	Lumens	5,263	10,285	15,347	20,278	25,124	30,066	35,556	40,288	44,940	49,756
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL3	Lumens	5,373	10,500	15,667	20,701	25,649	30,693	36,298	41,128	45,878	50,794
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL4	Lumens	5,105	9,976	14,886	19,669	24,370	29,163	34,488	39,078	43,591	48,262
	BUG Rating	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	Lumens	5,542	10,830	16,160	21,352	26,455	31,658	37,439	42,421	47,320	52,392
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4
5MQ	Lumens	5,644	11,029	16,457	21,745	26,942	32,241	38,128	43,202	48,191	53,356
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
5WQ	Lumens	5,659	11,059	16,501	21,803	27,014	32,327	38,230	43,317	48,320	53,498
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
SLL/SLR	Lumens	4,722	9,227	13,767	18,191	22,539	26,971	31,897	36,141	40,315	44,635
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
RW	Lumens	5,492	10,732	16,014	21,159	26,216	31,372	37,101	42,038	46,893	51,918
	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
AFL	Lumens	5,512	10,771	16,072	21,236	26,311	31,486	37,236	42,191	47,063	52,107
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4

* Nominal data for 4000K CCT.

NOMINAL POWER AND LUMENS (700MA)

Number of Light Squares		1	2	3	4	5	6	7	8	9	10
Drive Current		700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA
Nominal Power (Watts)		38	72	105	138	176	210	243	276	314	348
Input Current @ 120V (A)		0.32	0.59	0.86	1.14	1.45	1.72	2	2.28	2.58	2.86
Input Current @ 208V (A)		0.21	0.36	0.51	0.67	0.87	1.02	1.18	1.34	1.53	1.69
Input Current @ 240V (A)		0.19	0.32	0.45	0.59	0.77	0.90	1.04	1.18	1.35	1.49
Input Current @ 277V (A)		0.20	0.29	0.40	0.51	0.69	0.80	0.91	1.02	1.20	1.31
Optics											
T2	Lumens	3,854	7,531	11,237	14,847	18,395	22,013	26,033	29,497	32,904	36,430
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T2R	Lumens	4,091	7,995	11,929	15,762	19,529	23,370	27,638	31,316	34,932	38,676
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3	Lumens	3,928	7,676	11,453	15,133	18,750	22,437	26,534	30,065	33,537	37,132
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T3R	Lumens	4,015	7,846	11,707	15,469	19,166	22,936	27,124	30,733	34,283	37,957
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T4FT	Lumens	3,951	7,720	11,519	15,221	18,858	22,567	26,688	30,240	33,732	37,347
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	Lumens	3,900	7,620	11,370	15,024	18,615	22,276	26,343	29,849	33,296	36,864
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL2	Lumens	3,847	7,518	11,217	14,821	18,364	21,975	25,988	29,447	32,847	36,368
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
SL3	Lumens	3,927	7,675	11,451	15,131	18,747	22,434	26,531	30,061	33,533	37,126
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL4	Lumens	3,731	7,292	10,880	14,376	17,812	21,315	25,208	28,562	31,861	35,275
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5
5NQ	Lumens	4,051	7,916	11,811	15,606	19,336	23,139	27,365	31,006	34,587	38,294
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
5MQ	Lumens	4,125	8,062	12,029	15,894	19,692	23,565	27,869	31,577	35,224	38,999
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
5WQ	Lumens	4,136	8,083	12,061	15,936	19,745	23,628	27,943	31,661	35,318	39,103
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
SLL/SLR	Lumens	3,451	6,744	10,063	13,296	16,474	19,714	23,314	26,416	29,467	32,625
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
RW	Lumens	4,014	7,844	11,704	15,465	19,162	22,930	27,118	30,726	34,274	37,948
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
AFL	Lumens	4,029	7,873	11,747	15,522	19,231	23,014	27,216	30,838	34,399	38,086
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

* Nominal data for 4000K CCT.

NOMINAL POWER AND LUMENS (530MA)

Number of Light Squares		1	2	3	4	5	6	7	8	9	10
Drive Current		530mA	530mA	530mA	530mA	530mA	530mA	530mA	530mA	530mA	530mA
Nominal Power (Watts)		30	54	80	105	130	159	184	209	234	259
Input Current @ 120V (A)		0.25	0.45	0.66	0.86	1.07	1.32	1.52	1.72	1.93	2.14
Input Current @ 208V (A)		0.17	0.28	0.39	0.51	0.63	0.78	0.9	1.02	1.14	1.26
Input Current @ 240V (A)		0.17	0.25	0.35	0.45	0.55	0.70	0.80	0.90	1.00	1.10
Input Current @ 277V (A)		0.19	0.24	0.32	0.40	0.49	0.64	0.72	0.80	0.89	0.98
Optics											
T2	Lumens	3,079	6,017	8,978	11,862	14,697	17,588	20,800	23,567	26,289	29,106
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4
T2R	Lumens	3,269	6,388	9,531	12,593	15,603	18,672	22,082	25,020	27,909	30,900
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4
T3	Lumens	3,138	6,133	9,150	12,091	14,980	17,926	21,200	24,021	26,795	29,667
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3R	Lumens	3,208	6,269	9,354	12,359	15,313	18,325	21,671	24,555	27,390	30,326
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T4FT	Lumens	3,156	6,168	9,203	12,161	15,067	18,030	21,323	24,160	26,950	29,839
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T4W	Lumens	3,116	6,088	9,084	12,004	14,872	17,797	21,047	23,848	26,602	29,453
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
SL2	Lumens	3,074	6,006	8,962	11,842	14,672	17,558	20,764	23,527	26,244	29,056
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
SL3	Lumens	3,138	6,132	9,149	12,089	14,978	17,924	21,197	24,018	26,791	29,662
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
SL4	Lumens	2,981	5,826	8,693	11,486	14,231	17,030	20,140	22,820	25,456	28,184
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5
5NQ	Lumens	3,236	6,324	9,437	12,469	15,449	18,487	21,863	24,773	27,634	30,595
	BUG Rating	B1-U0-G0	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2
5MQ	Lumens	3,296	6,441	9,610	12,698	15,733	18,828	22,266	25,229	28,142	31,158
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G3
5WQ	Lumens	3,305	6,458	9,636	12,732	15,775	18,878	22,325	25,296	28,217	31,241
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
SLL/SLR	Lumens	2,757	5,388	8,040	10,623	13,162	15,751	18,627	21,105	23,543	26,066
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4
RW	Lumens	3,207	6,267	9,351	12,356	15,309	18,320	21,666	24,549	27,384	30,319
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3
AFL	Lumens	3,219	6,290	9,385	12,401	15,365	18,387	21,745	24,638	27,484	30,429
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3

* Nominal data for 4000K CCT.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

ORDERING INFORMATION

Sample Number: GLEON-AE-04-LED-E1-T3-GM-700

Product Family ¹	Light Engine	Number of Light Squares ²	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	AE=1A Drive Current	01=1 02=2 03=3 04=4 05=5 06=6 07=7 08=8 09=9 10=10	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V ³ 480=480V ^{3,4}	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5NQ=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm ⁵ MA=Mast Arm Adapter ⁶ WM=Wall Mount
Options (Add as Suffix)					Accessories (Order Separately)		
2L=Two Circuits ^{7,8} 7030=70 CRI 3000K ⁹ 8030=80 CRI 3000K ¹⁰ 7050=70 CRI 5000K ¹⁰ 7060=70 CRI 6000K ⁹ 530=Drive Current Factory Set to 530mA ¹¹ 700=Drive Current Factory Set to 700mA ¹¹ F=Single Fuse (120, 277 or 347V. Must Specify Voltage) FF=Double Fuse (208, 240 or 480V. Must Specify Voltage) P=Button Type Photocontrol (120, 208, 240 or 277V) PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle R=NEMA Twistlock Photocontrol Receptacle HA=50°C High Ambient ^{8,12} MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height ^{13,14,15,16,17} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{13,14,15,16,17} MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{13,14,15,16,19} MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) ^{13,14,15,16,20} MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height ^{13,14,15,16,17,21} MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height ^{13,14,15,16,18,21} MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height ^{13,14,15,16,19,21} MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) ^{13,14,15,16,20,21} MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height ^{13,14,15,16,17} MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height ^{13,14,15,16,18} MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height ^{13,14,15,16,19} MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range) ^{13,14,15,16,20} DIMRF-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ²² DIMRF-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ²² L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top TH=Tool-less Door Hardware LCF=Light Square Trim Plate Painted to Match Housing ²³ HSS=Factory Installed House Side Shield ²⁴					OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2 @180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3 @120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4 @90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2 @90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3 @90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2 @120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2 @180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3 @120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4 @90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2 @90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3 @90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor ²⁵ GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares LS/HSS=Field Installed House Side Shield ^{24,26}		

Notes:

1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.

2. Standard 4000K CCT and minimum 70 CRI.

3. Requires the use of a step down transformer when combined with MS/DIM, MS/X or DIMRF.

4. Not recommended for use with ungrounded, delta configured systems.

5. May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.

6. Factory installed.

7. 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in AE-02 through AE-04 requires a larger housing, normally used for AE-05 or AE-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.

8. Not available with LumaWatt wireless sensors.

9. Extended lead times apply. Use dedicated IES files for 3000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.

10. Extended lead times apply. For 8030, factor 7030 IES files x .92 (8% lumen loss). For 7050, use 7060 IES files.

11. 1 Amp standard. Use dedicated IES files for 530mA and 700mA when performing layouts. These files are published on the Galleon luminaire product page on the website.

12. 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

13. Consult factory for more information.

14. Utilizes internal step down transformer when 347V or 480V is selected.

15. The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your Eaton's Cooper Lighting business representative for more information.

16. Not available with HA option.

17. Approximately 22' detection diameter at 8' mounting height.

18. Approximately 40' detection diameter at 20' mounting height.

19. Approximately 60' detection diameter at 40' mounting height.

20. Approximately 100' detection diameter at 40' mounting height.

21. Replace X with number of Light Squares operating in low output mode.

22. LumaWatt wireless sensors are factory installed only requiring network components RF-EM1, RF-GW1 and RF-ROUT1 in appropriate quantities. See www.cooperlighting.com for LumaWatt application information.

23. Not available with house side shield (HSS).

24. Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.

25. This tool enables adjustment of parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your Eaton's Cooper Lighting business representative for more information.

26. One required for each Light Square.

Ashberry, Kristy

From: Crowley, Rick
Sent: Friday, April 10, 2015 9:47 PM
To: Lewis, Dennis
Cc: Smith, Mary; Ashberry, Kristy; Griggs, Brad
Subject: Re: Restrooms Downtown

Sure.

Sent from my iPhone

> On Apr 10, 2015, at 9:03 PM, "Lewis, Dennis" <DennisLewis@rockwall.com> wrote:

>

> Can we put an item on the next Council agenda to discuss installing public restrooms downtown? Also we may want to discuss whether to provide our portable restrooms for Farmers Market and the music series at San Jacinto Plaza and what the cost of that might be?

>

> Dennis Lewis

> Mayor Pro Tem - City of Rockwall



City of Rockwall
The New Horizon

MEMORANDUM

TO: Rick Crowley – City Manager

FROM: Brad Griggs – Assistant City Manager

DATE: April 15, 2015

SUBJECT: Downtown Restrooms

There is an item on the Council agenda for Monday, April 20 regarding the options for adding public restrooms in the downtown area. Although I will not be able to be in attendance at the meeting, I wanted to present a few options for Council consideration. Bethany and I spoke about options available within the last two weeks and without additional financial commitment, we did not see an opportunity to have public restrooms available for Farmers Market or the weekend music series in San Jacinto Plaza.

Permanent Public restrooms

One option to make restroom facilities available to the public in the downtown area would be to build or renovate an existing building for permanent public restrooms. Although this option would be the most expensive, it would provide restrooms outside of special events and contribute to the pedestrian friendly nature that we seek and encourage longer public visits to the area. From a cost standpoint, pre-fabricated restroom facilities, such as those that have been purchased for our park facilities cost around \$125,000 plus the land and installation costs. The acquisition of an existing building through a lease or purchase and the renovation costs would vary too greatly to estimate a cost without a specific location. If the Council is interested in getting estimates at one or more locations in the downtown area, we can begin that immediately. This option will be the slowest to get in place and may not be acceptable.

Use of Existing Facilities

The County Courthouse and the Center are the only two public buildings within the downtown area. During the hours of the Farmers Market, the Center is open to the public at 9:00am and is open until 4:00pm. Restrooms are easily accessible within the building without disrupting any ongoing activities. The County Courthouse may be able to be opened to the public but would require staffing that is not currently in place.

To have public restrooms available for the San Jacinto Plaza music series, The Center or the Courthouse could be opened with additional staffing. The City can open the Center on Friday and Saturday evenings from 5:45pm to 9:15pm for 32 weeks at a cost

of \$2500 annually for staff costs. There will be multiple occasions where a party has paid for a private rental and conflicts may develop with the patrons utilizing the restrooms.

Restroom Trailer

The option of utilizing the restroom trailer is available when not being used for other special events although the number of conflicts is minimal. For Farmers Market, the use of the trailer would require 2 Parks Department employees to deliver, monitor, clean and return the trailer to the Service Center. The Water/Wastewater Department would need to pump out the trailer each Monday morning. The estimated cost for the overtime for the Farmers Market is approximately \$5,800 for the 22 week season.

To utilize the restroom trailer at the San Jacinto Plaza music series would require the same staffing levels and the estimated overtime cost is \$14,000.

Portable Rental Restrooms

Probably our least desirable option is the rental of portable restrooms. These typically rent for \$90 a day each and the pick-up charge for a weekend is an additional cost. If the Council desires more information on this option, we can get that information very quickly.

Each option has costs that have not been budgeted and would require a budget amendment. Another option to address restrooms during the Farmers Market may be a joint solution between the Friends of Downtown and the City. Since the revenue from the Farmers Market goes directly to the Friends of Downtown and the event is not a City event, one option to consider would be for the City Council to waive the rental fee of the restroom trailer and the Friends of Downtown reimburse the City for the overtime costs. The Friends of Downtown currently has a fund balance of approximately \$14,000. Additional optional funding sources are the General Fund Reserve or the Downtown Fund which has a fund balance of approximately \$15,000

We are prepared to schedule the staff according to the direction and timeline provided by the Council.

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