

**AGENDA**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**December 19, 2019**  
**6:00 P.M.**

**CALL TO ORDER**

**OPEN FORUM**

**CONSENT AGENDA**

1. **Approval of Minutes** for the October 17, 2019 Historic Preservation Advisory Board (HPAB) meeting.

**PUBLIC HEARING ITEMS**

2. **H2019-017 (Korey)**  
Hold a public hearing to discuss and consider a request by Rick Cawthon for a Certificate of Appropriateness (COA) for exterior modifications to a Non-Contributing Property identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 205 N. Clark Street, and take any action necessary.
3. **H2019-018 (Korey)**  
Hold a public hearing to discuss and consider a request by Rick Cawthon for a Small Matching Grant allowing exterior modifications to a Non-Contributing Property being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.
4. **H2019-019 (Korey)**  
Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a Certificate of Appropriateness (COA) for the construction of a new office building on a 0.4590-acre Non-Contributing Property identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50), situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street, and take any action necessary.

**DISCUSSION ITEMS**

5. Update from Historic Preservation Officer (HPO) regarding historic projects. **(Ryan)**

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 13<sup>th</sup> day of December 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**MINUTES**  
**HISTORIC PRESERVATION ADVISORY BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**October 17, 2019**  
**6:00 P.M.**

I. CALL TO ORDER

The meeting was called to order by Chairman Nichols at 6:03 p.m. Board members present were Dick Clark, Carolyn Francisco, Jay Odom, Mike Mishler, Beverly Bowlin and Maurice Thompson. Staff members present were Planning Director, Ryan Miller, Planning Manager David Gonzales and Planning Coordinator, Laura Morales.

II. OPEN FORUM

Chairman Nichols explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward to speak Chairman Nichols closed the open forum.

III. CONSENT AGENDA

1. Approval of Minutes for the September 19, 2019 Historic Preservation Advisory Board (HPAB) meeting.

Board member Francisco made a motion to approve the consent agenda. Board member Thompson seconded the motion which passed by a vote of 7-0.

IV. PUBLIC HEARING ITEMS

2. H2019-011

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Certificate of Appropriateness (COA) for exterior modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

Planning Director, Ryan Miller, provided a brief explanation of the request. Michael Cheatham of WillowCreek Custom Homes is bringing a request forward on behalf of the owners Jim and Peggy Ricketts for a Certificate of Appropriateness for exterior modifications to a High Contributing Property requesting approval of a Certificate of Appropriateness in conjunction with a building permit fee waiver and a small neighborhood matching grant to allow the expansion of a single-family home by adding a garage and breezeway. The subject property was annexed prior to 1959, zoned Single-Family 7 District, and is situated within the Historic Overlay District. The subject property is recognized as a High Contributing Property, which indicates the property retains a high degree of architectural and physical integrity and possesses strong associations concerning the structure's historic context. The home is approximately 2,447 square feet and based on the 2017 Historic Resources Survey the main area was considered to have been constructed in the Folk Victorian style in 1905. On June 16, 2016, the Historic Preservation Advisory Board approved a Certificate of Appropriateness to allow renovations and expansion of the existing home on the subject property. On September 21, 2017, staff initiated a Reconsideration of Contributing Status request after reviewing the progress of the renovation and recognizing that the High Contributing designation may no longer be appropriate for the property. Following a review, the Historic Preservation Advisory Board passed a motion to allow the subject property to maintain its high-contributing designation and on December 20, 2018, the Historic Preservation Advisory Board approved a Certificate of Appropriateness in conjunction with a small neighborhood matching grant and a building permit fee waiver for the replacement of a fence. The applicant is requesting approval of a Certificate of Appropriateness in

60 conjunction with a building permit fee waiver and a small neighborhood matching grant to allow  
61 the expansion of a single-family home by adding a garage and breezeway.

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63 Mr. Miller advised the Board that the applicant was present and available for questions as well as  
64 staff.

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66 Chairman Nichols opened up the public hearing and asked the applicant to come forward.

67  
68 James Ricketts  
69 401 N. Fannin Street  
70 Rockwall, TX

71  
72 Mr. Ricketts came forward and provided additional comments in reference to the request.

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74 Chairman Nichols asked if anyone wished to speak to come forward and do so, there being no  
75 one indicating such, Chairman Nichols closed the public hearing and brought the item back to  
76 the Board for discussion or action.

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78 After brief discussion, Board member Clark made a motion to approve H2019-011 with staff  
79 recommendations. Board member Francisco seconded the motion which passed by a vote of 7-  
80 0.

81  
82 3. H2019-012

83 Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom  
84 Homes on behalf of the owners Jim and Peggy Ricketts for a Building Permit Fee Waiver for exterior  
85 modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition,  
86 City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N.  
87 Fannin Street, and take any action necessary.

88  
89 Planning Director, Ryan Miller, provided a brief explanation of the request.

90  
91 Chairman Nichols opened up the public hearing and asked if anyone wished to speak to come  
92 forward and do so, there being no one wishing to do so Chairman Nichols closed the public  
93 hearing and brought the item back to the Board for discussion or action.

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95 Chairman Nichols made a motion to approve H2019-012 with staff recommendations. Board  
96 member Thompson seconded the motion which passed by a vote of 7-0.

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98 4. H2019-013

99 Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom  
100 Homes on behalf of the owners Jim and Peggy Ricketts for a Small Matching Grant for exterior  
101 modifications to a *High Contributing Property* identified as Lot C, Block 122, B. F. Boydston Addition,  
102 City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N.  
103 Fannin Street, and take any action necessary.

104  
105 Planning Director, Ryan Miller, provided a brief explanation of the request and indicated both the  
106 applicant and staff would be available for questions.

107  
108 Chairman Nichols opened up the public hearing and asked if anyone wished to speak to come  
109 forward and do so, there being no one indicating such Chairman Nichols closed the public  
110 hearing and brought the item back to the Board for discussion or action.

111  
112 Board member Mishler made a motion to award a \$500 grant to case H2019-013 with staff  
113 recommendations. Board member Clark seconded the motion which passed by a vote of 7-0.

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115 V. DISCUSSION ITEMS

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117 5. Update from Historic Preservation Officer (HPO) regarding historic projects.

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119 Planning Director, Ryan Miller, indicated currently there are no ongoing historic projects.

121 VI. ADJOURNMENT

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Chairman Nichols adjourned the meeting at 6:31 p.m.

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PASSED AND APPROVED BY THE HISTORICAL PRESERVATION ADVISORY BOARD OF THE  
CITY OF ROCKWALL, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 2019.

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\_\_\_\_\_  
*DANIEL NICHOLS, CHAIRMAN*

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\_\_\_\_\_  
*ATTEST: LAURA MORALES, PLANNING COORDINATOR*

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# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Historic Preservation Advisory Board  
**DATE:** November 21, 2019  
**APPLICANT:** Rick Cawthon  
**CASE NUMBER:** H2019-017; *Certificate of Appropriateness (COA)*

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### **SUMMARY**

Hold a public hearing to discuss and consider a request by Rick Cawthon for a Certificate of Appropriateness (COA) allowing exterior modifications to a *Non-Contributing Property* being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1959 and classified as a *Non-Contributing* property according to the 2017 Historic Resources Survey. Existing on the subject property is a single-family home that was constructed in 1980 -- *according to the Rockwall Central Appraisal District (RCAD)*. The existing home is approximately 1,146 SF, one (1) story in height, and is clad with cementitious lap siding.

### **PURPOSE**

The applicant is requesting approval of a Certificate of Appropriateness (COA) for the purpose of expanding the existing single-family home on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located 205 N. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is W. Interurban Street, which is identified as a residential street on the City's Master Thoroughfare Plan. Beyond this, there is one (1) *Non-Contributing* and one (1) *High-Contributing* property. Following this is Williams Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this there is one (1) *High-Contributing* property, which delineates the northern boundary of the Old Town Rockwall (OTR) Historic District. These areas are zoned Single-Family 7 (SF-7) District.

South: Directly south of the subject property, there are several *Non-Contributing* properties followed by E. Kaufman Street, which is identified as a residential street on the City's Master Thoroughfare Plan. Beyond this there are three (3) *Non-Contributing* and one (1) *High-Contributing* property. These areas are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is N. Clark Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Following this there is one (1) *Non-Contributing* and one (1) *High-Contributing* property that delineates the eastern boundary of the historic district. These areas are zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property, there are several *Non-Contributing* properties followed by the western boundary of the historic district. These areas are zoned Single-Family 7 (SF-7) District.

### **CHARACTERISTICS OF THE PROJECT**

The applicant is proposing to add a total of 1,400 SF of living space to the rear of the home. In addition to the expansion to the rear of the home, the applicant is proposing to modify the front of the home by widening the existing front porch, replacing the existing wrought-iron posts with wood posts, and adding a front-facing gable above the porch. According to the applicant, the new roof will match the existing roofs' overhang and fascia. Additionally, the applicant is proposing to remove the existing siding and replace with a new cementitious lap siding.

### **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

According to Subsection 6.03, *Historic Overlay (HO) District*, of Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), a *Non-Contributing* structure is a building, site, structure, or an object which does not add to the historical architectural qualities, historical associations, or archaeological value for which a property or district is significant. In this case, the subject property is considered to be *Non-Contributing* because the home was constructed in 1980 and was not present during a period of significance. According to Section 6.2.G, *Standards of Approval*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) the Historic Preservation Advisory Board (HPAB) must approve an application for a Certificate of Appropriateness (COA) if it determines that the application will not adversely affect the character of the adjacent historic properties, and the proposed work is consistent with the regulations contained in the Unified Development Code (UDC). Although the home is not considered to be historic and does not have to adhere to the Historic Preservation Guidelines outlined in the Unified Development Code (UDC), the home is located within 300-feet of a *High Contributing* property (*i.e. 202 N. Clark Street*). As a result, the Historic Preservation Advisory Board (HPAB) is tasked with determining if the addition is compatible with the historic district and will not adversely affect the adjacent *High Contributing* property. In this case, the proposed addition will be located mostly to the rear of the home and only small portions of the expansion will be visible from Clark Street. Additionally, the addition appears to match the design and roofline of the existing home, and if approved the proposed scope of work does not appear to impair the historical integrity of the adjacent historical property; however, approval of a Certificate of Appropriateness (COA) is a discretionary decision for the Historic Preservation Advisory Board (HPAB).

### **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Appropriateness (COA), staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 10 20 40 60 80 Feet

H2019-017 - 205 N. CLARK STREET  
HISTORICAL - LOCATION MAP = 



SF-7

CLARK

INTERURBAN



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



10/19/2019

Rick and Paulette Cawthon

205 North Clark

Rockwall Texas 75087

[Rickgcawthon@gmail.com](mailto:Rickgcawthon@gmail.com)

214-726-5559

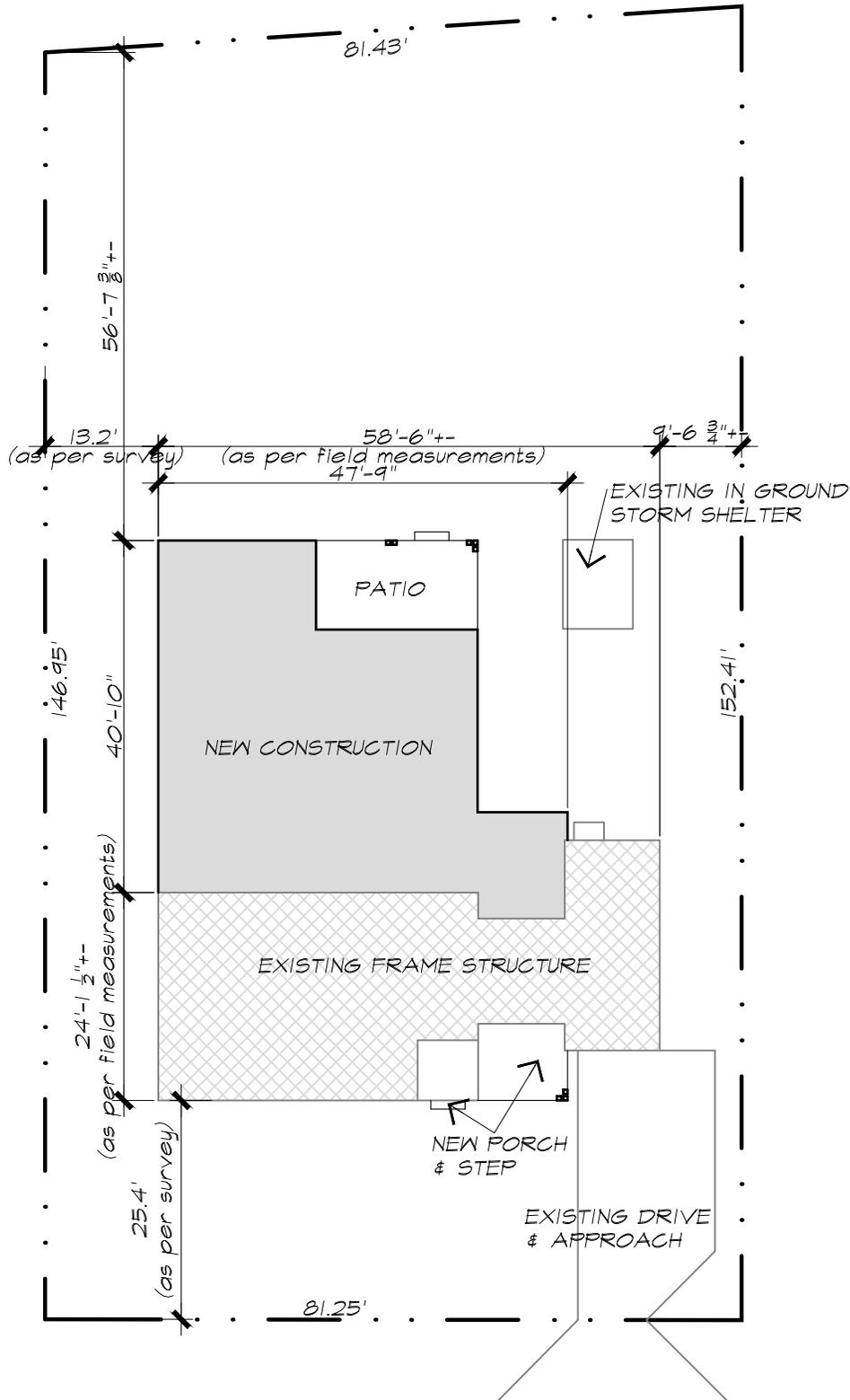
To whom it may concern at the City of Rockwall.

We are requesting a COA to add approximately 1400 square feet to our house located at the above address. Please review the attached site plan, survey, elevation drawings, material list and photographs.

Please let me know if you have additional questions.

Sincerely,

Rick and Paulette



205 N. CLARK ST.

LOT AREA = 12,161.73 SF  
 LOT COVERAGE = 24.8%

PLAN # C 2431  
 DATE: 10/17/2019

# SITE PLAN

SCALE: 1" = 20'-0"

*M. Rouse Designs*

2307 HIGH RIDGE  
 SACHSE, TEXAS 75048  
 (214) 801-9944  
 mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

COPYRIGHT 2019 - M. Rouse Designs - ALL RIGHTS RESERVED

PART OF BLOCK 22

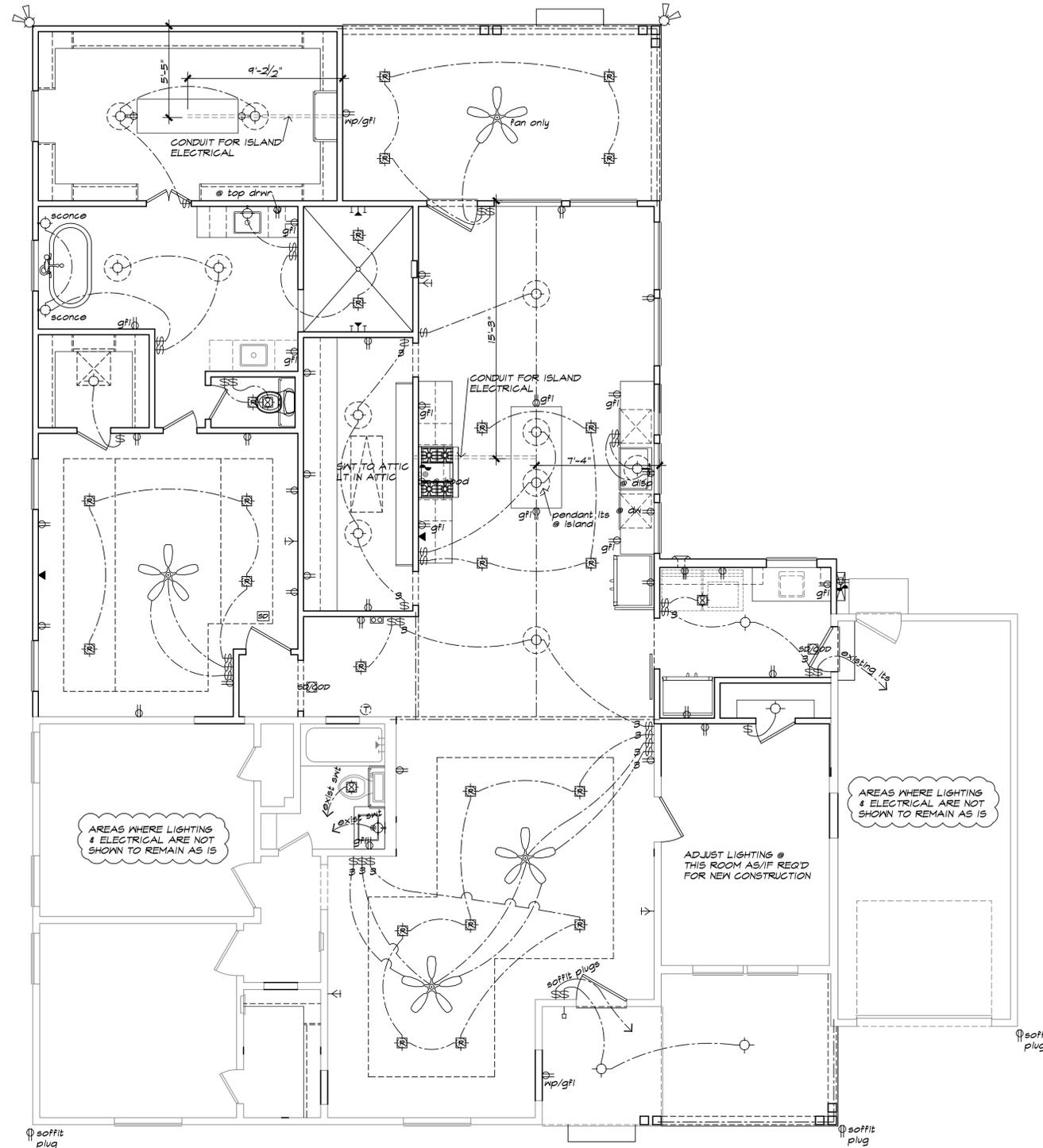
THE FARMERS AND MERCHANTS NATION BANK ADDITION

ROCKWALL, TEXAS

PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.







**LIGHTING & ELECTRICAL PLAN**

SCALE 1/4"=1'-0"  
 NOTE:  
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR &  
 EXTERIOR LIGHTING & ELECTRICAL AS PER OWNER

**LIGHTING & ELECTRICAL LEGEND**

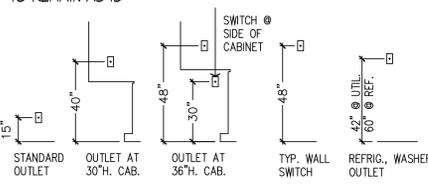
- ▼ LANDLINE - OPTIONAL
- ⊕ SWITCH
- ⊕ 6"Ø RECESSED LIGHT UNLESS NOTED
- ⊕ SURFACE MOUNT LIGHT
- ⊕ RECESSED EXHAUST FAN
- ⊕ SURFACE MOUNTED WALL LIGHT
- ⊕ HANGING LIGHT
- ⊕ DUPLEX RECEPTACLE
- ⊕ 220 RECEPTACLE
- ⊕ DUPLEX WEATHER PROOFED GROUND GROUND FAULT INTERRUPTER
- ⊕ DUPLEX GROUND FAULT INTERRUPTER
- ⊕ TV OUTLET (CAT 5e)
- ⊕ SMOKE DETECTOR
- ⊕ DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
- ⊕ CEILING FAN W/LIGHT KIT UNLESS NOTED
- ⊕ SMOKE/CARBON MONOXIDE DETECTOR
- ⊕ THERMOSTAT
- ⊕ PUSH BUTTON TO CHIME
- ⊕ CHIME

**NOTE**  
 ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER BUILDER

**ELECTRICAL NOTES**  
 (where applicable)

THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY! VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

- NOTE:**
- \* RELOCATE, REMOVE &/OR REMARK ALL EXISTING LIGHTING & ELECTRICAL AS REQUIRED FOR DEMOLITION & NEW CONSTRUCTION
  - \* ALL LIGHTING & ELECTRICAL NOT SHOWN IS EXISTING & TO REMAIN AS IS



**ELECTRICAL OUTLET LOCATIONS**  
 (where applicable)

**A RENOVATION FOR  
 205 N. CLARK  
 ROCKWALL, TEXAS**

**M Rouse Designs**  
 2307 HIGHRIDGE  
 SACHSE, TEXAS 75048  
 (214) 801-9944  
 mrouse designs.com  
 MROUSE DESIGNS, ELLIOTT BEATTY  
 COPYRIGHT 2019 - Mrouse Designs - ALL RIGHTS RESERVED

REVISED DATE

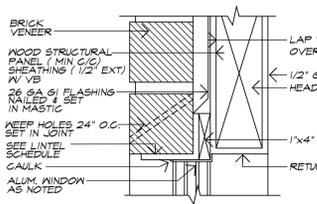
SHEET  
 AB

DESIGN NUMBER  
 C 2431

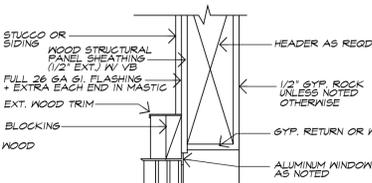
The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall make adjustments to any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of the construction documents and shall be held responsible for the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor are they intended to be a substitute for the professional engineering services of a licensed professional engineer. The contractor shall be responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of any structure, including but not limited to, foundation, retaining walls, and other structures. The contractor shall be responsible for the stability of any structure and shall be held responsible for the stability of any structure. The contractor shall be responsible for the stability of any structure and shall be held responsible for the stability of any structure.

# GENERAL CONSTRUCTION DETAILS & NOTATIONS

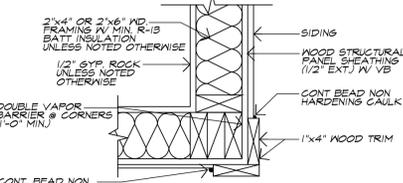
(WHERE APPLICABLE)



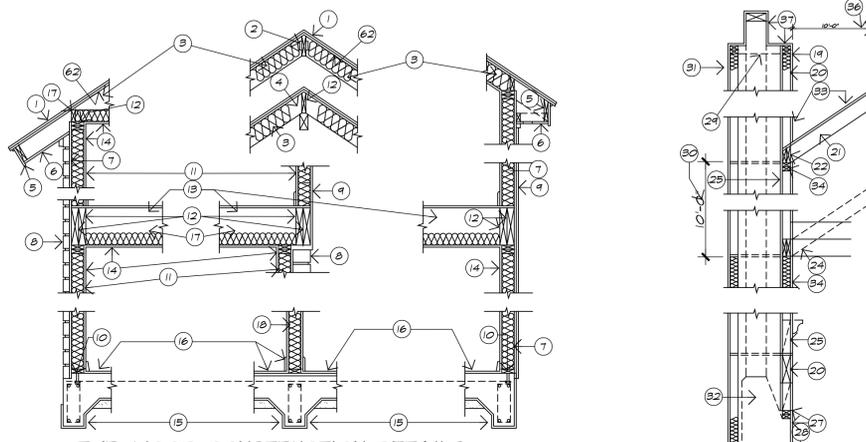
WINDOW HEAD - BRICK



WINDOW HEAD - FRAME (STUCCO)

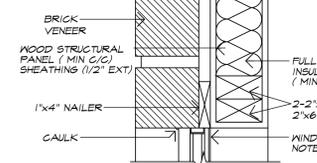


TYP. OUTSIDE CORNER FRAME

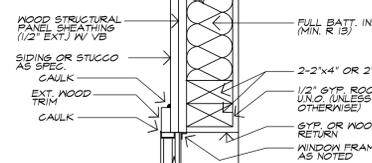


TYP. WOOD CONSTRUCTION DETAILS

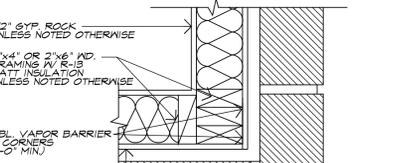
PREFAB FIREPLACE DETAILS



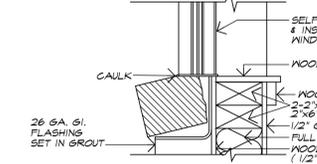
WINDOW JAMB - BRICK



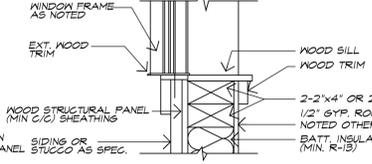
WINDOW JAMB - FRAME (STUCCO)



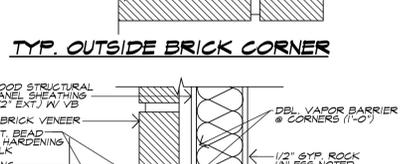
TYP. OUTSIDE BRICK CORNER



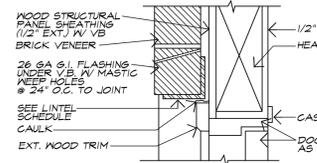
WINDOW SILL - BRICK



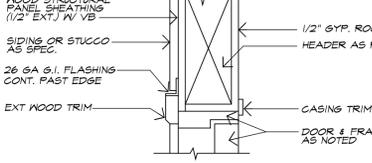
WINDOW SILL - FRAME (STUCCO)



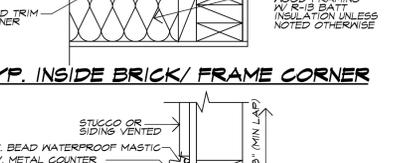
TYP. INSIDE BRICK/FRAME CORNER



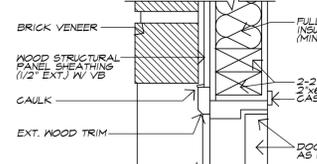
DOOR HEAD - BRICK



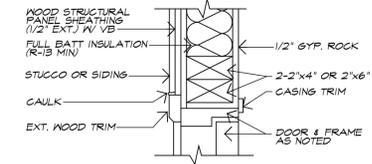
DOOR HEAD - FRAME (STUCCO)



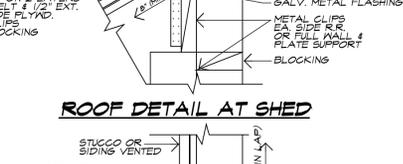
ROOF DETAIL AT SHED



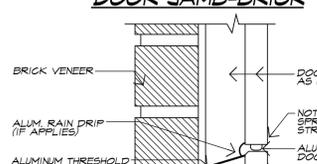
DOOR JAMB - BRICK



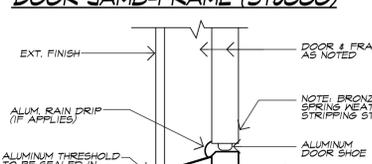
DOOR JAMB - FRAME (STUCCO)



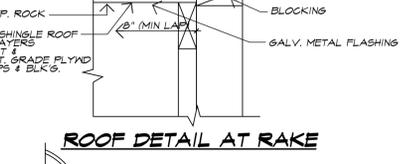
ROOF DETAIL AT RAKE



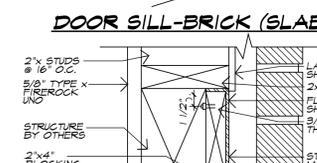
DOOR SILL - BRICK (SLAB)



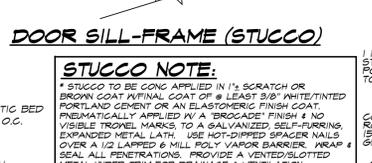
DOOR SILL - FRAME (STUCCO)



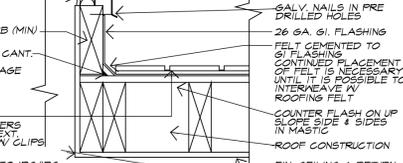
SKYLIGHT DETAIL



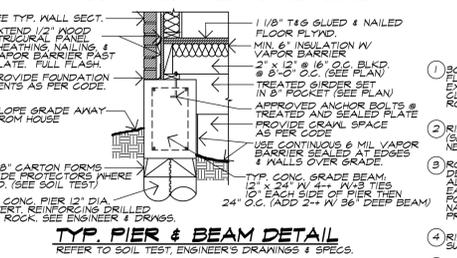
TYP. GAR. DOOR HEADER/ LINTEL W/ BRICK (16'-0")



STUCCO NOTE:



FLUSH BEAM HEADER BEAM



TYP. PIER & BEAM DETAIL

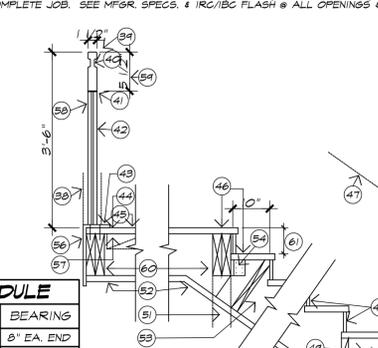
**IMPORTANT NOTE!!!**  
 THESE BASIC DETAILS AND NOTES ARE BASED ON THE CURRENT IRC/IBC PARTICULARLY WOOD CONSTRUCTION CHAPTERS 23 AND 24. REFER TO THE LATEST EDITION TO BE MADE A PART OF THESE PLANS. CONTRACTORS ARE ADVISED TO CHECK WITH THE LOCAL BUILDING DEPARTMENT FOR ANY LOCAL ORDINANCES OR REQUIREMENTS THAT MAY BE APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

\*\*\* IBC TABLE 2304.9.1 \*\*\*

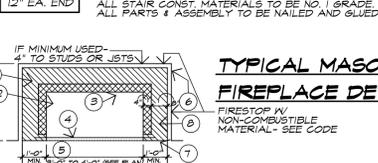
CONNECTION	NAILING(1)
1. JOIST TO SILL OR GIRDER TENDON	3-8d
2. BRAGING TO JOIST TENDON	2-8d
3. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST FACE NAIL	2-8d
4. RIDER THAN 1" x 6" SUBFLOOR TO EACH JOIST FACE NAIL	3-8d
5. 2" SUBFLOOR TO JOIST OR GIRDER END AND FACE NAIL	2-8d
6. SILE PLATE TO JOIST OR GIRDER END AND FACE NAIL	2-8d @ 6" O.C.
7. TOP PLATE TO STUD END NAIL	2-8d
8. STUD TO SOLE PLATE	2-8d @ 24" O.C.
9. DOUBLE STUDS FACE NAIL	2-8d @ 24" O.C.
10. DOUBLE STUDS END NAIL	2-8d @ 24" O.C.
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE TENDON	3-8d
12. RIDER SET TO TOP PLATE TENDON	2-8d @ 6" O.C.
13. TOP PLATES LAPS AND INTERSECTIONS FACE NAIL	2-8d @ 6" O.C.
14. CONTINUOUS HEADER TWO PIECES	2-8d @ 6" O.C.
15. CEILING JOIST TO PLATE TENDON	3-8d
16. CONTINUOUS HEADER TO STUD TENDON	4-8d
17. GIRDERS JOIST LAPS OVER PARTITIONS FACE NAIL	3-8d
18. GIRDERS JOIST TO FRAMING RAFTERS FACE NAIL	3-8d
19. RAFTERS TO PLATE TENDON	3-8d
20. 1" BRACE TO EACH STUD AND PLATE FACE NAIL	2-8d
21. 1" x 6" BRACING OR LESS TO EACH BEARING FACE NAIL	2-8d
22. RIDER THAN 1" x 6" BRACING TO EACH BEARING FACE NAIL	3-8d
23. BUILT-UP GIRDER STUDS	2-8d AT 24" O.C.
24. BUILT-UP GIRDER AND BEAMS	2-8d AT 24" O.C. AT TOP AND BOTTOM AND SHAKENING 2-20d AT ENDS AND AT EACH JOIST
25. 2" PLANKS	2-8d AT EACH BEARING
26. COLLAR TIE TO RAFTER FACE	3-8d
27. LACKS RAFTER TO W/P TENDON	2-8d
28. ROOF RAFTER TO 2x4 RIDGE BEAM TENDON	2-8d
29. JOISTS TO BAND JOISTS FACE NAIL	3-8d
30. JOISTS TO FRAMING RAFTERS FACE NAIL	3-8d
31. WOOD STRUCTURAL PANEL AND PARTIABLE BOARD: 3" (2" AND LESS) 3-8d (3-8d OR 6d) 1/2" - 3/4" 3-8d (3-8d OR 6d) 1/2" - 1/4" 3-8d (3-8d OR 6d) 3/4" AND LESS 3-8d (3-8d OR 6d) 1/2" - 1/4" 3-8d (3-8d OR 6d)	
32. PANEL SHEATHING (FRAMING): 1/2" OR LESS 3-8d (3-8d OR 6d) 3/4" 3-8d (3-8d OR 6d)	
33. FIBERBOARD SHEATHING: No. 11 GA. 8d/12 1/2" OR LESS No. 12 GA. 8d/12 3/4" 12" 25-8d No. 12 GA. 8d/12 No. 16 GA. 8d/12	
34. INTERIOR PANELING: 1/2" 25-8d 3/4" 25-8d	

**LINTEL SCHEDULE**

SPAN	SIZE	BEARING
0'-5"	3 1/2" x 3 1/2" x 1/4"	8" EA. END
5'-8"	5" x 3 1/2" x 5/16"	8" EA. END
8'-12"	6" x 4" x 3/8"	8" EA. END
12'-16"	8" x 4" x 1/2"	12" EA. END



TYPICAL STAIR DETAILS



TYPICAL MASONRY FIREPLACE DETAIL

- 12" x 4" UP TO 10'-0" & 2" x 6" UP TO 12'-0" STUD WALLS @ 16" O.C. BLOCKED @ MID-SPAN 1/4" OR 48" O.C. - SHEAR WALL BLOCKING CLOSER (SEE IRC/IBC) METAL CLIPS & BEAMS, VALLEYS, RIDGES FLOOR DIAPHRAGM & ALL SHEAR TRANSFER POINTS THROUGH TO CODE ANCHORED FLAT SLAB FOUNDATION. PLUS FILL & SEAL ALL HOLES & OPENINGS IN WALL FULL INSULATION EXT. (MIN R-13)
- 2" x 12" FLOOR JOISTS (#2 KD 5 Y.P. MIN.) @ 16" O.C. BLOCKED ENDS (AS SHOWN) 3'-0" O.C. OVER BEAMS, WALLS & UNDER FLOOR PARTITIONS PERPENDICULAR - USE DEL. JOISTS (4 SEE PLAN) UNDER PARALLEL PARTITIONS - PANEL GUESS & NAIL (AS PER IRC/IBC) BLOCKED @ CUT EDGES & FULL 3" INSULATION OR BOUNDARY OF REQUIRED SHEAR DIAPHRAGM INCLUDING MTL. CLIPS @ TOP & BOTTOM PLATES FOR SHEAR TRANSFER (SEE IRC/IBC) FOR NOTCHING & DRILLING LIMITS USE 3/4" DIA. DRILLING FOR FULL FACE INNER USE 5/8" X-TYPE FIRE ROCK @ CEILING OF GARAGE WITH IRC/IBC FIRE/AND/OR SEE TRUSS LAYOUT PLAN AS PER MFR/ENGR.
- 1/2" GYP. ROCK (SEE IRC/IBC FOR X-TYPE 1/4" OR 5/8" PER REQUIREMENTS)
- FOUNDATION SHOWN IS TYPICAL ONLY 1/4" 10" x 24" CONC. BEAMS W/ #4 @ 3' O.C. & 1/2" POLY VAPOR BARRIER 6" GRANULAR FILL ON PROPOSED COMPACTED BASE W/ ALL GRADE FROM FINISHED & SLOPE TO BE MAINTAINED. CONT. MAX. BEAM SPACING OF 12'-0" CENTER TO CENTER (SEE ENGINEERING PLAN FOR ALL DESIGN & DETAILS)
- FINISH FLOOR & BASE
- FIRE BLOCK & DRAFTSTOP ALL AREAS VERTICAL AND HORIZONTAL 10'-0" O.C. W/ 1/2" WOOD STRUCTURAL PANEL OR GYP. ROCK SECURELY ATTACHED (SEE IRC/IBC)
- INTERIOR WALL 2" x 4" OR 2" x 6" @ 16" O.C. W/ ANCHORED PLATE & 2" x 8" PLATE ABOVE TOP DOUBLE LATH BETWEEN JOISTS OR TRUSSES W/ METAL CLIPS & NAIL FOR SHEAR WALL SEE IRC/IBC FOR DIAPHRAGM SPECS, ANCHORS, & SHEAR TRANSFER DETAILS.
- EXTERIOR FINISH AS SELECTED.
- ROOF CONSTRUCTION
- SOLID BLOCKING
- X-ROCK FULL HEIGHT (NOTE: SOME OFFICIALS REQUIRE COMPLETELY ENCLOSED FLUE CHASE W/ X-ROCK & SOMETIMES 2 LAYERS 5/8")
- 2ND FLOOR ON ROOF
- SOLID BLOCKING FOR MANTEL SUPPORT.
- HEADER
- FIRE RESISTANT MATERIAL AROUND OPENING 360°
- NON-COMBUSTIBLE HEARTH THICKNESS AS PER IRC/IBC
- REDWOOD FASCIA - 1" x 8", 1" x 10", 1" x 12" (SEE PLAN) W/ TRIM & 26 GA. SI. DRIP
- 1/2" A/C EXT. WOOD STRUCTURAL PANEL SOFFIT W/ BLOCKED & BEVELED EDGES & JOINTS - GALV. MTL. VENTS AS PER CODE WOOD TRIM (1" x 2" OR 1" x 4") & FREEZE.
- 1/2" WOOD STRUCTURAL EXTERIOR (MIN. C/C) WOOD STRUCTURAL PANEL SHEATHING W/ DOUBLE LAPPED FELT VAPOR BARRIER OR EQUAL NAIL AS PER IRC/IBC 10" O.C. (MIN. 1/4" @ ALL EDGES) 1" O.C. SOLVE SHEAR WRT. STUDS 16" O.C. AND MIN. 3" @ DIAPHRAGM BOUNDARY NAILING MIN. 3/8" FROM EDGE. RIDGE & VALLEY SUPPORT POSTS TO 2" x 6" SUPPORTS @ 4'-0" O.C. BRACKED TO WALLS. ALL WALLS NAIL FULLY TO TOP & BOTTOM - SEAL ALL HOLES, TEARS, & REQUIRED PENETRATIONS.
- BRICK VENEER W/ WALL TIES @ 16" O.C. HORIZ. & EA. 5TH COURSE VERT. PLUS EXTRA @ SPECIAL AREAS. OMIT VERT. JOINTS @ BED COURSE UNDER VAPOR BARRIER 12" MIN. SILL REINFORCING ARCHES, CORNICES, CANTILEVERS, TAIL COLLARS. USE LINTEL SCHEDULE FOR SIZES, TYPES, & BEARINGS.
- PRE-FAB METAL W/ DOUBLE OR TRIPLE LINED SAFETY FLUES. 2" CLEARANCE EVERYWHERE. REFER TO IRC/IBC FOR METAL CLIP & SPECIAL METAL COLLAR TO TIGHTLY ENCLOSED FLUE CHASE AREA & AS PER IRC/IBC FIRE/AND/OR SEE TRUSS LAYOUT PLAN FOR ALL DESIGN & DETAILS.
- SADDLE, 5/16" FLASH & COUNTERFLASH, CAULK & SEAL (ST & 2ND FLOOR & ROOF)
- 2" x 2" PLATE
- TYPICAL 2" x WALL
- TO NEAREST ROOF/WALL OR COMBUSTIBLE MATERIAL
- CODE APPROVED SCREENED METAL CAP SLOPED W/ SPARK ARRESTOR - FLASHED & SEALED
- WHEN PARTIAL OR FULL 1/2" WALL RAILINGS IS USED, ANCHORS TO TOP & BOTTOM PLATE TO STUDS W/ MTL. CLIPS (SIMPSON OR EQUAL 1/2" x 8" @ 16" O.C. 1/2" WOOD STRUCTURAL PANEL DIAPHRAGM ON INSIDE FACE FULL FOR STIFFENING AND SHEAR EFFECT) GUESS & NAIL (AS PER MFR/ENGR.)
- NOTE: SIMILAR 2" x 6" S4S HANDRAIL ON WALL TO HAVE 1/2" GRIP x 1/2" CLEARANCE (MIN.) & 3/8" @ 16" O.C. IN STUDS, TOP @ 34" TO 36" FROM NOSING-SEE IRC/IBC (MAX. 4" CLEARANCE)
- 2" x 6" S4S NOSED/SHAPED OAK RAIL
- 1/4" x 1" STEEL TOP PLATE W/ 3/8" x 1/2" WOOD SCREWS @ 6" O.C.
- 1/4" x 2" 1/2" METAL PLATE W/ WOOD TRIM STAGGERED 1/2" FROM STUDS. 3/8" x 4" LONG EACH SIDE OF POSTS & 4" O.C.
- TYPICAL FLOOR
- FINISH AS PER OWNER (NON-SLIP)
- RAILINGS SIMILAR TO ABOVE
- 2" x 12" TREADS
- 3/4" RISERS
- CONT. 2" x 6" ANCHORED KICK PLATE
- FLOOR
- TYP. 2" x WALL SUPPORT W/ DEL. TOP PLATE TOP OF STAIR & MID FLIGHT.
- 5/8" TYPE X-FIREROCK
- 3-2" x 12" CARRIAGES SOLID FIRE BLOCKED TOP & BOTTOM AND MID FLIGHT & ADJACENT WALLS ALONG SLOPE OF STAIR
- METAL CLIP & NAILING
- ALL STAIR CONST. MATERIALS TO BE NO. 1 GRADE ALL PARTS & ASSEMBLY TO BE NAILLED & GUESS SEE IRC/IBC
- FINISHED WOOD OR GYP/SM. ROCK
- MAXIMUM HEIGHT 7.5' (SEE PLAN).
- RADIANT BARRIER INSTALLATION - TO BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE SHINY SIDE OF THE SHEET FACES OUT, THE SHEET IS FACTORY PERFORATED, IT IS NOT INSTALLED ON THE ATTIC FLOOR OR WHERE THE SHINY SIDE MAY BECOME COVERED WITH DUST & IS NOT SANDWICHED BETWEEN MATERIALS SUCH AS INSULATION & ROOF SHINGLES. IF APPLIED TO ROOF SHEATHING, THE RADIANT BARRIER MUST FACE DOWN INTO THE ATTIC & MAY NOT BE COVERED. RADIANT BARRIERS ARE NOT TO BE USED IN PLACE OF INSULATION. REFLECTIVE PAINT IS NOT CONSIDERED A RADIANT BARRIER.

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall notify the architect immediately of any discrepancies and/or omissions. The architect shall be responsible for the accuracy of these construction documents and the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustive detailed nor shall they be used for any other purpose. The contractor shall be responsible for the accuracy of the construction and it shall be his/her responsibility to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the International Building Code (IBC) and all applicable state and local codes. The general contractor shall be responsible for the accuracy of the construction documents and shall be responsible for the accuracy of the construction documents and shall be responsible for the accuracy of the construction documents and shall be responsible for the accuracy of the construction documents.

**M. Rawe Designs**  
 2307 HIGHRIDGE  
 SACHSE, TEXAS 75048  
 (214) 801-9944  
 mrawdsgns.com  
 MRAWEDSGNS@GMAIL.COM

REVISED DATE  
 SHEET LAST  
 DESIGN NUMBER ALL













# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Historic Preservation Advisory Board  
**DATE:** November 21, 2019  
**APPLICANT:** Rick Cawthon  
**CASE NUMBER:** H2019-018; *Small Matching Grant*

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### **SUMMARY**

Hold a public hearing to discuss and consider a request by Rick Cawthon for a Small Matching Grant allowing exterior modifications to a *Non-Contributing Property* being a 0.323-acre tract of land identified as a portion of Block 22, F & M Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 205 N. Clark Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed prior to 1959 and classified as a *Non-Contributing* property according to the 2017 Historic Resources Survey. Existing on the subject property is a single-family home that was constructed in 1980 -- *according to the Rockwall Central Appraisal District (RCAD)*. The existing home is approximately 1,146 SF, one (1) story in height, and is clad with cementitious lap siding. The applicant is requesting a small matching grant in conjunction with a request for a Certificate of Appropriateness (COA) [*Case No. H2019-017*] to allow exterior modifications to a single-family home on the subject property.

### **CONFORMANCE TO THE SMALL MATCHING GRANTS REQUIREMENTS**

According to Section 8, *Small Matching Grants*, of Article XI, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), residential properties located within the Old Town Rockwall (OTR) Historic or the Southside Residential Neighborhood Overlay (SRO) District are eligible for matching funds of 50% of the total project. The maximum grant amount for a *Non-Contributing Property* is \$500.00 and the project must include improvements that are visible from the street. In this case, the subject property is located within the Old Town Rockwall (OTR) District and is classified as a *High Contributing Property*. The project includes improvements that will be visible from the street (*i.e. an addition to the home*) and based on the applicant's scope of work, the property is eligible for matching funds. Based on the scope of work and the total valuation of \$110,000.00, the replacement of the cementitious lap siding qualifies for a small matching grant of up to \$500.00; however, approval of this request is discretionary for the Historic Preservation Advisory Board (HPAB).

As of November 18, 2019, the Historic Preservation Advisory Board (HPAB) has approved one (1) small matching grants for FY2019. Should this request be approved, the Small Matching Grants Fund would be reduced to \$3,500.

### **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Small Matching Grant, staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 12.5 25 50 75 100 Feet

H2019-018 - 205 N. CLARK STREET  
HISTORICAL - LOCATION MAP = 



INTERURBAN

CLARK

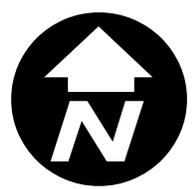
KAUFMAN



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



10/19/2019

Rick and Paulette Cawthon

205 North Clark

Rockwall Texas 75087

[Rickgcawthon@gmail.com](mailto:Rickgcawthon@gmail.com)

214-726-5559

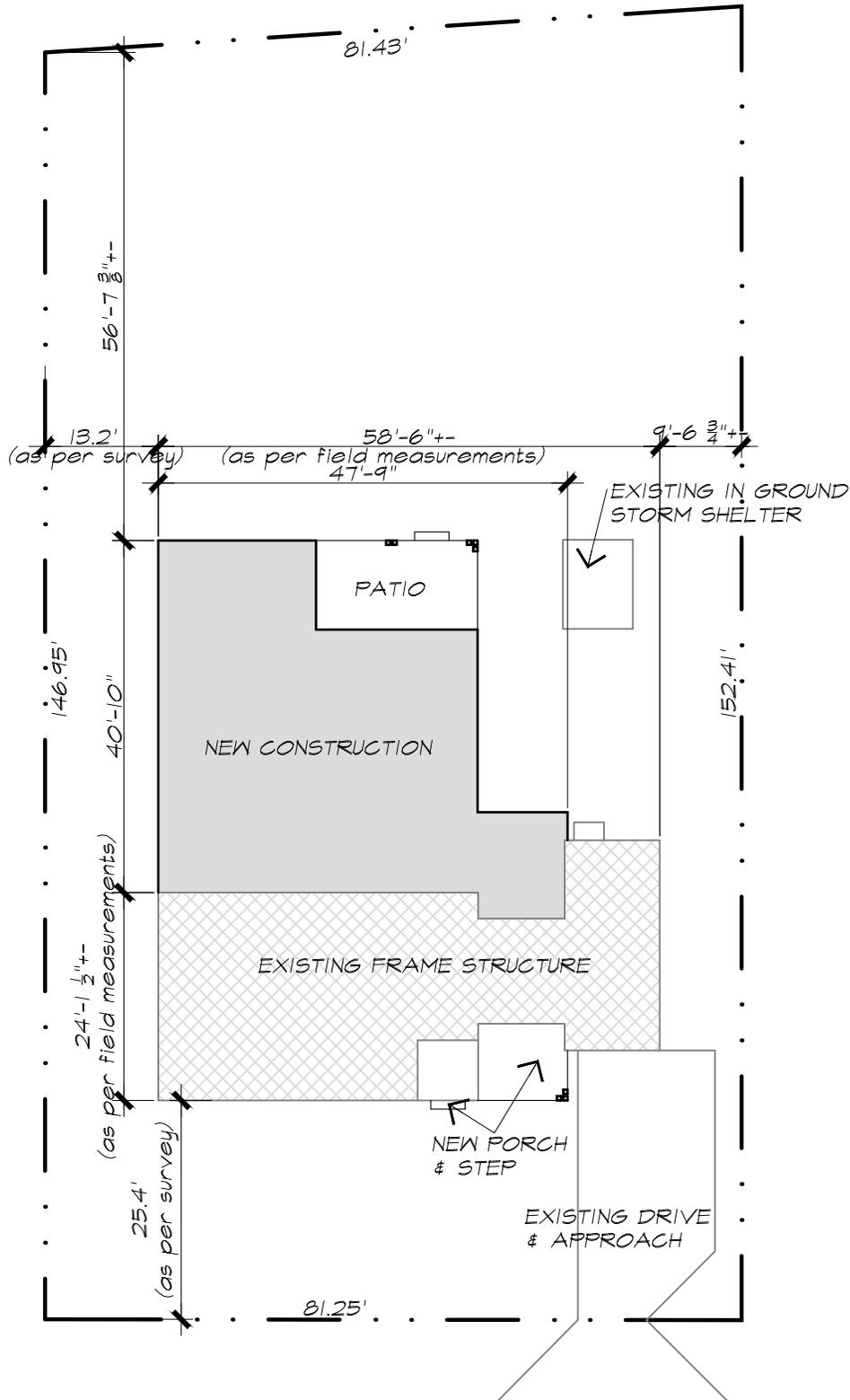
To whom it may concern at the City of Rockwall.

We are requesting a COA to add approximately 1400 square feet to our house located at the above address. Please review the attached site plan, survey, elevation drawings, material list and photographs.

Please let me know if you have additional questions.

Sincerely,

Rick and Paulette



205 N. CLARK ST.

LOT AREA = 12,161.73 SF  
 LOT COVERAGE = 24.8%

PLAN # C 2431  
 DATE: 10/17/2019

# SITE PLAN

SCALE: 1" = 20'-0"

*M. Rouse Designs*

2307 HIGH RIDGE  
 SACHSE, TEXAS 75048

(214) 801-9944

mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

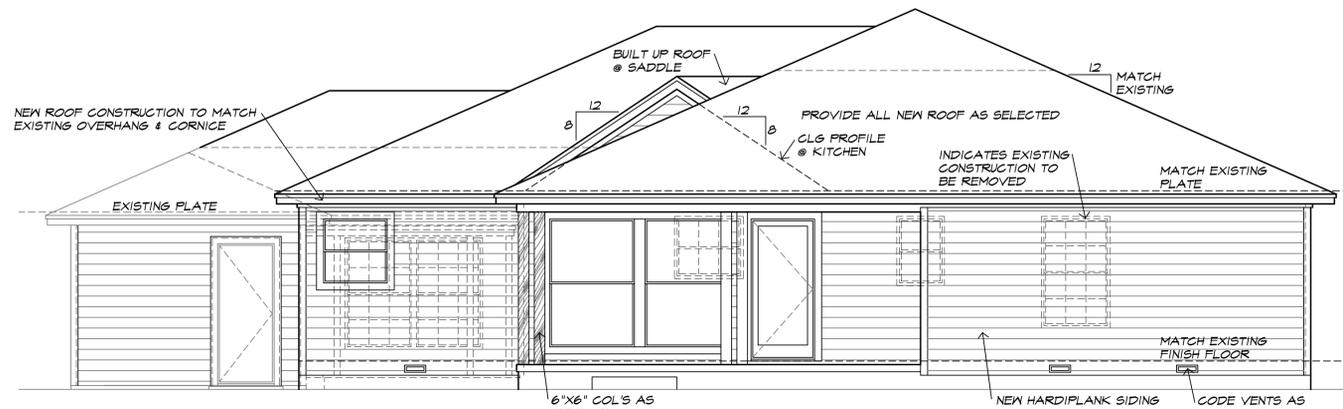
COPYRIGHT 2019 - M. Rouse Designs - ALL RIGHTS RESERVED

PART OF BLOCK 22

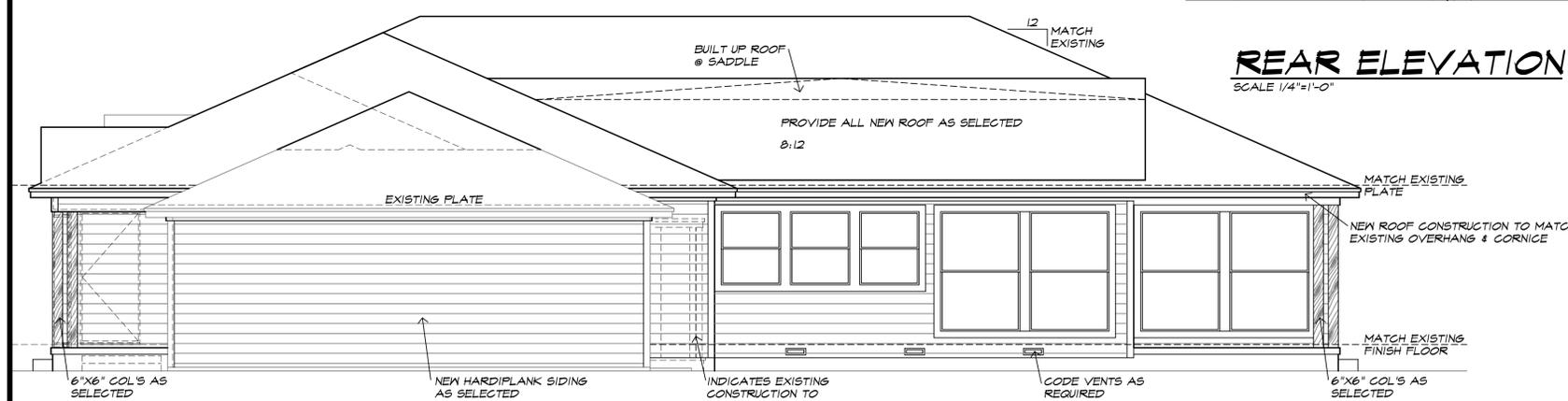
THE FARMERS AND MERCHANTS NATION BANK ADDITION

ROCKWALL, TEXAS

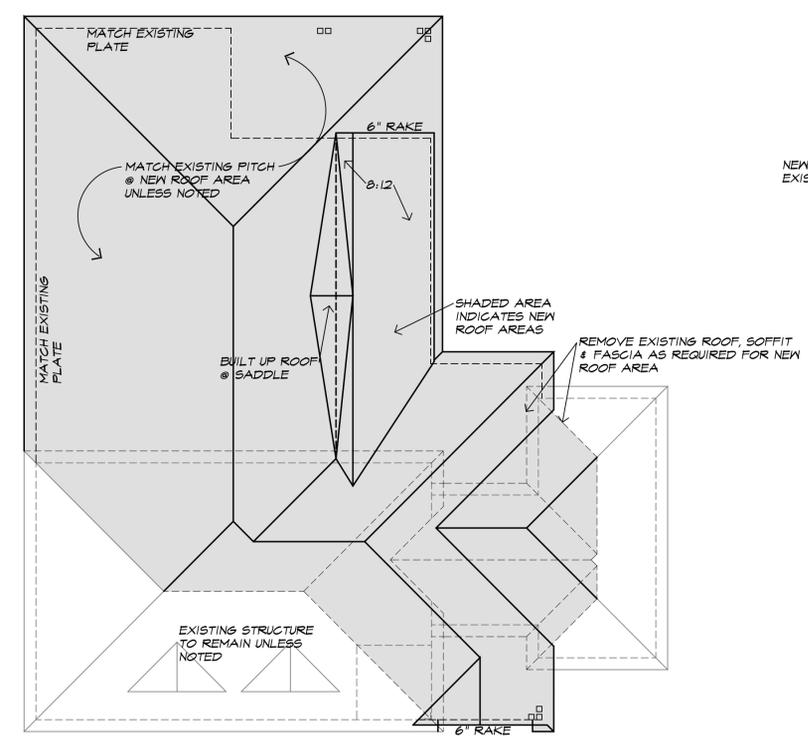
PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



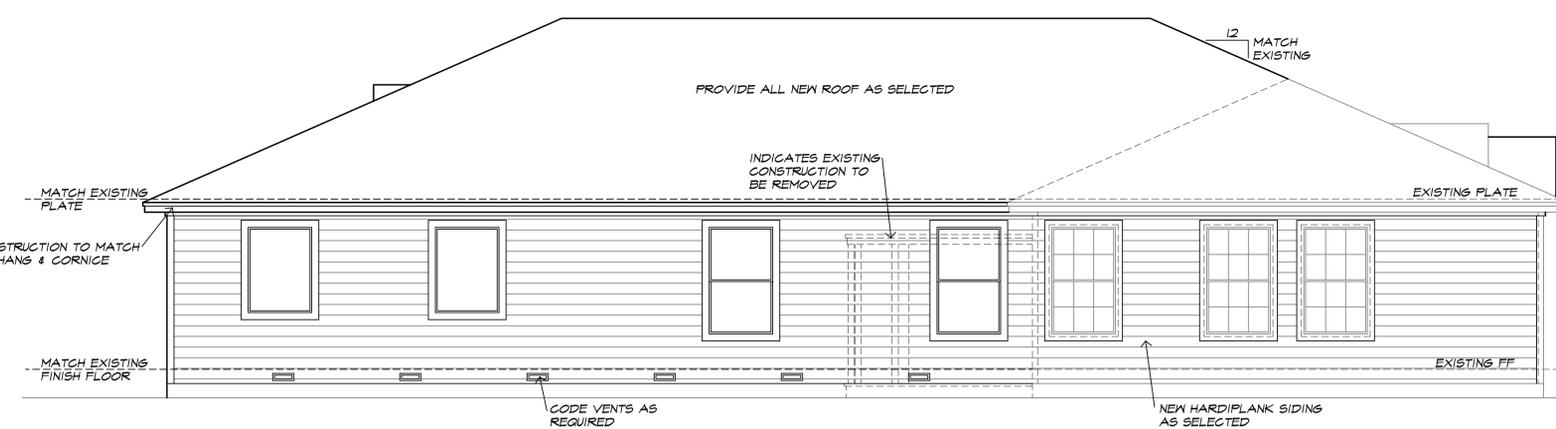
**REAR ELEVATION**  
SCALE 1/4"=1'-0"



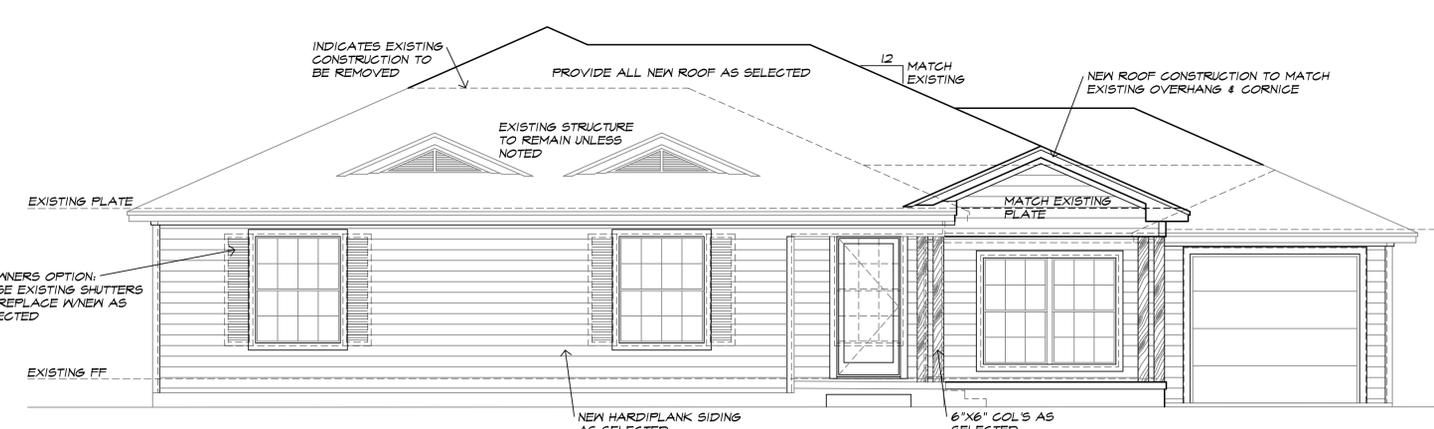
**RIGHT SIDE ELEVATION**  
SCALE 1/4"=1'-0"



**ROOF PLAN**  
SCALE 1/8"=1'-0"  
\* PROVIDE ALL NEW ROOF AS SELECTED  
\* PROVIDE CORNICE VENTS AS PER CODE WHERE APPLICABLE  
\* ROOF VENTILATION AS PER CODE  
\* MATCH EXISTING PITCH UNLESS NOTED  
\* NEW ROOF CONSTRUCTION TO MATCH EXISTING OVERHANG & CORNICE



**LEFT SIDE ELEVATION**  
SCALE 1/4"=1'-0"



**FRONT ELEVATION**  
SCALE 1/4"=1'-0"

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall be responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor are they intended to be a substitute for the contractor's own knowledge, experience, and equipment and it shall be his/her responsibility to select, verify, resolve, and install all materials and equipment and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of the structure. The contractor shall be responsible for obtaining all necessary permits and shall be responsible for the stability of the structure. The contractor shall be responsible for the stability of the structure. The contractor shall be responsible for the stability of the structure.

**A RENOVATION FOR  
205 N. CLARK  
ROCKWALL, TEXAS**

**M Rouse Designs**  
2307 HIGHLIDGE  
SACHSE, TEXAS 75048  
(214) 801-9944  
mrouse designs.com  
MROUSE DESIGN, ARCHITECTURE & INTERIORS  
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REVISED DATE  
SHEET A2  
DESIGN NUMBER C 2431



















# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Historic Preservation Advisory Board  
**DATE:** December 19, 2019  
**APPLICANT:** Ryan Miller, *Director of Planning and Zoning*  
**CASE NUMBER:** H2019-019; *COA for 810 N. Goliad Street*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Jeff Carroll of Carroll Architects, Inc. on behalf of the owner Frank Fite, II for the approval of a Certificate of Appropriateness (COA) for the construction of a new office building on a 0.4590-acre *Non-Contributing Property* identified as Lot A, Block 124, B. F. Boydston Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 50 (PD-50), situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 810 N. Goliad Street, and take any action necessary.

### **BACKGROUND**

The subject property is located within the B. F. Boydston Addition and was incorporated into the City of Rockwall in the early 1900's. According to the City's Historic zoning maps, the subject property was zoned Single Family 3 (SF-3) District from at least January 3, 1972 to November 5, 2001 when Planned Development District 50 (PD-50) was established by the City Council. Planned Development District 50 (PD-50) allows all land uses permitted within a Residential-Office (RO) District with special provisions. Staff has not found any permits, pictures, maps or aerial photography indicating that anything has ever been built on the property, and the property remains vacant today.

### **PURPOSE**

The applicant -- *Jeff Carroll of Carroll Architects, Inc.* -- is requesting a Certificate of Appropriateness (COA) for the purpose of constructing a 4,987 SF office building.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 810 N. Goliad Street. The land uses adjacent to the subject property are as follows:

**North:** Directly north of the subject property is a 0.4380-acre vacant tract of land addressed as 812 N. Goliad Street. North of this property is Heath Street, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is one (1) *Medium Contributing Property* (*i.e. ServiceFirst Mortgage*) and two (2) *Non-Contributing Properties* (*i.e. My Sister's Closet and TCB Construction Offices*). Beyond these properties are two (2) *Landmarked Properties* (*i.e. the Austin-Stacey Home and the Reese Home*). All of the property in this area is zoned Planned Development District 50 (PD-50).

**South:** Directly south of the subject property are two (2) single-family homes (*i.e. Lot 9 of the Barnes Addition and Lot B, Block 124 B. F. Boydston Addition*). South of this is a vacant tract of land (*i.e. Lot 8 of the Barnes Addition*) followed by a Hair Salon (*i.e. Mirror-Mirror Hair Studio*). All of these properties are zoned Planned Development District 50 (PD-50).

East: Directly east of the subject property is an ~6.50-acre tract of land (*i.e. Lots C & E, Block 124, B. F. Boydston Addition*) that is currently occupied with above ground water storage tanks owned by the City of Rockwall. East of this is a 3.46-acre vacant parcel of land followed by N. Fannin Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. All of these properties are zoned Single Family 7 (SF-7) District.

West: Directly west of the subject property is N. Goliad Street (*i.e. SH-205*), which is identified as a M4U-M (*modified major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this is a residential property (*i.e. Lot 2, Block A, Amick Addition*) zoned Planned Development District 50 (PD-50) and the continuation of Heath Street. West of this area is another residential property (*i.e. Lot 1, Block A, Amick Addition*) followed by N. Alamo Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. This property is zoned Single Family 7 (SF-7) District.

## **CHARACTERISTICS OF THE PROJECT**

The applicant is proposing to construct a 4,987 SF, two (2) story office building on the subject property. According to Section 6, *Certificates of Appropriateness (COA)*, of Article IX, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Historic Preservation Advisory Board (HPAB) is responsible for reviewing all building permits for exterior alteration, restoration, reconstruction, *new construction*, moving or demolition of a property within a historic district. Planned Development District 50 (PD-50) is an established historic district within the City of Rockwall, and as a result the Historic Preservation Advisory Board (HPAB) will be required to review the proposed site plan and make recommendations concerning the site plan's compliance to the City's historic guidelines to the Planning and Zoning Commission. In addition, the board will be acting on a request for a Certificate of Appropriateness (COA) concerning the proposed building elevations' conformance to the Historic Design Guidelines contained in the Unified Development Code (UDC) and the proposed projects' impact on adjacent historic properties.

According to Section 6.04, *North Goliad Corridor Overlay (NGC OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), all development within the NGC OV is required to mimic one (1) of the following styles: [1] Bungalow, [2] Cottage, [3] Craftsman, [4] Folk Victorian, or [5] Queen Anne. In this case, the building elevations submitted by the applicant are drawn to conform to the Craftsman style, which is described as being, "an extension of the early bungalow [*style*], the craftsman design included a low-pitched gabled roof with a wide, unenclosed eave overhang ... Roof rafters are usually exposed and decorative beams or braces are commonly added under gables ... Porches are either full or partial-width, with a roof often supported by tapered square columns ... The most distinctive features of this are the junctions where the roof joins the wall, where the most ornamentation occurs."

## **CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY'S CODES**

The proposed office building conforms to the guidelines contained in Appendix D, *Historic Preservation Guidelines*, of the Unified Development Code (UDC) as follows:

- (1) *Height*. The guidelines stipulate that new buildings be constructed to a similar residential scale as adjacent properties. In this case, the building is 33-feet in height, which is in conformance with the 36-foot height limitation for the Residential-Office (RO) District.
- (2) *Building Setback and Orientation*. The guidelines refer to new buildings being built utilizing similar setbacks and orientations as existing buildings. In addition, the guidelines state that new structures should be constructed so that new buildings maintain the *pier-and-beam* appearance. The proposed structure does maintain a *pier-and-beam* appearance by incorporating a brick wainscot along the bottom; however, the building is oriented to the side yard. Staff has

recommended to the applicant that a front entry, stoop, and deck be incorporated in the design on the front of the building to create a product that appears to be oriented toward the front of the property (*i.e. fronting the building onto S. Goliad Street*). Staff should note that no other property in Planned Development District 50 (PD-50) is oriented to the side yard like what is being proposed by the applicant.

- (3) *Building Facades and Materials*. The building elevations for the office building are proposing to utilize a mixture of Hardie Board lap-siding, Hardie Board in a *board-and-batten* pattern, and brick. All of these materials and installations can be seen within the existing district.
- (4) *Roofs*. The guidelines state that the “(r)ooof shape, form and design should be typical of or consistent with the style and period of the architecture of buildings within the Historic District ... (r)ooof materials/colors should be visually compatible and complimentary of the style and period of the structure.” In this case, the applicant is proposing to utilize a traditional composite asphalt shingle, which is visually compatible with other structures in the district; however, the applicant is also proposing to utilize standing seam metal roofing as an accent material on certain portions of the roof. This has been used on other properties in Planned Development District 50 (PD-50) (*i.e. the Spafford House*), but does remain a discretionary decision for the Historic Preservation Advisory Board (HPAB) when considering the Certificate of Appropriateness (COA).
- (5) *Front Yards*. As was stated previously, staff has recommended to the applicant changing the western building elevation to incorporate an entryway giving the appearance that the property fronts to S. Goliad Street. In addition, the applicant will be required to provide a detailed landscape plan with the site plan for the front yard areas.
- (6) *Side Yards*. The proposed site plan does appear to conform with the majority of the guidelines’ suggestions relating to the side yard; however, staff should point out that currently a staircase appears to be in the ten (10) foot side yard setback. This encroachment would require approval by the Board of Adjustments (BOA) prior to the approval of the site plan.
- (7) *Fences*. Currently, there is an existing chain-link fence located along the rear of the property. The adjacent property is zoned Single Family 7 (SF-7) District, and -- *as a result* -- the project will require three (3) tiered screening or a masonry screening wall along this adjacency. Staff has outlined this requirement below.
- (8) *Driveways*. The proposed driveways conform to the guidelines.
- (9) *Paving Materials*. All of the proposed paving will be concrete and conform to the City’s guidelines, codes and standards of design.
- (10) *Parking Areas for Commercial Development*. According to the guidelines, “(a)ll parking lots for more than five (5) vehicles and having frontage on a public street should be screened from the street by an evergreen hedge not lower than three (3) feet nor higher than four (4) feet tall. If a hedge is not desired than an earthen berm, masonry wall, or combination thereof may be substituted ...” The applicant is currently not showing the incorporation of any screening for the parking areas. Staff has added this as a condition of approval of the Certificate of Appropriateness (COA).
- (11) *Lighting of Yards and Parking Areas*. This will be reviewed at the time of site plan.
- (12) *Paint and Color*. Based on the color rendering provided by the applicant the colors of the proposed building appear to be in conformance with the guidelines.
- (13) *Signage for Commercial Properties*. All signage is required to conform to the requirements of the North Goliad Corridor Overlay (NGC OV) District.

With respect to the remainder of the proposed site plan staff has identified the following issues relating to the requirements of the Unified Development Code (UDC) that will need to be addressed with the site plan prior to approval from the Planning and Zoning Commission:

- (1) *Residential Adjacency*. Subsection 5.02(B), *Screening from Residential*, of Article VIII, *Landscape and Screening Standards*, of the Unified Development Code (UDC) requires either [1] a minimum six (6) masonry fence with canopy trees on 20-foot centers or [2] three (3) tiered screening with a minimum six (6) wrought iron fence be established adjacent to, “(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property...” In this case, the property directly east of the subject property is zoned Single Family 7

(SF-7) District. Currently, there is an existing six (6) foot chain-link fence on this property that is adjacent to the eastern boundary of the subject property. Section 8.02, *Non-Residential Fences*, of Article VIII, *Landscape and Screening Standards*, of the UDC goes on to allow wood fences in conformance with the residential fencing standards for new residential fences be permitted in the Residential-Office (RO) District. Based on the applicant's submittal, staff is of the opinion that it would be appropriate for the applicant to either [1] request to incorporate three (3) tiered screening adjacent to the existing chain-link fence or [2] establish a new wood fence with canopy trees on 20-foot centers; however, this is a discretionary decision for the Planning and Zoning Commission at the time of site plan.

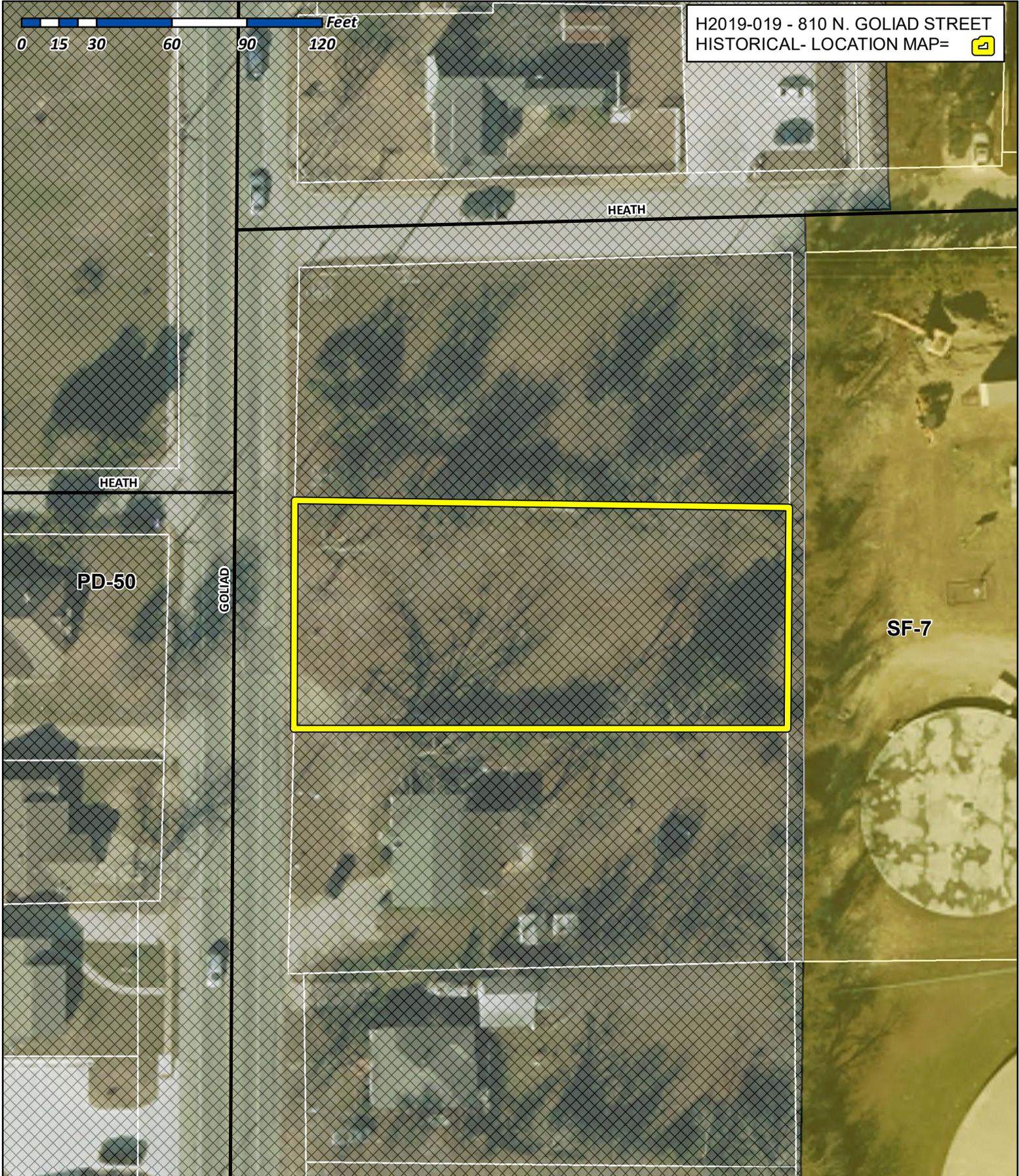
- (2) *Landscape Plan*. A more detailed landscape and treescape plan will be required to be submitted to ensure compliance to the tree planting requirements, which require a minimum of one (1) canopy tree and one (1) accent tree be planted adjacent to N. Goliad Street per 100 linear feet of frontage.

These issues have been added to the conditions of approval for this case.

### **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Certificate of Occupancy (COA), staff would propose the following conditions of approval:

- (1) A more detailed Landscape and Treescape Plan shall be submitted with the site plan showing conformance with the following:
  - (a) Landscaping and/or a berm -- *generally in conformance with the Historic Guidelines* -- should be incorporated in between N. Goliad Street and the parking lot to screen the parking areas;
  - (b) Conformance to the street tree requirements stipulated by Article VIII, *Landscape and Fence Standards*, of the Unified Development Code (UDC);
- (2) The alleyway situated on 808 N. Goliad Street will need to be verified prior to the approval of a site plan. Alternatively, the applicant can secure a cross access easement on the property;
- (3) The steps situated on the north side of the subject property are located within an established building setback and either need to be moved outside of the building setback or a variance needs to be approved by the Board of Adjustments (BOA) for the encroachment;
- (4) Residential screening -- *in conformance with Article VIII, Landscape and Fence Standards, of the Unified Development Code (UDC)* -- shall be required adjacent to the eastern property line;
- (5) The proposed building elevations are subject to review by the Architectural Review Board (ARB) as part of the site plan approval process;
- (6) A cross access easement (as depicted on the site plan) will need to be establish at the back of the subject property extending from the southern boundary of the subject property (*adjacent to 808 N. Goliad Street*) and extend to the northern boundary (*adjacent to 812 N. Goliad Street*); and,
- (7) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

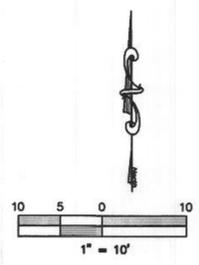
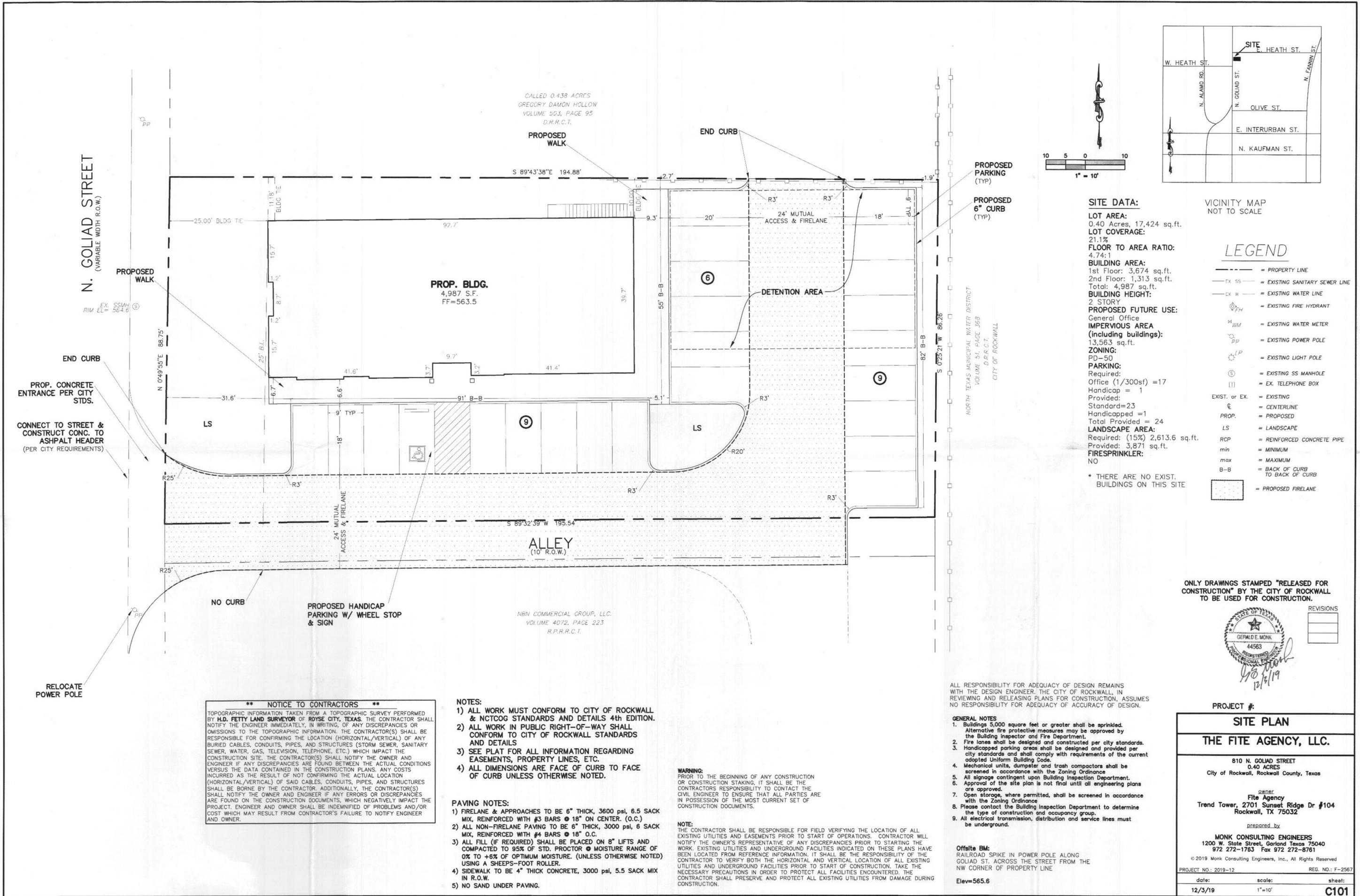


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



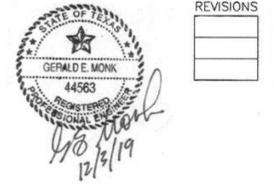


**SITE DATA:**  
**LOT AREA:**  
 0.40 Acres, 17,424 sq.ft.  
**LOT COVERAGE:**  
 21.1%  
**FLOOR TO AREA RATIO:**  
 4.74:1  
**BUILDING AREA:**  
 1st Floor: 3,674 sq.ft.  
 2nd Floor: 1,313 sq.ft.  
 Total: 4,987 sq.ft.  
**BUILDING HEIGHT:**  
 2 STORY  
**PROPOSED FUTURE USE:**  
 General Office  
**IMPERVIOUS AREA (including buildings):**  
 13,563 sq.ft.  
**ZONING:**  
 PD-50  
**PARKING:**  
 Required: Office (1/300sf) = 17  
 Handicap = 1  
 Provided: Standard=23  
 Handicapped=1  
 Total Provided = 24  
**LANDSCAPE AREA:**  
 Required: (15%) 2,613.6 sq.ft.  
 Provided: 3,871 sq.ft.  
**FIRESPRINKLER:**  
 NO  
 \* THERE ARE NO EXIST. BUILDINGS ON THIS SITE

**LEGEND**

---	= PROPERTY LINE
EX SS	= EXISTING SANITARY SEWER LINE
EX W	= EXISTING WATER LINE
⊕ FH	= EXISTING FIRE HYDRANT
⊕ WM	= EXISTING WATER METER
⊕ PP	= EXISTING POWER POLE
⊕ LP	= EXISTING LIGHT POLE
⊕	= EXISTING SS MANHOLE
⊕	= EX. TELEPHONE BOX
EXIST. or EX.	= EXISTING
⊕	= CENTERLINE
PROP.	= PROPOSED
LS	= LANDSCAPE
RCP	= REINFORCED CONCRETE PIPE
min	= MINIMUM
max	= MAXIMUM
B-B	= BACK OF CURB TO BACK OF CURB
⊕	= PROPOSED FIRELANE

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



**\*\* NOTICE TO CONTRACTORS \*\***  
 TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY H.D. FETTY LAND SURVEYOR OF ROYSE CITY, TEXAS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
  - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
  - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
  - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
  - 2) ALL NON-FIRELANE PAVING TO BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
  - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
  - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
  - 5) NO SAND UNDER PAVING.

**WARNING:**  
 PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

**NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
  2. Fire lanes shall be designed and constructed per city standards.
  3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
  4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance
  5. All signage contingent upon Building Inspection Department.
  6. Approval of the site plan is not final until all engineering plans are approved.
  7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
  8. Please contact the Building Inspection Department to determine the type of construction and occupancy group
  9. All electrical transmission, distribution and service lines must be underground.

**Offsite BM:**  
 RAILROAD SPIKE IN POWER POLE ALONG GOLIAD ST. ACROSS THE STREET FROM THE NW CORNER OF PROPERTY LINE  
 Elev=565.6

**PROJECT #:**

**SITE PLAN**

**THE FITE AGENCY, LLC.**

810 N. GOLIAD STREET  
 0.40 ACRES  
 City of Rockwall, Rockwall County, Texas

OWNER:  
**Fite Agency**  
 Trend Tower, 2701 Sunset Ridge Dr #104  
 Rockwall, TX 75032

prepared by  
**MONK CONSULTING ENGINEERS**  
 1200 W. State Street, Garland Texas 75040  
 972 272-1763 Fax 972 272-8761

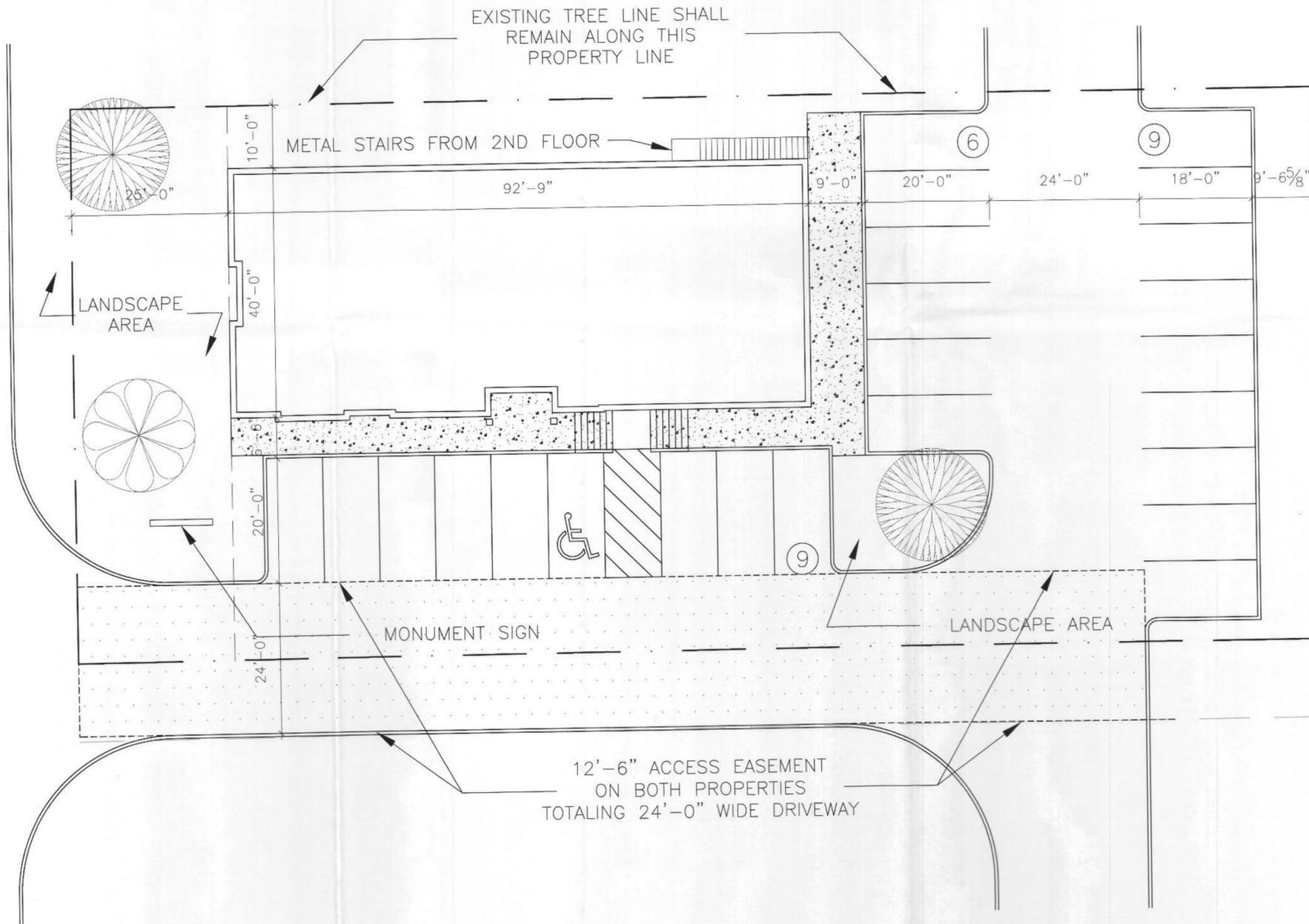
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PROJECT NO.: 2019-12 REG. NO.: F-2567  
 date: 12/3/19 scale: 1"=10' sheet: C101





GOLIAD STREET



SITE DATA TABLE	
SITE AREA	0.40 ACRES (17,424 S.F.)
ZONING	PD-50
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA	4,987 TOTAL S.F.
LOT COVERAGE	21.1%
FLOOR TO AREA RATIO	0.474 : 1
BUILDING HEIGHT MAX.	35'-0"

PARKING TABLE	
OFFICE PARKING	1/300 SF = 17
PARKING REQUIRED	17 SPACES (1 ADA)
PARKING PROVIDED	24 SPACES (1 ADA)

LANDSCAPE TABULATION	
GROSS AREA	0.40 ACRES (17,424 S.F.)
REQUIRED LANDSCAPE AREA- 15% OF 17,424 S.F.	2,614 S.F.
PROVIDED LANDSCAPE AREA- 22% OF 17,424 S.F.	3,871 S.F.
IMPERVIOUS COVERAGE- 78% OF 17,424 S.F.	13,553 S.F.

NOTES:  
 - Irrigation shall be provided to all landscaped areas.  
 - Tree mitigation for this project for existing trees on this property.  
 - All perimeter parking are within 50'-0" of a shade tree.

TREE/SHRUB LEGEND	
TREES, INSTALLED W/ MINIMUM 2" CALIPER (Ø)	
	RED BUD (2) 4' HIGH ● INSTALLATION
	BURR OAK (1) 4" MIN. CALIPER

GENERAL NOTES:

- VERIFY ALL UTILITIES BEFORE CONSTRUCTION.
- FOR PRICING PURPOSES ALL LIGHT POLE BASES SHALL BE A MINIMUM 1/2" DIAMETER, 8'-0" DEEP, W/ 1/2" STEEL, VERIFY W/ STRUCTURAL ENGINEER.
- EA SUB-CONTRACTOR SHALL COORDINATE AND CALL FOR ALL INSPECTIONS W/ TESTING LAB, OWNER WILL PAY FOR TESTING LABS.
- ALL BUILDING ENTRANCES AND EXITS SHALL BE HANDICAP ACCESSIBLE, SIDEWALK AND RAMP SLOPES SHALL NOT EXCEED THE MAXIMUM REQUIRED SLOPE NOT REQUIRING HANDRAILS, SEE T&S NOTES & DETAILS.
- LANDSCAPE SUBCONTRACTORS SHALL PROVIDE STABILIZATION OF ALL DISTURBED AREAS.
- LANDSCAPE SUBCONTRACTORS SHALL PROVIDE AN IRRIGATION SYSTEM AND PLANS THAT MEET ALL CITY REQUIREMENTS.
- REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM; PROVIDED HOWEVER, THAT A HOSE BIB SYSTEM MAY BE USED FOR IRRIGATION WHEN A LANDSCAPE AREA IS LESS THAN 1,000 SQUARE FEET IN SIZE AND WHEN ALL PORTIONS OF THE AREA ARE WITHIN 50'-FEET OF A HOSE ATTACHMENT. SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.
- ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL SHALL BE HYDROMULCHED BERMUDA, EXCEPT FOR UNDISTURBED SITE AREA.
- OWNER MAY SUBSTITUTE TYPES OF TREES, THE OWNER SHALL SELECT TYPES FROM CITY APPROVED TREE LIST ORDINANCE.
- CONTRACTOR SHALL SUPPLY SLEEVES AS NEEDED FOR IRRIGATION.
- CONTRACTOR TO VERIFY LOCATION OF IRRIGATION CONTROL W/ OWNER.

THE FITE AGENCY	
LEGAL DESCRIPTION AND OR ADDRESS: THE FITE AGENCY, LLC, DOCUMENT #2018000022302 Q.P.R.R.C.T.	
OWNER The Fite Agency 2701 Sunset Ridge Ste.104 Rockwall, TX 75087	
APPLICANT Carroll Architects, Inc. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com ATTN: Jeff Carroll	
CITY OF HEATH CASE NUMBER: 2019XXX	



1 LANDSCAPE PLAN  
SCALE: 1:10

ISSUE	OWNER REVIEW:
	11-22-2019

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PROPOSED OFFICE BUILDING FOR  
**THE FITE AGENCY**  
 810 Goliad St.  
 Rockwall, Texas 75087

THE FITE AGENCY  
 2701 Sunset Ridge,  
 Ste. 104  
 Rockwall, TX 75087

**CARROLL** architects  
 750 E. Interstate 30  
 Suite 110, TX 75087  
 Rockwall, TX 75087  
 P: 972-732-6085  
 F: 972-732-8058

LANDSCAPE PLAN

DATE:	JUL 2019	SHEET NO.:	L1
PROJECT NO.:	2018055		
DRAWN BY:			
CHECKED BY:			