#### AGENDA PLANNING AND ZONING COMMISSION WORK SESSION City Hall, 385 South Goliad, Rockwall, Texas Council Chambers January 29, 2019 6:00 P.M.

#### CALL TO ORDER

#### **CONSENT AGENDA**

#### 1. P2019-002 (David)

Consider a request by Gerald Houser of Collin-G Properties, LTD for the approval of a replat for Lot 2, Block A, Houser Addition being a 6.19-acre parcel of land identified Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

#### 2. P2019-003 (David)

Consider a request by Maria C. Bonilla of Winkelmann & Associates, Inc. on behalf of Jill Fisher of Dunhill Partners, Inc. for the approval of a replat for Lot 2, Block B, R. W. Marketcenter Addition being a replat of a 21.424-acre parcel identified as Lot 1A, Block B, R. W. Marketcenter Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated at the southwest corner of Market Center Drive and the E. IH-30 Frontage Road, and take any action necessary.

#### 3. P2019-004 (David)

Consider a request by Tony Degelia of A & W Surveyors on behalf of Michael Fisher for the approval of a replat for Lot 7, Block A, Temunovic Addition being a 1.082-acre parcel of land identified as Lot 6, Block A, Temunovic Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District, situated within the Scenic Overlay (SOV) District, addressed as 1306 Summer Lee Drive, and take any action necessary.

#### <u>APPOINTMENTS</u>

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

#### PUBLIC HEARING ITEMS

#### 5. Z2018-056 (Korey)

Hold a public hearing to discuss and consider a request by Tom Jones on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a zoning change from an Agricultural (AG) District to a Light Industrial (LI) District for a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

#### ACTION ITEMS

#### 6. MIS2019-002 (Korey)

Discuss and consider a miscellaneous request by Reubin E. Harle for the approval of a masonry exception for the purpose of constructing an accessory building that does not meet the minimum masonry requirements stipulated by the Unified Development Code (UDC) on a 4.632-acre parcel of land identified as Lot 5R, Block A, Zion Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family One (SF-1) District, addressed as 825 Zion Hills Circle, and take any action necessary.

#### **DISCUSSION ITEMS**

#### 7. Z2019-001 (Ryan)

Hold a public hearing to discuss and consider approval of a text amendment to Article IV, *Permissible Uses*, and Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] for the purpose of incorporating standards for a *Barn or Agricultural Accessory Building* and to amend the land use conditions for the *Guest Quarters/Secondary Living Unit* land use, and take any action necessary.

#### 8. Z2019-002 (David)

Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) for a structure that exceeds 60-feet in a Light Industrial (LI) District on a 42.61-acre tract of land identified as Tract 7 of the N. Butler Survey, Abstract No. 20 (*11.3736-acres*); Tract 31 of the R. Ballard Survey, Abstract No. 29 (*8.197-acres*); and, Lot 1-01, Block 1, Indalloy Addition (*14.53-acres*), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.

#### 9. SP2019-001 (Korey)

Discuss and consider a request by Reese Baez of Triton General Contractors on behalf of Kevin Lefere for the approval of a site plan for a medical office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located north of the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205], and take any action necessary.

#### 10. SP2019-002 (Korey)

Discuss and consider a request by Chuck Vickers of T & C Main Street Holdings, LLC for the approval of a site plan for an office building on a 0.50-acre parcel of land identified as Block 80B of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

#### 11. SP2019-003 (Korey)

Discuss and consider a request by Matt Moore of ClayMoore Engineering, Inc. for the approval of a site plan for a multi-tenant office/warehouse complex on a 7.52-acre portion of a larger 9.76-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail, and take any action necessary.

- **12.** Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).
  - ✓ P2018-047: Preliminary Plat for Breezy Hill, Phase XII [Approved]
  - ✓ Z2018-049: SUP for an Animal Shelter for 1700 E. SH-66 (2<sup>nd</sup> Reading) [Approved]
  - ✓ Z2018-050: SUP for a Covered Patio in the Take-Line for 5808 Constellation Circle (1<sup>st</sup> Reading) [Withdrawn]
  - ✓ Z2018-055: SUP for a Mini-Warehouse Facility on Ridge Road (1<sup>st</sup> Reading) [Denied]
  - ✓ Z2018-057: Amendment to Planned Development District 57 (PD-57) (1<sup>st</sup> Reading) [Approved]
  - ✓ Z2018-058: SUP for a Craft Winery and Commercial/Amusement Outdoors (1<sup>st</sup> Reading) [Postponed to the February 4, 2019 Meeting]
  - ✓ Z2018-059: Zoning Change (SFE-2.0 to SFE-1.5) for 1085 Dalton Road (1st Reading) [Approved]
  - ✓ SP2018-043: Waiver for Marina Village Condominiums [Approved]

#### ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 25<sup>th</sup> day of January 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

#### AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room January 29, 2019 5:00 PM

#### **CALL TO ORDER**

#### ACTION ITEMS

#### 1. SP2019-001 (Korey)

Discuss and consider a request by Matt Moore of ClayMoore Engineering, Inc. for the approval of a site plan for a multi-tenant office/warehouse complex on a 7.52-acre portion of a larger 9.76-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail, and take any action necessary.

#### 2. SP2019-002 (Korey)

Discuss and consider a request by Chuck Vickers of T & C Main Street Holdings, LLC for the approval of a site plan for an office building on a 0.50-acre parcel of land identified as Block 80B of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street, and take any action necessary.

#### 3. SP2019-003 (Korey)

Discuss and consider a request by Reese Baez of Triton General Contractors on behalf of Kevin Lefere for the approval of a site plan for a medical office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located north of the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205], and take any action necessary.

#### ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 25<sup>th</sup> day of January 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

#### CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

<u>AGENDA DATE:</u>	01/29/2019
APPLICANT:	Gerald Houser of Collin-G Properties, LTD
<u>AGENDA ITEM:</u>	P2019-002; Lot 2, Block A, Houser Addition

#### SUMMARY:

Consider a request by Gerald Houser of Collin-G Properties, LTD for the approval of a replat for Lot 2, Block A, Houser Addition being a 6.19-acre parcel of land identified Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

#### PLAT INFORMATION:

- ☑ The objective of this request is to replat a 6.19-acre tract of land [*i.e. Lot 1, Block A, Houser Addition*] for the purpose of the replat is to establishing firelane, public access & utility easements to construct an office building. Additionally, the replat will abandon a portion of a 15-ft utility easement that is located on the southern and western property boundaries. The subject property is addressed as 1611 SH-276, and zoned Heavy Commercial (HC) District.
- ☑ On October 11, 2016, the Planning and Zoning Commission approved a site plan [*i.e.* SP2016-022] for the subject property. Additionally, the City Council approved variances and exceptions associated with the site plan on October 27, 2016.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for a *replat* as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- ☑ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

#### **RECOMMENDATIONS:**

If the Planning and Zoning Commission and City Council choose to approve the replat for *Lot 2, Block A, Houser Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.
- 2) Any construction resulting from the approval of this *replat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Project Plan Review History



Project Name Type Subtype	P2019-002 Lot 1, Block A, Houser Adc PLAT REPLAT P&Z HEARING	lition	Own Appli				RTIES, LTC RTIES, LTC		Applied Approved Closed Expired Status	1/8/2019 1/25/2019	LM DG
Site Address 1611 HWY276		<b>City, State Z</b> ROCKWALL	•						Zoning		
Subdivision HOUSER ADDN		Tract 1			<b>Block</b> A	Lot N 1	lo	Parcel No 4007-000A-0001-(	<b>General Pl</b> a 00-0R	an	
Type of Review / Not	tes Contact	Sent	Due	Receive	ed	Elapsed	l Status		Remarks		
BUILDING	Russell McDowell	1/8/2019	1/15/2019	1/22/2	2019	14	APPROV	ED			
ENGINEERING (1/25/2019 9:56 Must tie to poir N: E:	Sarah Hager 5 AM SH) It to Rockwall GPS.	1/8/2019	1/15/2019	1/25/2	2019	17	COMME	NTS			
FIRE	Ariana Hargrove	1/8/2019	1/15/2019	1/24/2	2019	16	APPROV	ED			
GIS	Lance Singleton	1/8/2019	1/15/2019	1/22/2	2019	14	APPROV	ED			
PLANNING	David Gonzales	1/8/2019	1/15/2019	1/25/2	2019	17	COMME	NTS	See comm	ients	

Type of Review / Notes Contact

Remarks

Consider a request by Gerald Houser of Collin-G Properties, LTD for the approval of a replat for Lot2, Block A, Houser Addition being a 6.19-acre parcel of land identified Lot 1, Block A, Houser Addition, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 1611 SH-276, and take any action necessary.

Received

PLANNING COMMENTS - DAVID GONZALES - 01.24.2019

The following staff comments are to be addressed and resubmitted no later than Tuesday January 5, 2019. Please provide two large copies [FOLDED 18" X 24"] and one PDF version for a subsequent/final review by staff:

1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC), the staff comments provided by the Planning, Engineering, Building Inspection, and Fire Departments as indicated on the Project Plan Review document.

2. Provide a label indicating "Case No. P2019-002" on the lower right corner on all pages of the revised final plat submittal

Due

3. Include a label on platted lot that identifies the name of the subdivision [i.e. Houser Addition] and to be located above 'Lot 2, Block A'.

4. Correct lot number on plat and title block to indicate "Lot 2" [do not use Lot 1R].

5. Correct Title Block heading as follows:

**Final Plat** 

Houser Addition

Lot 2, Block A

etc....

Being a replat of Lot 1, Block A, Houser Addition...etc...

6. Relabel firelane as "24-ft Firelane, Public Access, Drainage and Utility Easements" as appropriate.

7. Change all 2018 year dates to '2019'.

\*\*As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions resubmitted and approved (by staff) prior to plat submittal on mylar for filing purposes \*\*

Although this case is scheduled for consent, staff recommends that a representative be present for the meetings as listed below. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

Scheduled Meeting Dates to Attend

Planning - Consent Agenda: January 29, 2019 (Tuesday at 6:00p.m.)

City Council - Consent Agenda: February 4, 2019 (Monday at 6:00 p.m.)





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





#### **OWNERS DEDICATION**

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS.

#### STATE OF TEXAS} COUNTY OF ROCKWALL}

I the undersigned owner of the land shown on this plat, and designated herein as COLLIN-G PROPERTIES, LTD., to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. The Property Owner is responsible for all maintenance, repair, and replacement of storm drain / detention facilities in easements.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Addition upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

COLLIN-G PROPERTIES, LTD.

Representative

#### STATE OF TEXAS} COUNTY OF ROCKWALL}

Before me, the undersigned authority, on this day personally appeared \_ person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated Given upon my hand and seal of office this \_\_\_\_\_ day of

Notary Public in and for the State of Texas

My Commission Expires:

Planning & Zoning Commission, Chairman Date APPROVED: I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_ This approval shall be invalid unless the approved Plat for such Addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval. Witness our hands this the \_\_\_\_\_ day of \_\_\_\_\_, 2018. Mayor, City of Rockwall City Secretary City Engineer

#### **OWNERS CERTIFICATE**

#### STATE OF TEXAS COUNTY OF ROCKWALL}

, known to me to be the

BEGINNING at a Concrete TxDOT Monument found lying on the Northerly Right-of-Way Line of State Highway 276, (a variable width public right-of-way) at the southwest corner of Lot 1, Block A, Mansions Family Addition, an addition to the City of Rockwall as recorded in Cabinet G, Page 395, Plat Records Rockwall County Texas and the southeast corner of said Lot 1, Block A .Houser Addition:

Official Public Records Rockwall County Texas, and being more particularly described as follows:

THENCE South 86 degrees 46 minutes 25 seconds West along the Northerly right-of-way of said State Highway 276, a distance of 80.79 feet to a 1/2 inch iron rod found for the southeast corner of a tract of land to Joel Hoyos as recorded in Volume 6756, Page 263 of the Deed Records Rockwall County Texas, said point also being the most southerly southwest corner of said Lot 1, Block A .Houser Addition;

WHEREAS, Collin-G Properties, LTD., being the owner of a tract of land out of the N.M. Ballard Survey, Abstract No. 24, in the City of Rockwall, Rockwall County, Texas, Being all of a Lot 1, Block A, Houser Addition,

an addition to The City of Rockwall as recorded in Cabinet B, Page 174 of the Plat Records of Rockwall County,

Texas., and all of a tract of land to Collin-G Properties as recorded in Instrument Number 20130000500168

THENCE North 03 degrees 01 minutes 58 seconds West along a common line of said Hoyos tract and said Lot 1, Block A , Houser Addition, a distance of 185.08 feet to a 5/8 inch iron rod with cap stamped "TNP" set for corner at an inner ell corner of said Lot 1, Block A, Houser Addition;

THENCE South 86 degrees 53 minutes 09 seconds West, a distance of 286.97 feet to a 1/2 inch rod found lying on the northerly line of a tract of land to to Yong-Ju Kim as recorded in Volume 4548, Page 95 of the Deed Records Rockwall County Texas, said point also being the most westerly southwest corner of said Lot 1, Block A ,Houser Addition and the southeast corner of a tract of land to 327 Holdings, LTD as recorded in Volume 6900, Page 317, of the Deed Records Rockwall County Texas;

THENCE North 00 degrees 13 minutes 26 seconds West along the common line of said 327 Holdings, LTD tract and said Lot 1, Block A , Houser Addition, passing the northeast corner of said 327 Holdings, LTD tract, same being the southeast corner of a tract of land to Kamy Real Property Trust as recorded in Instrument number 20140000010333 of the Official Public Records Rockwall County Texas and continuing along the common line of said Kamy tract and said Lot 1, Block A ,Houser Addition, a distance of 680.43 feet to the northwest corner of said Lot 1, Block A, Houser Addition said point also lying on the southerly line of a tract of land called Tract II to 1540 East IH 30 Rockwall LLC as recorded in Instrument Number 20170000005721 of the Official Public Records Rockwall County Texas and being the west corner of said Collin-G Properties tract, from which 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for reference bears North 05 degrees 37 minutes 21 seconds West, a distance of 0.45 feet;

THENCE along the common line of said Collin-G Properties tract and said Tract II the following courses and distances:

North 80 degrees 56 minutes 21 seconds East, a distance of 79.86 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for corner:

North 41 degrees 12 minutes 49 seconds East, a distance of 70.66 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for corner;

North 62 degrees 33 minutes 03 seconds East, a distance of 38.24 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for corner;

North 69 degrees 02 minutes 10 seconds East, a distance of 61.40 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for corner;

North 86 degrees 07 minutes 50 seconds East, a distance of 102.81 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for corner;

South 41 degrees 18 minutes 04 seconds East, a distance of 74.72 feet to a 5/8 inch iron rod with cap stamped "R-DELTA ENGINEERS" found for the common southeast corner of said Collin-G Properties tract and said Tract II, said point also lying on the north line of said Lot 1, Block A ,Houser Addition;

THENCE South 73 degrees 16 minutes 02 seconds East along the north line of said Lot 1, Block A ,Houser Addition, a distance of 6.87 feet to a 5/8 inch iron rod with cap stamped "TNP" set for the northeast corner of same lying on the west line of said Lot 1, Block A, Mansions Family Addition;

THENCE South 00 degrees 17 minutes 11 seconds East along the common line of said Mansions Family Addition and said Lot 1, Block A, Houser Addition, a distance of 899.27 feet to the POINT OF BEGINNING containing 293,559 square feet, or 6.739 acres of land.

THAT I, Brian J. Maddox, do hereby certify that I prepared this plat from an actual and accurate survey of the

land, and that the corner monuments shown thereon were properly placed under my personal supervision.

SURVEYOR'S CERTIFICATE

BRIAN J. MADDOX, R.P.L.S. NO. 5430

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_ DAY OF \_

		tnp	
		d	
100	50	P o	100
	SCA	LE IN FEET	
		1'' = 100'	

LEGEND

**IRF-IRON ROD FOUND** (C.M.)-CONTROLLING MONUMENT 5/8" CIRF- 5/8" CAPPED IRON ROD FOUND "R-DELTA ENGINEERS" WS ELEV- WATER SURFACE ELEVATION VOL.-VOLUME PG.-PAGE CAB.-CABINET NO .- NUMBER P.R.R.C.T.-PLAT RECORDS ROCKWALL COUNTY, TEXAS

D.R.R.C.T.-DEED RECORDS ROCKWALL COUNTY, TEXAS O.P.R.R.C.T.-OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS

LINE #	LENGTH	BEARING
L1	31.41'	\$86°46'12"W
L2	356.57	S00°01'43"E
L3	24.00'	S89°57'09"E
L4	50.05	S89°49'20"E
L5	4.71'	\$89°49'20"E
L6	24.00'	N06-10'40"E
L7	4.71'	N89'49'20"W
L8	50.29	N89'49'58''W
L9	293.95'	N90'00'00''W
L10	78.86'	\$86'53'09''W
L11	15.00'	\$03°23'13"E
L12	21.99'	N66°19'50''W
L13	25.79	N80°36'40"W
L14	118.88'	\$89°47'55"W
L15	13.96'	\$45*36'22"E

LINE #	LENGTH	BEARING
L16	138.85	S00°09'01''W
L17	128.95	N00*09'02"E
L18	151.78	\$05°13'08''W
L19	23.61'	\$39°46'52"E
L20	28.73	N89°46'34"E
L21	29.17	N44°46'34"E
L22	118.07'	N00°11'18"W
L23	134.80'	N00°11'31"W
L24	11.46'	N86°53'09"E
L25	112.05'	S89°55'06"E
L26	91.85'	S89°53'13"E
L27	49.74	N43°33'56"E

EASEMENT CURVE TABLE								
CURVE #	DELTA	RADIUS	CHORD BEARING	CHORD LENGTH	ARC LENGTH			
C1	90°12'19"	20.00	N 45°04'31" E	28,33'	31.49'			
C2	14°57'36"	123.96'	S 82*20'32" E	32.27'	32.37'			
C3	14°57'36"	123.96	S 82°20'32" E	32.27'	32.37'			
C4	8°51'17"	99.96'	N 79"17'23" W	15.43'	15.45'			
C5	14°57'36"	147.96'	N 82°20'32" W	38.52	38.63'			
C6	89°47'41"	20.00'	N 44°55'29" W	28.23	31.34'			



P.O. BOX 1336 Rockwall, Texas 75087 Rockwall County, Texas

OWNER COLLIN-G PROPERTIES, LTD. P.O. Box 847 Rockwall, TX. 75087-0847 Rockwall County, Texas

### REPLAT HOUSER ADDITION LOT 1R, BLOCK A

2018

293,559 SQUARE FEET 6.739 ACRES

BEING ALL OF LOT 1, BLOCK A, HOUSER ADDITION AND ALL OF A TRACT OF LAND TO COLLIN-G PROPERTIES AS RECORDED IN INSTRUMENT NUMBER 20130000500168 SITUATED IN THE N.M. BALLARD SURVEY ABSTRACT NO. 24 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

#### PROJECT INFORMATION

Project No.: DPH 18146 NOVEMBER 26, 2018 Date: Drawn By: GS9 Scale: 1"=100' SHEET 1 of 1

#### SURVEYOR

825 Watters Creek Boulevard, Suite M300 Allen, Texas 75013 214.461.9867 ph 214.461.9864 fx T.B.P.L.S. Registration No. 10194381 www.tnpinc.com



#### CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE:01/29/2019APPLICANT:Maria C. Bonilla of Winkelmann & Associates, Inc.AGENDA ITEM:P2019-003; Lot 2, Block B, R.W. Marketcenter Addition

#### SUMMARY:

Consider a request by Maria C. Bonilla of Winkelmann & Associates, Inc. on behalf of Jill Fisher of Dunhill Partners, Inc. for the approval of a replat for Lot 2, Block B, R. W. Marketcenter Addition being a replat of a 21.424-acre parcel identified as Lot 1A, Block B, R. W. Marketcenter Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated at the southwest corner of Market Center Drive and the E. IH-30 Frontage Road, and take any action necessary.

#### **PLAT INFORMATION:**

- ☑ The objective of this request is to replat a 21.424-acre tract of land [*i.e. Lot 1A, Block B, R. W. Marketcenter Addition*] for the purpose of the replat is to abandoning a portion of an existing firelane, access & utility easement and realigning the easement to accommodate the expansion of an existing Bath and Beyond retail store [*i.e. SP2018-034*]. The site is located on the southeastern portion of the lot, adjacent to Ralph Hall Parkway and Market Center Drive, and is zoned Commercial (C) District.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for a *replat* as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- ☑ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

#### **RECOMMENDATIONS:**

If the Planning and Zoning Commission and City Council choose to approve the replat for *Lot 2, Block B, Marketcenter Addition*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.
- 2) Any construction resulting from the approval of this *replat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







#### OWNER'S CERTIFICATE

#### STATE OF TEXAS COUNTY OF ROCKWALL §

WHEREAS, ROCKWALL DUNHILL, LLC being the owner of a tract of land in the County of Rockwall, State of Texas. said tract being described as follows:

BEING a tract of land situated in the JAMES SMITH SURVEY, ABSTRACT No. 200, and the E. P. GAINES SURVEY, ABSTRACT NO. 64, in the City of Rockwall, Rockwall County, Texas, being all of Lot 1A, Block B, R W Marketcenter Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet D, Page 134, Official Public Records of Rockwall County, Texas, and all of a tract of land described in Warranty Deed with Vendor's Lien to R W Marketplace Associates, Ltd. as recorded in Volume 1522, Page 279, Official Public Records, Rockwall County, Texas, said tract being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for the Northwest corner of said Lot 1A and the Northeast corner of Church on the Rock Addition, an addition to the City of Rockwall. Rockwall County, Texas, according to the Plat thereof recorded in Cabinet B, Slide 84, Official Public Records of Rockwall County, Texas, on the Southeast right-of-way of Interstate Highway 30, a variable width right-of-way;

THENCE North 70 deg 01 min 20 sec East, with the Southeast right-of-way of said Interstate Highway 30 and the Northwest line of said Lot 1A, a distance of 413.30 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner at the Northwest end of a corner clip at the intersection of the Southeast right-of-way of said Interstate Highway 30 and the West right-of-way for Market Center Drive, a 60-foot right-of-way, as established by Home Depot-Rockwall Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet D, Page 57, Official Public Records of Rockwall County, Texas:

THENCE South 64 deg 52 min 32 sec East, along said corner clip, a distance of 21.18 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner at the Southeast end of said corner clip on the West right-of-way of said Market Center Drive;

THENCE in a Southeasterly direction with the Southwest right-of-way of said Market Center Drive and the Northeast lines of said Lot 1A, the following courses and distances:

South 19 deg 46 min 24 sec East, a distance of 136.46 feet to a 1/2-inch iron rod with plastic cap stamped "W.A.I. 5714" set for corner, said point being the beginning of a curve to the left having a radius of 630.00 feet, a central angle of 64 deg 32 min 45 sec, a chord bearing of South 52 deg 02 min 46 sec East, and a chord length of 672.78 feet:

Along said curve to the left, an arc distance of 709.72, to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for, said point being the beginning of a curve to the right having a radius of 570.00 feet, a central angle of 38 deg 22 min 10 sec, a chord bearing of South 65 deg 08 min 03 sec East, and a chord length of 374.62 feet;

Along said curve to the right, an arc distance of 381.71 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner:

South 45 deg 56 min 58 sec East, a distance of 91.50 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for corner at the North end of a corner clip at the intersection of the West right-of-way with the Northwest right-of-way of Ralph M. Hall Parkway, an 85-foot right-of-way, as established by Plat of said Home Depot-Rockwall Addition;

THENCE South 01 deg 13 min 41 sec East, along said corner clip, a distance of 21.32 feet to an "X" cut in concrete found for corner on the Northwest right-of-way of said Ralph M. Hall Parkway;

THENCE South 43 deg 29 min 37 sec West, along the Northwest right-of-way of said Ralph M. Hall Parkway and the Southeast line of said Lot 1A, a distance of 1,010.21 feet to an "X" cut in concrete found for the Southwest corner of said Lot 1A on the Northeast line of said Church on the Rock Addition;

THENCE North 29 deg 26 min 15 sec West, along the Southwest line of said Lot 1A and the Northeast line of said Church on the Rock Addition, a distance of 521.68 feet to an "X" cut in concrete found for the Southeast corner of said R W Marketplace Associates tract, said point being the beginning of a curve to the left having a radius of 190.00 feet, a central angle of 11 deg 41 min 18 sec, a chord bearing of North 35 deg 16 min 54 sec West, and a chord length of 38.69 feet;

THENCE along the Southwest lines of said R W Marketplace Associates tract, the following courses and distances:

Along said curve to the left, an arc distance of 38.76 feet, to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner:

North 41 deg 07 min 33 sec West, a distance of 94.02 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner, said point being the beginning of a curve to the right having a radius of 210.00 feet, a central angle of 11 deg 25 min 32 sec, a chord bearing of North 35 deg 24 min 47 sec West, and a chord length of 41.81 feet;

Along said curve to the right, an arc distance of 41.88 feet, to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner from which a 5/8-inch iron rod with plastic cap stamped "KHA" found bears North 02 deg 49 min 56 sec West, a distance of 0.62 feet;

North 29 deg 42 min 01 sec West, a distance of 227.00 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner, said point being the beginning of a curve to the right having a radius of 210.00 feet, a central angle of 30 deg 23 min 48 sec, a chord bearing of North 14 deg 30 min 06 sec West, and a chord length of 110.11 feet;

Along said curve to the right, an arc distance of 111.41 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" found for the Northwest corner of said R W Marketplace Associates tract;

THENCE North 29 deg 26 min 15 sec West, along the Southwest line of said Lot 1A and the Northeast line of said Church on the Rock Addition, a distance of 282.69 feet to a 1/2-inch iron rod with plastic cap stamped "W.A.I. 5714" set for corner from which a 1/2-inch iron rod found bears North 31 deg 07 min 53 sec East, a distance of 0.75 feet;

THENCE North 11 deg 50 min 36 sec West, along the Southwest line of said Lot 1A and the Northeast line of said Church on the Rock Addition, a distance of 249.84 feet to the POINT OF BEGINNING.

CONTAINING within these metes and bounds 933,244 square feet or 21.424 acres of land, more or less	s. COUNTROP	
Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 22nd da 2013, utilizing the Southeast line of Lot 1A, Block B, R W Marketcenter Addition, an addition to the City Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet D, Page 134, Offic Records of Rockwall County, Texas.	of Noe and acknowledge that he executed this instrument on behalf of the corporation, which acted for the partnership.	<b>ann</b> Inc. surveyors 2) 490-7099 FAX
	$\leq$	tes, (97 (97 (97 (97 (97 (97
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:	Notary Public in and for the State of My Commission Expires:	CCIA DCIA ENCINE FISTINE
STATE OF TEXAS § COUNTY OF ROCKWALL §	SURVEYOR'S CERTIFICATION	ASS ASS VG CIVIL ITE 325 Ineers Reg Ineers Reg
We the undersigned owner(s) of the land shown on this plat, and designated herein as the <b>R W MARKETC</b> <b>ADDITION</b> , Lots 1A-R, Block B, subdivision to the City of Rockwall, Texas, and whose name is subscribed		C 2
hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements a places thereon shown on the purpose and consideration therein expressed. We further certify that all other have a mortgage or lien interest in the R W Marketcenter Addition subdivision have been notified and signe	and public THAT I, Leonard J. Lueker, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.	
We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and mutual use and accommodation of all utilities desiring to use or using same. We also understand the follow	ring; Leonard J. Lueker	6750 HILL
1. No buildings shall be constructed or placed upon, over, or across the utility easements as described here	Toxus Registration No. 07 14	e e e e e e e e e e e e e e e e e e e
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, tre or other growths or improvements which in any way endanger or interfere with construction, maintenance or of their respective system on any of these easement strips; and any public utility shall at all times have the ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, in patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.	es, shrubs, or efficiency right of specting, 1 Jueker@winkelmann.com	and the E. P. Gaine VO. # COUNTY, TEXAS L, LLC IE, SUITE 300 TEXAS
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by establishment of grade of streets in the subdivision.	the COUNTY OF DALLAS §	
<ol> <li>The developer and subdivision engineer shall bear total responsibility for storm drain improvements.</li> </ol>	Before me, the undersigned authority, on this day personally appeared Leonard J. Lueker, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for	
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage such that properties within the drainage area are not adversely affected by storm drainage from the develop	the purpose and consideration therein stated.	ALL, ROC VVALL D CELLO /
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of Rockwall regarding improvements with respect to the entire block on the street or streets on which proper including the actual installation of streets with the required base and paving, curb and gutter, water and sev drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the Cir Rockwall; or	any other of the City erty abuts, Notary Public in and for the State of Texas My Commission Expires: ty of	CITY OF ROCKWALL, ABSTRA SURVEY, J CITY OF ROCKWALL, ROCKWAL ROCKWALL
7. All detention systems to be maintained and repaired by property owner.		<b>`</b>
and/or city administrator, computed on a private commercial rate basis, has been made with the city secreta accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such im at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the progresses in making such improvements by making certified requisitions to the city secretary, supported by of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the originated area, guaranteeing the installation thereof within the time stated in the bor time shall be fixed by the city council of the City of Rockwall.	provements the escrow o make such ne work y evidence cost of such nd, which	CENTER ADDITION A-R, BLOCK B 24 ACRES
Rockwall Dunhill LLC	RECOMMENDED FOR FINAL APPROVAL	<b>1</b> 2424
Ву:		2 IS
Name: Tim Denker Title: Authorized Person	Planning and Zoning Commission Date	<b>RK</b> 013
	APPROVED	MA
STATE OF TEXAS § COUNTY OF §	I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the day of, 2019.	2
Before me, the undersigned Notary Public in and for said county and state on this day personally appeared Brookshire, and acknowledge that he executed this instrument on behalf of the corporation, which acted for	Stephen This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County	R
partnership.	WITNESS OUR HANDS, this day of,	bLT
Given upon my hand and seal of office thisday of, 2019.		9.12.18 N/A 50402.0B-PPLT 50402.0B
Notary Public in and for the State of My Commission Expires:	Mayor, City of Rockwall City Secretary City Engineer	
STATE OF TEXAS §	R W MARKETCENTER ADDITION	Date Scale File Project No.
CONSULTING I Winkelmann & A 6750 Hillcrest Pl Suite 325 Dallas, TX 7523 (972) 490-7090	Associates Inc. Iaza Drive ROCKWALL DUNHILL, LLC Suite 300 Dallas, Texas 75205 ROCKWALL DUNHILL, LLC BEING 21.424 ACRES OUT OF THE JAMES SMITH SURVEY, ABSTRACT NO. 200 and the E. P. GAINES SURVEY, ABSTRACT NO. 64	SHEET 3 OF 3

#### CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA ITEM:	P2019-004; Lot 7, Block A, Temunovic Addition
APPLICANT:	Tony Degeli of A & W Surveyors.
AGENDA DATE:	01/29/2019

#### SUMMARY:

Consider a request by Tony Degeli of A & W Surveyors on behalf of Michael Fisher for the approval of a replat for Lot 7, Block A, Temunovic Addition being a 1.082-acre parcel of land identified as Lot 6, Block A, Temunovic Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District, situated within the Scenic Overlay (SOV) District, addressed as 1306 Summer Lee Drive, and take any action necessary.

#### **PLAT INFORMATION:**

- ☑ The objective of this request is to replat a 1.082-acre tract of land [*i.e. Lot 6, Block A, Temunovic Addition*] for the purpose of establishing firelane, public access, drainage & utility easements to allow for the construction of a medical office building. The subject property is situated within the Scenic Overlay (SOV) District, addressed as 1306 Summer Lee Drive, and zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses.
- ☑ A Specific Use Permit (SUP) [*i.e. Ordinance No. 17-52, S-175*] was approved by the City Council on October 2, 2017 allowing for a structure to exceed 36-feet in height within the Scenic Overlay District (SOV).
- ☑ A site plan [*i.e.* SP2017-023] was approved by the Planning and Zoning Commission on September 26, 2017.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for a *replat* as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- ☑ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

#### **RECOMMENDATIONS:**

If the Planning and Zoning Commission and City Council choose to approve the replat for *Lot 7, Block A, Temunovic Addition*, staff would recommend the following conditions:

1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat.

2) Any construction resulting from the approval of this *replat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





#### **OWNER'S CERTIFICATE**

WHEREAS 1306 Summer Lee, LLC is the sole owner of a tract of land located in the EDWARD TEAL SURVEY, Abstract No. 207, City of Rockwall, Rockwall County, Texas, and being Lot 6, Block A, of Temunovic Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet I, Slide 237, Plat Records, Rockwall County, Texas, and being the same tract of land described in deed to 1306 Summer Lee, LLC, recorded in Instrument No. 20160000018021, Official Public Records, Rockwall County, Texas, and being more particularly described as follows:

Beginning at an "X" set in the North line of Summer Lee Drive, a 65' right-of-way, at the common Southerly corner of Lot 5, and said Lot 6, Block A, of said Temunovic Addition;

Thence North 16°57'35" East, a distance of 237.27' to a 1/2" iron rod found in the South line of Lot 10R2, Block A, of Horizon Ridge Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 127, Plat Records, Rockwall County, Texas, said point being at the beginning of a non-tangent curve to the right, having a central angle of 03°35'52", a radius of 3074.27', and a chord bearing and distance of South 74°57'15" East, 193.01';

Thence Southeasterly, along said curve to the right, an arc distance of 193.04' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner at the interior 'el' corner of Lot 21, Block A, of Replat Horizon Ridge Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet G, SLide 123, Plat Records, Rockwall County, Texas, same being the Northeast corner of said Lot 6, Block A;

Thence South 16°59'12" West, a distance of 248.08' to a 1/2" iron rod found in the said North line of Summer Lee Drive, at the Southwest corner of Lot 22, Block A, of Replat Horizon Ridge Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet G, SLide 293, Plat Records, Rockwall County, Texas, same being the Southeast corner of said Lot 6, Block A, and being at the beginning of a non-tangent curve to the left, having a central angle of 02°36'14", a radius of 4243.50', and a chord bearing and distance of North 71°44'41" West, 192.83';

Thence Northwesterly, along said curve to the left and said North line, an arc distance of 192.85' to the PLACE OF BEGINNING and containing 47,133 square feet or 1.082 of an acre of land.

#### SURVEYOR'S CERTIFICATE

THAT I, John S. Turner, do hereby certify that I prepared this amending plat from an actual survey on the land and that the corner monuments shown thereon were found and/or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Planning and Zoning Commission of the City of Rockwall, Texas.

Witness my hand at Mesquite, Texas, This day of , 20 .

John S. Turner Registered Professional Land Surveyor #5310

#### STATE OF TEXAS COUNTY OF ROCKWALL

BEFORE ME, the undersigned, a Notary Public in and for the said County and State on this day personally appeared John S. Turner, R.P.L.S. NO. 5310, State of Texas, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office, This \_\_\_\_\_ day of \_\_\_\_\_ ,20 .

Notary Public in and for the State of Texas

#### TRIANGLE ENGINEERING

1333 McDermott Drive Ste. 200 Allen, TX 75013

T: 214-609-9271 F: 469-3595-6709 E: kpatel@triangle-engr.com W: www.triangle-engr.com

#### OWNER'S DEDICATION

#### STATE OF TEXAS COUNTY OF ROCKWALL

That, 1306 Summer Lee, LLC, the undersigned owners of the land shown on this plat, designated herein as LOT 6R, BLOCK A, TEMUNOVIC ADDITION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the TEMUNOVIC ADDITION have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The City of Rockwall will not be responsible for any claims of any nature resulting from
- or occasioned by the establishment of grade of streets in the subdivision. 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
- 7. All drainage and detention on site will be maintained, repaired, and replaced by the property owner.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Name:

STATE OF TEXAS COUNTY OF ROCKWALL

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared, , known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_\_ day of \_\_\_\_\_, 20 .

Notary Public in and for The State of Texas

### RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission

Date

#### APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_\_ day of \_, 20\_\_\_.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval. WITNESS OUR HANDS, this day of

Mayor, City of Rockwall

City Secretary

City Engineer



### **A&W SURVEYORS, INC.**

Professional Land Surveyors TEXAS REGISTRATION NO. 100174-00 P.O. BOX 870029, MESQUITE, TX. 75187 PHONE: (972) 681-4975 FAX: (972) 681-4954 WWW.AWSURVEY.COM

Owner: 1306 Summer Lee, LLC ~ 2344 Harvest Ridge Drive, Rockwall, Texas75032 ~

Job No: 18-0032 Drawn by: 517 Date: 01-08-2018 Revised: "A professional company operating in your best interest"

#### PAGE 2 OF 2 REPLAT LOT 6R, BLOCK A **TEMUNOVIC ADDITION**

1.082 ACRES OF LAND BEING A REPLAT OF LOT 6, BLOCK A **TEMUNOVIC ADDITION** AN ADDITION TO THE CITY OF ROCKWALL. ROCKWALL COUNTY, TEXAS EDWARD TEAL SURVEY ABSTRACT NO. 207 CASE FILE NO. SP2017-023

#### CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/29/2019

APPLICANT: Tom Jones

AGENDA ITEM: Z2018-056; Zoning Change (AG to LI)

#### SUMMARY:

Hold a public hearing to discuss and consider a request by Tom Jones on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a zoning change from an Agricultural (AG) District to a Light Industrial (LI) District for a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

#### PURPOSE AND BACKGROUND:

The applicant is requesting a change in zoning from an Agricultural (AG) District to a Light Industrial (LI) District for the purpose of constructing a *house of worship* on the subject property. The subject property is situated on a 6.03-acre tract of land, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, and located east of the intersection of Justin Road and John King Boulevard. The subject property was annexed in 1985 [*Ordinance No. 85-69*] and IS zoned Agricultural (AG) District. The Agricultural (AG) District is a holding district with the intent that a property will be rezoned in conformance with the Future Land Use Plan contained in the Comprehensive Plan. According to Section 1.0, *Use of Land and Buildings*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), a house of worship is permitted in an Agricultural (AG) District by Specific Use Permit (SUP) or permitted by-right in a Light Industrial (LI) District. The proposed request to rezone the property to Light Industrial (LI) District is in conformance with the City's Future Land Use Plan.

#### ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are all follows:

- **North:** Directly north of the subject property is a railroad (*i.e. Union Pacific/Dallas Garland N. E.*) followed by several vacant tracts of land. Beyond this is Airport Road which is identified as a M4U (*Major Collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this is the Rockwall Municipal Airport. These areas are zoned Agriculture (AG) District.
- **South**: Directly south of the subject property is Justin Road, which is identified M4D (*Major Collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are several vacant tracts of land zoned Light Industrial (LI) District and Commercial (C) District followed by IH-30, which is identified as a TxDOT roadway on the City's Master Thoroughfare Plan.
- **East**: Directly east of the subject property are several vacant tracts of land zoned Agricultural (AG) District and Light Industrial (LI) District. Beyond this is FM-3549, which is identified as a TxDOT Roadway, which delineates the city limits of Rockwall.

West: Directly west of the subject property is a small vacant tract of land followed by S. John King Boulevard, which is identified as a P6D (*Principal Arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are two (2) manufacturing companies (*i.e. Channell Commercial Corporation and Graham Packaging Technologies*). These areas are zoned Light Industrial (LI) District.

#### UNIFIED DEVELOPMENT CODE:

According to the purpose statements stipulated in Subsection 5.02, *Light Industrial (LI) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the Light Industrial (LI) District is intended for industrial parks and larger cleaner types of industries and located close to an arterial capable of carrying commercial traffic. In this case, the subject property is located at the intersection of an arterial and a major collector (*i.e. S. John King Blvd and Airport Road*) and conforms to these requirements. The following is a summary of the minimum development standards for a property within a Light Industrial (LI) District:

Ordinance Provisions	Zoning District Standards
Minimum Lot Area	12,500 SF
Minimum Lot Width	100-Feet
Minimum Lot Depth	125-Feet
Minimum Front Yard Setback	25-Feet
Minimum Rear Yard Setback	10-Feet
Minimum Side Yard Setback	15-Feet 1/2 Building Height
Maximum Height	60-Feet
Minimum Masonry Requirement	90%
Maximum Impervious Parking	90-95%
Maximum Building Coverage	60%
Floor Area Ratio	2:1

#### CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, designates the subject property for <u>*Technology/Employment*</u> land uses, which is characterized by employment-oriented businesses, typically situated in larger centers that have access to key transportation networks. In this case, the applicant's request to rezone the property to Light Industrial (LI) District is in conformance with the Future Land Use Plan; however the land use (*i.e. a house of worship*) is considered to be a <u>*Quasi-Public*</u> land use. This will necessitate a change in the Future Land Use Plan and this change has been made a condition of approval.

#### STAFF ANALYSIS:

According to the Future Land Use Plan, the subject property is located within the Central District and is designated for <u>Technology/Employment</u> land uses. The <u>Technology/Employment</u> designation is typically associated with Light Industrial (LI) District zoning. Alternatively, the plan allows the City Council to consider requests conforming to the <u>Special Commercial</u> <u>Corridor</u>, which is typically associated with Commercial (C) District zoning. In this case, the applicant originally submitted a request for Commercial (C) District zoning; however, after reviewing the case staff suggested that the applicant consider Light Industrial (LI) District zoning. The reason for this suggestion is two (2) fold: (1) this property is directly adjacent to John King Boulevard and would hinder the visibility of adjacent properties that do not front onto John King Boulevard, therefore it is a reasonable expectation that the adjacent properties will develop in accordance with the <u>Technology/Employment</u> designation, and (2) the adjacent properties proximity to the existing railroad tracks may make the adjacent property better suited to Light Industrial (LI) District zoning in the future.

Staff should also note that while the Church could maintain its Agricultural (AG) District zoning by requesting a Specific Use Permit (SUP), a SUP would necessitate that the Church amend

said SUP with every proposed change on the property. The Light Industrial (LI) District zoning will allow the church the flexibility to make improvements to the property in conformance with the UDC without the burden of a public hearing process for every proposed improvement. With that being said, approval of a zoning change is discretionary to the City Council, pending a recommendation from the Planning and Zoning Commission. In this case, the Planning and Zoning Commission and City Council have the discretion to approve the request as submitted (*i.e. Light Industrial [LI] District*) or choose to downzone the property to a Commercial (C) District. Either zoning district allows the *House of Worship* land use *by-right*.

#### **NOTIFICATION:**

On January 14, 2019, staff mailed 10 notices to property owners and residents within 500-feet of the subject property. There are no HOA's/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Staff also advertised the public hearings in the Rockwall Herold Banner as required by the Unified Development Code (UDC). At the time this case memo was drafted staff had not received any notices concerning this case.

#### **RECOMMENDATIONS:**

Should the Planning and Zoning Commission recommend approval of the change in zoning, staff would recommend the following conditions of approval:

- Any construction or building necessary to complete this change in zoning request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.
- By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Plan. Specifically, this will change the designation of the subject property from a <u>Technology/Employment</u> land use designation to a <u>Quasi-Public</u> land use designation;





ROCKWALL FRIENDSHIP BAPTIST CHURCH

# NEW WORSHIP CENTER



# PHASE TWO BUILDING

YOUTH

WORSHIP

CAFÉ

No deadend parking, must have a loop or turnaround.

ADULTS

PHASE ONE BUILDING

ROCKWALL FRIENDSHIP **BAPTIST CHURCH** 



# MASTER SITE PLAN

-4% Engineering Inspection Fees. - Impact Fees.

- Justin Road paving improvements and right-of-way dedication. 85' ROW for M4D pavement section. Off site right-of-way dedication required.

- Detention is required. "C" value for drainage is by

- Minimum utility easement width is 20'.

Install 12" water line adjacent to Justin, along John King, and connect to existing 12" line at Airport Road. • Sewer is available along the proposed Justin road. No dead-end parking. Must include a loop or turnaround.

- Parking to be 20'x9'

- Drive isles to be 24' wide with 20' min radius.

10 ft trail along John King

Impoundments/Retention of Water requires State

- Dumpster to drain to oil/water separator or grease

- Must install left turn lane on John King. - Must meet City Standards.

> RETENTION POND & FOUNTAINS

Retention/impoundments require State Approval unless a water line supplies water.



OHN KING BLVD.



# ROCKWALL FRIENDSHIP BAPTIST CHURCH



# FLOOR PLAN







0 50 100 Feet y of RockWall Geographic INFORMATION SYSTEMS 1 inch = 142 feet Date: 12/3/2018

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All Information is provided 'As Is' with no warranty being made, either expressed or implied.

Approximate Utility Locations





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2018-056Case Name:Zoning Change (AG to LI)Case Type:ZoningZoning:Agricultural (AG) DistrictCase Address:East of the Intersection of Justin<br/>Road and John King Blvd.



Date Created: 1/25/2019 For Questions on this Case Call (972) 771-7745



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2018-056Case Name:Zoning Change (AG to LI)Case Type:ZoningZoning:Agricultural (AG) DistrictCase Address:East of the Intersection of Justin<br/>Road and John King Blvd.



Date Created: 12/14/2018 For Questions on this Case Call (972) 771-7745 CURRENT RESIDENT 1780 AIRPORT RD ROCKWALL, TX 75087

WILLCAR HOLDINGS LLC ATTN: WILLIAM H CHANNELL JR 26040 YNEZ ROAD TEMECULA, CA 92591

> ATHEY JO ANN PO BOX 219 LAVON, TX 75166

ATHEY JACKIE RAY 1780 AIRPORT RD ROCKWALL, TX 75087

TEMUNOVIC PARTNERSHIP LTD 3021 RIDGE RD SUITE A57 ROCKWALL, TX 75032

> ATHEY BOBBY FRANK PO BOX 472051 GARLAND, TX 75047

VALK RON 1834 S FM 551 FATE, TX 75189

ROCKWALL FRIENDSHIP BAPTIST CHURCH REV SHANON THOMAS, PASTOR 5651 STATE HIGHWAY 276 ROYSE CITY, TX 75189

> ATHEY BOBBY FRANK PO BOX 472051 GARLAND, TX 75047

ROCKWALL ECONOMIC DEVELOPMENT PO BOX 968 ROCKWALL, TX 75087

### 01 CENTRAL DISTRICT

#### DISTRICT DESCRIPTION

The Central District is composed of a wide range of land uses that very from single-family to industrial. The district's residential areas consist of suburban residential (e.g. Park Place), estate and rural residential (e.g. Rolling Meadows Subdivision), and higher density residential developments (e.g. Evergreen Senior Living). The Central District also incorporates a high volume of industrial land uses adjacent to the Union Pacific/Dallas Garland and Northeastern Rail Road line that bisects the district -and City -- in an east/west direction. The Ralph Hall Municipal Airport and several other large public/school facilities are also located within the boundaries of this district.

02.01%

01.64%

09.60%

John King Boulevard Trail Plan Rest Stop/Trailblazer Pylon

02.45%

27.64%

#### DISTRICT STRATEGIES

The Central District still has some key vacant and underutilized tracts of land that are anticipated to shape the area moving forward. Taking these areas into consideration the following are the strategies for this district:

- Live/Work. The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- when appropriate -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- Suburban Residential. While many of the larger tracts in this area are not large enough to support a 2 master planned community (which is characteristic of Northern Estates and Northwest Residential Districts), any new Suburban Residential developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing Suburban Residential lots in this district, but should be comparable in size to newer developments (i.e. Ridgecrest Subdivision). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. larger lots or a large landscape buffer) adjacent to the existing subdivision.
- 8 Commercial/Retail Centers. The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (i.e. are more characteristic of neighborhood/convenience centers); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (e.g. berms, landscaping and large buffers) to transition uses.
- Industrial/Special Commercial Corridor Opportunity Area. The area south of the railroad tracks that is 4 indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for Technology/Industrial land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be utilized as part of a larger development in the Special Commercial Corridor. 6

John King Boulevard Trail Plan. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in Appendix 'B' of this Comprehensive Plan.



OURHOMETOWN2040 | CITY OF ROCKWALL

01 | LAND USE AND GROWTH MANAGEMENT





ROCKWALL FRIENDSHIP BAPTIST CHURCH

# NEW WORSHIP CENTER



# PHASE TWO BUILDING

YOUTH

WORSHIP PHASE ONE BUILDING KIDS CAFÉ ADULTS

**ROCKWALL FRIENDSHIP BAPTIST CHURCH** 



# MASTER SITE PLAN





# ROCKWALL FRIENDSHIP BAPTIST CHURCH



# FLOOR PLAN







 1	2+0	0.00	1	3+0	0.00	 · · · · · · · · · · · · · · · · · · ·	4+

#### **CITY OF ROCKWALL**

#### ORDINANCE NO. <u>19-XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A LIGHT INDUSTRIAL (LI) DISTRICT ON A 6.03-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2-4 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' AND FURTHER DESCRIBED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; **PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR** A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Tom Jones on behalf of Susan Thomas of Rockwall Friendship Baptist Church for a change in zoning from an Agricultural (AG) District to a Light Industrial (LI) District on a 6.03-acre tract of land identified as Tract 2-4 of the D. Harr Survey, Abstract No. 103, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and more fully depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [Ordinance No. 04-38] should be amended as follows:

### NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Light Industrial (LI) District;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes provided for a Light Industrial (LI) District as stipulated in Section 1.1, *Use of Land and Buildings*, of Article IV, *Permissible Uses* and Subsection 5.02, *Light Industrial (LI) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

**SECTION 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

**SECTION 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

## PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 19<sup>TH</sup> DAY OF FEBRUARY, 2019.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

#### APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1<sup>st</sup> Reading: *February 4, 2019* 

2<sup>nd</sup> Reading: February 19, 2019

Z2018-056: Zoning Change (AG to LI) Ordinance No. 19-XX;

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City of Rockwall, Texas
# Exhibit 'A' Zoning Exhibit

Legal Description: Tract 2-4 of the D. Harr Survey, Abstract No. 102



Z2018-056: Zoning Change (AG to LI) Ordinance No. 19-XX;

Page | 3

City of Rockwall, Texas

# Exhibit 'B'

Legal Description

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 120, City of Rockwall, Rockwall County, Texas, and being a part of a 50 acres tract of land as described in a Warrantydeed to F.B. Athey, as recorded in Volume 42, Page 91 of the Deed Records of Rockwall County, Texas, and being a part of Tract B2 as described in a Deed to Bobby Frank Athey, as recorded in Volume 4875, Page 117 of the Official Public Records of Rockwall County, Texas, and being a soft of the Official Public Records of Rockwall County, Texas, and being a part of the Official Public Records of Rockwall County, Texas, and being a soft of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the south right-of-way line of M.K. & T. Railroad, said point being at the northwest corner of Tract B2, said point being N. 89 deg. 23 min. 21 sec. E, a distance of 360.54 feet from the intersection of the west boundary of said 50 acres and said railroad right-of-way;

THENCE N. 89 deg. 23 min. 21 sec. E. along said right-of-way line, a distance of 365.97 feet to a 1/2" iron rod found for corner;

THENCE S. 00 deg. 56 min. 05 sec. W. a distance of 732.64 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 08 min. 42 sec. W. a distance of 301.94 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner in the northeast right-of-way line of John King Boulevard, per Volume 5659, Page 39 of the Official Public Records of Rockwall County, Texas;

THENCE N. 29 deg. 20 min. 00 sec. W. along said right-of-way line, a distance of 126.54 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner;

THENCE N. 00 deg. 55 min. 26 sec. E. a distance of 613.93 feet to the POINT OF BEGINNING and containing 262,780 square feet or 6.03 acres of land.

Z2018-056: Zoning Change (AG to LI) Ordinance No. 19-XX; Page | 4

City of Rockwall, Texas



TO: Planning and Zoning Commission

**FROM:** Korey Brooks, Senior Planner

**CC:** Ryan Miller, *Director of Planning and Zoning* 

**DATE:** January 29, 2019

## SUBJECT: MIS2019-002; Masonry Exception for Accessory Building

The applicant is requesting approval of a masonry exception to allow a metal accessory building on the subject property. In November 2018, the applicant submitted a request for the approval of a Specific Use Permit (SUP) for an accessory building that did not meet the requirements of the Unified Development Code (UDC). Specifically, the applicant was proposing an accessory building that exceeded the maximum size requirements (i.e. an ~ 3,000 SF metal building), exceeded the number of allowable accessory buildings (i.e. there are two [2] existing metal buildings on the property), and did not conform to the minimum masonry requirements of the Unified Development Code (UDC). On November 13, 2018, the Planning and Zoning Commission passed a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0 with Vice-Chair Chodun absent. On November 19, 2018, the City Council expressed disapproval of the proposed cladding (*i.e. metal*) and the size of the building, and a motion to approve the Specific Use Permit (SUP) failed by a vote of 0-5 with Mayor Pruitt and Council Member Trowbridge absent. Since that time, the City Council approved a text amendment allowing the Board of Adjustments (BOA) the ability to grant an exception to the maximum size requirements of accessory buildings, and the Planning and Zoning Commission the ability to grant variances to the masonry requirements. This eliminated the requirement of a Specific Use Permit (SUP) for accessory buildings not meeting the requirements of the Unified Development Code (UDC).

In response to this change, the applicant submitted a request to the Director of Planning and Zoning proposing a 2,000 SF building (i.e. 1,000 SF smaller than originally requested) with a four (4) foot high masonry wainscot on the front facade. In accordance with Section 8.3, City Council Approval or Denial, of Article II, Authority and Administrative Procedures, of the UDC, the Director of Planning reviewed the request and -- after conferring with the City Attorney -- determined that the request represented a substantial change from the request that was denied by the City Council. It should be noted that at the time the determination was made, staff recommended to the applicant that the masonry wainscot should be extended to all four (4) sides of the building. Based on the substantial change, the applicant submitted a request for a variance to the maximum size requirements to the Board of Adjustments (BOA). On January 10, 2019, the Board of Adjustments (BOA) granted a variance [Order No. BOA 2019-2-V] to allow an accessory building that exceeded the maximum allowable size and the maximum number of accessory buildings permitted (i.e. a total of three [3] accessory buildings) on the subject property. Based on this approval, the applicant has the ability to construct a 2,000 SF accessory building meeting the minimum masonry requirements on the subject property by-right; however, since the proposed building is metal and does not conform to the minimum masonry requirements, a masonry exception from the Planning and Zoning Commission is required. According to Subsection 7.04, Accessory Structure Development Standards, of Article V, District Development Standards, of the UDC, "(a)ccessory buildings and accessory structures not meeting the masonry requirements shall require approval of an exception from the Planning and Zoning Commission." The approval of any exception to the minimum masonry requirements is a discretionary decision for the Planning and Zoning Commission.

# ORDER OF THE BOARD OF ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS

# ORDER NO. BOA 2019-2-V

WHEREAS, the Board of Adjustment held a public hearing on the 10th day of January, 2019, to consider the application of Mr. Rubin E. Harle, as owner for the tract of land described below, for a variance from the SF-1 zoning which allows 2 accessory structures up to 225 square feet and 15' in height, or 1225 square feet and 15' high accessory structure and 1 detached garage up to 900 square feet and 15' in height.

WHEREAS, the applicant requested a variance from the said zoning which to allow an accessory structure to be built in excess of the maximum allowable size and an increase in the allowable number of accessory structures on a track of land known as Lot 5R, Block A, Zion Addition, zoned Single-Family One (SF-1) District, addressed as 825 Zion Hill Circle.

WHEREAS, after due consideration and discussion it appears that the granting of such a variance would not cause an adverse effect on the surrounding properties and would not be contrary to the public interest.

# NOW, THEREFORE BE IT ORDERED BY THE BOARD OF ADJUSTMENT OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That all of the above premises are found and determined to be true and correct and are incorporated into the body of this order as if copied in their entirety.

<u>Section 2.</u> That the request from the applicant for this Board to grant a variance from the zoning, be and in the same is hereby granted so as to an accessory structure to be built in excess of the maximum allowable size and an increase in the allowable number.

Section 3. That the Building Official of the City is hereby authorized and directed to issue the appropriate permits, if any, for the above described property under the terms and conditions of this Order.

<u>Section 4.</u> That this Order was passed by the concurring vote of at least four (4) members of the Board of Adjustment and is effective as of the 10th day of January , 2019,

ATTEST:

**APPROVED:** 

Chairman

Secretary





- **TO:** Planning and Zoning Commission
- **FROM:** Ryan Miller, *Director of Planning and Zoning*
- **DATE:** January 29, 2019
- **SUBJECT:** *Z*2019-001; Amendment to Article IV, Permissible Uses, of the UDC to amend Guest Quarters/Secondary Living Units and to add Barns or Agricultural Accessory Buildings to the Land Use Charts and Land Use Standards

On January 7, 2019, the City Council directed staff to amend the *Land Use Standards* contained in Article IV, *Permissible Uses*, of the UDC to allow *guest quarters/secondary living units* not meeting the requirements stated in the *Land Use Standards* the ability to request a Specific Use Permit (SUP). In addition, the City Council also directed staff to create a land use for *Barns or Agricultural Accessory Buildings*. This direction came in response to a request by Dewayne Cain to amend the code to allow an ~4,950 SF, metal barn that would contain a storage area for eight (8) vehicles and a *guest quarters/secondary living facility (i.e. the facility includes all components of a residential living unit [e.g. kitchen, bathroom, etc.]*) on a property zoned Agricultural (AG) District.

Currently, the UDC does allow *guest quarters/secondary living units* in an Agricultural (AG) District pending they are [1] accessory uses to the primary use (*i.e. single family home*), [2] not to exceed 30% of the area of the main structure, and [3] that they cannot be sold or conveyed separately without meeting the requirements of the zoning district and subdivision ordinance; however, the code does not address *guest quarters/secondary living units* that do not meet these standards. In other residential zoning districts (*i.e. SF-8.4, SF-7, ZL-5 and 2F*) this use is only allowed through a Specific Use Permit (SUP), which gives the City Council the discretion to grant these even if they do not meet the requirements. Based on the City Council's direction staff proposes to change the code as follows (with the *highlighted, italics* areas indicating the changes):

Residential and Lodging

AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	MF-14	$ \leftarrow \text{Residential Zoning Districts} \\ \text{Commercial Zoning Districts} \rightarrow \\ \text{Land Use } \downarrow \\$	DT	RO	NS	GR	С	НС	LI	Ξ
A	A	A	A	A	S	S	S	S	Ρ	Guest Quarters/Secondary Living Unit +								

A: Accessory; P: Permitted By-Right; S: Specific Use Permit

Guest quarters/secondary living unit.

- (1) Guest quarters or secondary living units may be allowed on a property in a residential or commercial zoning district provided that it is ancillary to a single family home the primary use and that only one such facility is provided.
- (2) The area of such quarters shall not exceed 30 percent of the area of the main structure.
- (3) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the subdivision ordinance.
- (4) Guest quarters or secondary living units not meeting the requirements stated above shall require a Specific Use Permit (SUP).

These changes would allow *guest quarters/secondary living units* not meeting the requirements the ability to request a Specific Use Permit (SUP) in the AG, SF-E, SF-1, SF-16, SF-10, and MF districts.

The purpose of creating a *Barns or Agricultural Accessory Buildings* land use came about due to the fact that the current code does not allow accessory buildings in an Agricultural (AG) District. According to Article IV, *Permissible Uses*, of the UDC:

Residential	and	Lodaina
1 Condonition	ana	Louging

AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	2F-5	2F	MF-14	← Residential Zoning Districts Commercial Zoning Districts → Land Use ↓	DT	RO	NS	GR	C	НС	ΓI	Ŧ
	Ρ	Ρ	Ρ	Ρ	Ρ	Ρ	Ρ	Ρ	Ρ	Accessory Building +		Ρ	Ρ	Ρ	Ρ	Ρ	Ρ	Ρ

A: Accessory; P: Permitted By-Right; S: Specific Use Permit

The purpose of this is to incentivize smaller properties (*i.e. properties less than ten* [10] acres in size and considered to be legally non-conforming) to zone in accordance with the Future Land Use Plan, bringing them into conformance with the UDC. Without this requirement, it would be difficult for the City to incentivize smaller properties to change their zoning, which could have the effect of leaving small spots of Agricultural (AG) District zoning on non-conforming lots throughout the City. To address this, the City Council has directed staff to establish a new land use (*e.g. barn/agricultural accessory building*), which would allow larger buildings in the Agricultural (AG) District. Based on this direction the new land use would be created as follows (with the *highlighted, italics* areas indicating the changes):

#### Rural and Animal Related

AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	MF-14	← Residential Zoning Districts Commercial Zoning Districts → Land Use ↓	DT	RO	NS	GR	C	НС	LI	Ŧ
<mark>s</mark>										Barn or Agricultural Accessory Building+								

A: Accessory; P: Permitted By-Right; S: Specific Use Permit

Barn or Agricultural Accessory Building. A Barn or Agricultural Accessory Building is a building that is located on a property that is a minimum of ten (10) acres in size, zoned Agricultural (AG) District, and is intended to be used to store agricultural equipment used for animal production, crop production and/or other agricultural related uses.

- (1) A Barn or Agricultural Accessory Building is a minimum of 2,000 SF and a maximum of 4,999 SF in total size (*i.e. under roof*).
- (2) A Barn or Agricultural Accessory Building is exempt from the masonry requirements stipulated by Section 7.01, Residential District Development Standards.
- (3) The Barn or Agricultural Accessory Building shall be located behind the front façade of the primary structure, and be subject to the same building setbacks as the primary structure.

At the meeting on January 7, 2019, the City Council did have a discussion concerning allowing these structures by-right as opposed to by Specific Use Permit (SUP); however, staff is obligated to mention that allowing these structures by-right would directly conflict with the City Council's recent action concerning *Case No. Z2018-053*. This case involved a structure that was constructed illegally without a building permit. The structure itself incorporated two (2) logistics containers, connected by wood siding, and covered by a metal roof. This case was

ultimately denied by the City Council; however, should this proposed ordinance be passed the structure would meet all the criteria and would be permitted to remain on the property. With this being said any changes to the code are discretionary to the City Council pending a recommendation by the Planning and Zoning Commission.

In accordance, with Section 4.2 of Article XI, *Zoning Related Applications*, of the UDC staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. Attached to this case memo is a draft ordinance outlining the proposed changes. The schedule for this text amendment is as follows:

Planning and Zoning Work Session: January 29, 2019 Planning and Zoning Public Hearing: February 12, 2019 City Council Public Hearing/First Reading: February 18, 2019 City Council Second Reading: March 4, 2019

Staff will send out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 6.1 of Article II, *Authority and Administrative Procedures*, of the UDC. Should the Planning and Zoning Commission have any questions staff will be available at the meeting on <u>January 29, 2019</u>.

#### CITY OF ROCKWALL

#### ORDINANCE NO. <u>19-XX</u>

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE IV, PERMISSIBLE USES; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 04-38*] has been initiated by the City Council of the City of Rockwall to amend Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*]; and,

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

**SECTION 1.** That Article IV, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit* 'A' of this ordinance.

**SECTION 2.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 3.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 4.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

# PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE $4^{TH}$ DAY OF MARCH, 2019.

Jim Pruitt, Mayor

Kristy Cole, City Secretary

# APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1<sup>st</sup> Reading: <u>February 18, 2019</u>

2<sup>nd</sup> Reading: <u>March 4, 2019</u>

#### **Exhibit 'A'** Article IV, Permissible Uses, of the Unified Development Code

Additions: Highlighted Deletions: Highlighted, Strikeout

SECTION 1: LAND USE SCHEDULE

Section 1.1: Use of Land and Buildings

Residential and Lodging

AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	MF-14	← Residential Zoning Districts Commercial Zoning Districts → Land Use ↓	DT	RO	NS	GR	U	HC	П	Ŧ
А	A	A	A	Α	s	s	S	S	Ρ	Guest Quarters/Secondary Living Unit +								

A: Accessory; P: Permitted By-Right; S: Specific Use Permit

#### Rural and Animal Related

Γ																			
	AG	SF-E	SF-1	SF-16	SF-10	SF-8.4	SF-7	ZL-5	2F	MF-14	← Residential Zoning Districts Commercial Zoning Districts → Land Use ↓	DT	RO	NS	GR	0	НС	П	王
	S										Barn or Agricultural Accessory Building+								

A: Accessory; P: Permitted By-Right; S: Specific Use Permit

SECTION 2: USE STANDARDS

Section 2.1.1: Rural and Animal Related

Barn or Agricultural Accessory Building. A Barn or Agricultural Accessory Building is a building that is located on a property that is a minimum of ten (10) acres in size, zoned Agricultural (AG) District, and is intended to be used to store agricultural equipment used for animal production, crop production and/or other agricultural related uses.

- (1) A Barn or Agricultural Accessory Building is a minimum of 2,000 SF and a maximum of 4,999 SF in total size (i.e. under roof).
- (2) A Barn or Agricultural Accessory Building is exempt from the masonry requirements stipulated by Section 7.01, Residential District Development Standards.
- (3) The Barn or Agricultural Accessory Building shall be located behind the front façade of the primary structure, and be subject to the same building setbacks as the primary structure.

Section 2.1.2: Residential and Lodging Use Conditions

Guest quarters/secondary living unit.

- (1) Guest quarters or secondary living units may be allowed on a property in a residential or commercial zoning district provided that it is ancillary to a single family home the primary use and that only one such facility is provided.
- (2) The area of such quarters shall not exceed 30 percent of the area of the main structure.
- (3) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the subdivision ordinance.
- (4) Guest quarters or secondary living units not meeting the requirements stated above shall require a Specific Use Permit (SUP).

# **City of Rockwall**

**Project Plan Review History** 



Project Name Type Subtype	Z2019-002 SUP for SPR Packaging ZONING SUP P&Z HEARING		Own Appli		/ALL, 12.833 LP DESIGN GROUP, IN(	2.	Applied Approved Closed Expired Status	1/18/2019 1/25/2019	LM DG
Site Address		City, State Zi	р						
INDUSTRIAL		ROCKWALL,	TX 75087				Zoning		
Subdivision		Tract 7		<b>Block</b> NULL	Lot No 7	Parcel No 0020-0000-0007-00-0F	General Pla	n	
Type of Review / Not	es Contact	Sent	Due	Received	Elapsed Status		Remarks		
BUILDING	Russell McDowell	1/18/2019	1/25/2019						
ENGINEERING	Sarah Hager	1/18/2019	1/25/2019	1/25/2019	7 APPROV	ED			

Type of nettery notes		Puc	neeenrea	Elapsea Status	
(1/25/2019 10:10 AM SH)					
The Zoning is Approved. Consider the follow	wing items m	noving forwa	rd		

Due

For Site Plan.

- Need to show Existing and Proposed Utilities.
- Show Existing Floodplain.

Type of Review / Notes Contact

- Show Proposed Fire Lanes.
- Show dimensions on parking.
- Fire Lane must have 30' Radii.
- No utilities in Detenion pond. The force main will need to be relocated based on this layout

Sent

- Must label driveway spacing.
- Airport Rd and E Washington must have 65' ROW. Must Dedicate 32.5' from the centerline. Must build min 24' of Airport Rd with Storm.

Received

Flansed Status

Remarks

The following items are for your information for engineering design

- 4% Engineering Inspection Fees
- Impact fees.
- Flood Study is required. LOMR is required during construction
- WOTUS study is required
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii or larger depending on height of building.
- Parking to be 20'x9'
- No dead-end parking.
- Driveway spacing must be labeled o Site Plan
- 12" water line available in Airport Rd. Must loop 8" waterline in site.
- 8" sewer available east of property.
- Dumpster area to drain to oil/water separator.
- Must have detention. Manning's "c-value" is per zoning for the entire property. 4:1 max slope...no vertical walls allowed in detention easement
- Any detention must be above the existing 100-year flood elevation unless the floodplain is mitigated for.
- No trees within 5' of public utilities.
- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.
- Must meet all City Engineering Standards.
- Pro-rata due for sewer (\$105.18/lf) if you tie sewer along Industrial

FIRE	Ariana Hargrove	1/18/2019 1/25/201	9 1/24/2019	6	APPROVED	
PLANNING	David Gonzales	1/18/2019 1/25/201	9 1/25/2019	7	COMMENTS	See comments

Type of Review / Notes Contact	Type of	of Review /	' Notes	Contact
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Due

Elapsed Status

Remarks

Hold a public hearing to discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) for a structure that exceeds 60-feet in a Light Industrial (LI) District on a 42.61-acre tract of land identified as Tract7 of the N. Butler Survey, Abstract No. 20 (11.3736-acres); Tract31 of the R. Ballard Survey, Abstract No. 29 (8.197-acres); and, Lot 1-01, Block 1, Indalloy Addition (14.53-acres), City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Aluminum Plant Road, and take any action necessary.

Received

PLANNING COMMENTS - DAVID GONZALES - 01.24.2019

All staff comments are to be addressed and resubmitted by Tuesday February 5, 2019. Please provide two (2) large copies [FOLDED] and one PDF version for a subsequent review by staff:

Planning Department General Comments to be addressed/acknowledge are as follows:

• On all future submittals please include the Case Number Z2019-002 on the lower right hand corner.

• When provided, please review the SUP Draft Ordinance prior to the Planning & Zoning public hearing scheduled for February 12, 2019 and return with red lined corrections and/or additions you feel may be necessary for staff review and consideration

\*\* Planning Staff additional comments to be considered by the P&Z and City Council as conditions of approval:

1. Approval of an SUP is required to allow for the buildings/structures to exceed 60-ft in overall height within the Light Industrial (LI) District.

2. Adherence to all Engineering and Fire Department standards shall be required

\*\*\* Operational Conditions:

1) The development of this property shall generally conform to the Concept Plan depicted in Exhibit'B' of this ordinance; and,

2) The maximum overall height of the buildings and/or structures shall not exceed 120-feet, as depicted in Exhibit 'C' of thisordinance; and,

3) The building elevations depicted in Exhibit 'C' are for reference to the height of the extruder bays and do not represent approved building elevations. Any building elevations associated with the project shall be subject to the requirements of the Unified Development Code(UDC) and will be subject to recommendations by the Architectural Review Board and approval by the Planning and Zoning Commission

4) Future expansion of the site [i.e. Phases 3, 4, and 5], as depicted in Exhibit 'B' of this ordinance, should have all silo's placed on the southern portion of the subject property, adjacent to the railroad tracks. Screening of these silo's shall be required and approved at site plan by the Planning and Zoning Commission

The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the SUP request If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.

\*\*\* Meeting Dates to Attend\*\*\*

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Planning - Work Se	ssion: January 29, 2	019 (6:00 p.m.) [	Applicant t	o present case to P	&Z for discussion]	
Planning - Public He	earing: February 12	, 2019 (6:00 p.m.	) [P&Z to ta	ake action (i.e. app	rove, approve with condit	tions, or deny, etc.)
City Council - Public	Hearing: February	, 19, 2019 (6·00 n	m ) [1st Re	eading of SUP Ordi	nancel	
city council i ubit	e riculting. Tebruary	19, 2019 (0.00 p			hancej	
City Council - Conse	ent/Action Item: Ma	rch 4, 2019 (6:00	p.m.) [2nd	Reading of SUP O	rdinance (if approved at 1	st reading)]







# City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



City of Rockwall



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2019-002Case Name:SUP for SPR PackagingCase Type:ZoningZoning:Light Industrial (LI) DistrictCase Address:SW Corner of Industrial Blvd.<br/>and Airport Road







Case Name:SUP for SPR PackagingCase Type:ZoningZoning:Light Industrial (LI) DistrictCase Address:SW Corner of Industrial Blvd. and<br/>Airport Road

Date Created: 1/22/2019 For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT 1001 ST CHARLES CT ROCKWALL, TX 75087

TROSPER MARK AND GLORIA 1007 ST. CHARLES CT ROCKWALL, TX 75087

> CURRENT RESIDENT 1015 ST CHARLES CT ROCKWALL, TX 75087

FECHT JARED W & JULIE 1026 IVY LN ROCKWALL, TX 75087

JACKSON JOEY W AND ANITA L **1032 IVY LANE** ROCKWALL, TX 75087

> CURRENT RESIDENT 1038 ST THOMAS CT ROCKWALL, TX 75087

> CURRENT RESIDENT 1040 ST CHARLES CT ROCKWALL, TX 75087

SMITH RICHARD AND TAMMY 1044 IVY LN ROCKWALL, TX 75087

> CURRENT RESIDENT 1046 ST THOMAS CT ROCKWALL, TX 75087

HOULE GARY AND AYURNI NAKAMURA 114 MISCHIEF LN ROCKWALL, TX 75032

CURRENT RESIDENT 1002 ST CHARLES CT ROCKWALL, TX 75087

CURRENT RESIDENT 1008 ST CHARLES CT ROCKWALL, TX 75087

DAVID DAVID A AND CHRISTINE A **1020 SAINT CHARLES CT** ROCKWALL, TX 75087

> YOUNG PHIL & KATHY **1026 SAINT CHARLES COURT** ROCKWALL, TX 75087

FIELDS SHAY AND JONI **1032 ST CHARLES COURT** ROCKWALL, TX 75087

1038 IVY LANE ROCKWALL, TX 75087

CURRENT RESIDENT 1042 ST THOMAS CT ROCKWALL, TX 75087

1045 IVY LN ROCKWALL, TX 75087

1050 IVY LANE ROCKWALL, TX 75087

CURRENT RESIDENT 1200 E WASHINGTON ROCKWALL, TX 75087 TROSPER MARK AND GLORIA 1007 ST. CHARLES CT ROCKWALL, TX 75087

> CURRENT RESIDENT 1014 ST CHARLES CT ROCKWALL, TX 75087

> CURRENT RESIDENT 1021 IVY LN ROCKWALL, TX 75087

> CURRENT RESIDENT 1027 IVY LN ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST 1034 ST THOMAS CT ROCKWALL, TX 75087

> CURRENT RESIDENT 1039 IVY LN ROCKWALL, TX 75087

SMITH TAMMY WILLIAMS AND RICHARD 1044 IVY LN ROCKWALL, TX 75087

> CURRENT RESIDENT 1046 ST CHARLES CT ROCKWALL, TX 75087

**ZAPH & ATH PROPERTIES** 1125 WATERSIDE CIR ROCKWALL, TX 75087

CURRENT RESIDENT 1200 E WASHINGTON ROCKWALL, TX 75087

CURRENT RESIDENT

CONFIDENTIAL

ALMOUIST DANA

CURRENT RESIDENT 1250 JUSTIN RD ROCKWALL, TX 75087

CURRENT RESIDENT 1435 E WASHINGTON ST ROCKWALL, TX 75087

ALVAPLAST US DEVELOPMENT LLC 1480 JUSTIN ROAD ROCKWALL, TX 75087

LAKEVIEW SUMMIT PROPERTIES LLC 1870 HILLCROFT DR ROCKWALL, TX 75087

> CURRENT RESIDENT 305 PARK PLACE ROCKWALL, TX 75087

LAKES REGIONAL MHMR CENTER 400 AIRPORT RD TERRELL, TX 75160

COLBERT PHILIP AND MARGIE 417 PARK PLACE BLVD ROCKWALL, TX 75087

**ROLLINS DANNY & JONNA** 4505 LAKE HILL DR ROWLETT, TX 75089

CURRENT RESIDENT 507 PARK PLACE BLVD ROCKWALL, TX 75087

BLACKWOOD SCOTT W & GLENITA G 5205 S FM 549 ROCKWALL, TX 75032

SOMMER RICHELLE AND RICHARD **131 COPTER LN** FATE, TX 75189

> FLEXLAND LP 1480 JUSTIN RD ROCKWALL, TX 75087

CURRENT RESIDENT 1525 AIRPORT RD ROCKWALL, TX 75087

**P & P ENTERPRISES** 230 MYERS RD HEATH, TX 75032

COLUMBIA DEVELOPMENT CO LLC 305 PARK PLACE BLVD ROCKWALL, TX 75087

BARRON GARY S AND DELLS 405 PARK PLACE BLVD ROCKWALL, TX 75087

423 PARK PLACE BLVD ROCKWALL, TX 75087

> **KRAEMER TERESA A** 4525 COLE AVENUE 0 DALLAS, TX 75205

RASMUSSEN MICHAEL AND DELILA RASMUSSEN 507 PARK PLACE BLVD ROCKWALL, TX 75087

> CURRENT RESIDENT 523 PARK PLACE BLVD ROCKWALL, TX 75087

CURRENT RESIDENT **1350 E WASHINGTON** ROCKWALL, TX 75087

ALVAPLAST US INC 1480 JUSTIN RD ROCKWALL, TX 75087

VRANA MARK AND 1650 JOHN KING BLVD APT 3107 ROCKWALL, TX 75032

> SHERMAN JOCELYN D 233 WILLINGHAM DR COPPELL, TX 75019

COLUMBIA EXTRUSION CORP 305 PARK PLACE BLVD ROCKWALL, TX 75087

IONES KENNETH AND CINDY 411 PARK PLACE BLVD ROCKWALL, TX 75087

MORGAN WILBUR J AND NANCY F 429 PARK PLACE BLVD ROCKWALL, TX 75087

LOVOI JOSEPH J SR AND VELMA J **501 PARK PLACE BLVD** ROCKWALL, TX 75087

> GARCIA MELISSA P AND 513 PARK PLACE BLVD ROCKWALL, TX 75087

PROPER GROUP, LLC 5250 TX-78 0 SACHSE, TX 75048

STANLEY STEVEN B AND ROBIN

CURRENT RESIDENT 535 PARK PLACE BLVD ROCKWALL, TX 75087

CURRENT RESIDENT 547 PARK PLACE BLVD ROCKWALL, TX 75087

CURRENT RESIDENT 607 PARK PLACE BLVD ROCKWALL, TX 75087

CURRENT RESIDENT 700 INDUSTRIAL ROCKWALL, TX 75087

MOORE CONNIE JO 908 COUNTRY CLUB DR HEATH, TX 75032

**MARTIN CHARLES TED & RHONDA K** 995 ST CHARLES CT ROCKWALL, TX 75087

SOROPTIMIST INT'L OF ROCKWALL PO BOX 372 ROCKWALL, TX 75087

COX STEPHEN M/R , TX

DAVIS SHAUNTE AND JACOB

PO BOX 462311

GARLAND, TX 75046

**5911 PINEY BIRCH COURT** KINGWOOD, TX 77345

609 E RUSK ST ROCKWALL, TX 75087

CONTINENTAL PET TECHNOLOGY 700 INDIAN SPRINGS DR STE 100

LANCASTER, PA 17601

WHITMORE MANUFACTURING CO 930 WHITMORE DRIVE ROCKWALL, TX 75087

> PODINA HERB AND LAURA PO BOX 1586 ROCKWALL, TX 75087

WHITMORE MANUFACTURING CO 930 WHITMORE DRIVE ROCKWALL, TX 75087

ROCKWALL COMMUNITY PLAYHOUSE

DUKE JERI L

BAYS JACOB M 5435 N GARLAND AVE 0 GARLAND, TX 75040

> CURRENT RESIDENT 601 PARK PLACE BLVD ROCKWALL, TX 75087

CURRENT RESIDENT 613 PARK PLACE BLVD ROCKWALL, TX 75087

**BENEDETTO MATT** 

907 W HOLIDAY RD

ROCKWALL, TX 75087

HENRY PATRICIA A 541 PARK PLACE BLVD ROCKWALL, TX 75087

#### SPECIAL USE PERMIT DESIGN REQUEST NARRATIVE

On behalf of SPR Packaging, we are representing the Owner in the design of the new facility, SPR North, which will be north of their current facility at 1480 Justin Road. As you are maybe aware, their business involves the use of high bay extruder equipment to fabricate plastic bags. The extruders themselves are many, many feet tall. The section of the building that houses the extruder will need to have a roof level of 120' above finish floor. This exceeds the current allowable height for buildings by 60'. SPR had previously received a Special Use Permit for the 75' high extruder section for their existing building on Justin Road. Technology has changed, and the new equipment is now much larger and much taller, requiring the higher top of roof. Accordingly, the Owner requests the variance to allow the 120' maximum on the extruder roof areas only. This would apply for Phase 3, Phase 4, and Phase 5 Extruder Expansions. See Elevations and Site Plan.

Sincerely,

Mark Pross President

MWP/cs

Attachment: Elevation Concept

# **PROPERTY DESCRIPTION**

# 42.6035 ACRE PARCEL

# N. BUTLER SURVEY - ABSTRACT NO. 20

# **R. BALLARD SURVEY - ABSTRACT NO. 29**

## CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**BEING** A 42.6035 ACRE PARCEL OF LAND SITUATED IN THE N. BUTLER SURVEY ABSTRACT NO. 20 AND THE R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; SAID 42.6035 ACRE TRACT BEING ALL OF 11.3736 ACRE OF TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEED TO ALVAPLAST U.S., INC., A DELAWARE CORPORATION RECORDED IN INSTRUMENT NUMBER 2015000002739 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING PART OF 98.319 ACRE TRACT OF LAND DESCRIBED IN A WARRANTY DEED TO COLUMBIA EXTRUSION CORPORATION, DATED DECEMBER 22, 1988 AND RECORDED IN VOLUME 444, PAGE 102 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING A PART OF LOT 1 IN BLOCK 1 OF INDALLOY ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "D", SLIDE 273 OF THE PLAT RECORDS OF ROCKWALL COUNTY TEXAS; SAID 42.6035 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** AT A POINT FOR CORNER AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (A 65-FOOT WIDE RIGHT-OF-WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF AIRPORT ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

**THENCE** SOUTH 00° 07' 36" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND THE EAST LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT FOR A DISTANCE OF 788.63 FEET TO A POINT FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF UP/DALLAS GARLAND N.E. RAILROAD (A 100-FOOT WIDE RIGHT-OF-WAY); SAID POINT BEING THE SOUTHEAST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

**THENCE** SOUTH 88° 36' 50" WEST DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD AND THE SOUTH LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT, FOR A DISTANCE OF 584.08 FEET TO THE SOUTHWEST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT AND THE SOUTHEAST CORNER OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF AFORESAID 98.319 ACRE TRACT DESCBIED IN DEED TO COLUMBIA EXTRUSION CORPORATION ;

**THENCE** SOUTH 88° 32' 20" WEST CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD AND THE SOUTH LINE OF SAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND PASSING AND PASSING APPROXIMATELY AT A DISTANCE OF 332.77 FFET THE SOUTHWEST CORNER OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR A TOTAL DISTANCE OF 578.23 FEET TO A POINT FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 21774.77 FEET WITH A CENTRAL ANGLE OF 00° 58' 11" AND A CHORD BEARING SOUTH 88° 05' 13" WEST AT A DISTANCE OF 368.51 FEET;

**THENCE** SOUTHWESTERLY AND FOLLOWING ALONG SAID CURVE TO THE RIGHT AND CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR AN ARC DISTANCE OF 368.52 FEET TO A POINT FOR CORNER;

**THENCE** SOUTH 88° 04' 12" WEST CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR A DISTANCE OF 101.65 FEET TO A POINT FOR CORNER;

**THENCE** NORTH 09° 24' 49" WEST DEPARTING THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR A DISTANCE OF 1039.14 FEET TO A POINT FOR CORNER IN THE EAST BOUNDARY LINE OF PARK PLACE WEST II, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE AMENDED PLAT THEREOF RECORDED IN CABINET "G", SLIDE 100 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

**THENCE** NORTH 04° 52' 54" WEST ALONG THE EAST LINE OF SAID PARK PLACE WEST ADDITION FOR A DISTANCE OF 207.14 FEET TO A POINT FOR CORNER;

**THENCE** NORTH 81° 27' 00" EAST LEAVING THE EAST LINE OF SAID PARK PLACE WEST ADDITION FOR A DISTANCE OF 408.12 FEET TO A POINT FOR CORNER;

**THENCE** SOUTH 83° 23' 14" EAST AND PASSING AT A DISTANCE OF 216.91 FEET THE WEST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND CONTINUING ON FOR A TOTAL DISTANCE OF 274.94 FEET TO A POINT FOR CORNER; **THENCE** SOUTH 85° 37' 16" EAST FOR A DISTANCE OF 435.64 FEET TO A POINT FOR CORNER IN THE EAST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND THE WEST LINE OF 7.497 ACRE TRACT OF LAND DESCRIBED IN DEED TO ROCKWALL COMMUNITY PLAYHOUSE AND RECORDED IN VOULME 4239, PAGE 203 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS;

**THENCE** SOUTH 06° 42' 50" EAST ALONG THE EAST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND THE WEST LINE OF SAID 7.497 ACRE TRACT OF LAND DESCRIBED IN DEED TO ROCKWALL COMMUNITY PLAYHOUSE, FOR A DISTANCE OF 360.89 FEET TO A POINT FOR CORNER AT THE END OF A 50' WIDE STREET DEDICATION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS BY DEED RECORDED IN VOLUME 67, PAGE 116 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS

**THENCE** SOUTH 06° 22' 45" EAST CONTINUING ALONG THE EAST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION FOR A DISTANCE OF 50.93 FEET TO A POINT FOR CORNER IN THE SOUTH RIGHT-OF-WAY LINE OF AFORESAID AIRPORT ROAD; SAID POINT ALSO BEING THE NORTHWEST CORNER OF AFORESAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

**THENCE** DEPARTING THE WEST LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC.TRACT AND THE EAST LINE OF SAID LOT 1 IN BLOCK 1 AND ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID AIRPORT ROAD, THE FOLLOWING COURSES AND DISTANCES NUMBERED (1) THROUGH (5);

1. NORTH 83° 53' 38" EAST FOR A DISTANCE OF 413.66 FEET TO A POINT FOR CORNER;

2. SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 17.89 FEET TO A POINT FOR CORNER;

**3.** SOUTH 88° 37' 46" EAST FOR A DISTANCE OF 195.72 FEET TO A POINT FOR CORNER;

**4.** SOUTH 79° 05' 55" EAST FOR A DISTANCE OF 32.05 FEET TO A POINT FOR CORNER;

**5.** SOUTH 88° 51' 14" EAST FOR A DISTANCE OF 20.01 FEET TO THE POINT OF BEGINNING AND CONTAINING 42.6035 ACRES OF LAND, MORE OR LESS.

<u>+++++++++++</u>













\$TIME\$ \$DATE\$ \$FILE\$

# **CITY OF ROCKWALL**

# ORDINANCE NO. <u>19-XX</u>

# SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A SPECIFIC USE PERMIT (SUP) ALLOWING A STRUCTURE THAT EXCEEDS 60-FEET IN HEIGHT WITHIN A LIGHT INDUSTRIAL (LI) DISTRICT, ON A 42.61-ACRE TRACT OF LAND BEING IDENTIFIED AS TRACT 7 OF THE N. BUTLER SURVEY, ABSTRACT NO. 20 (11.3736-ACRES); TRACT 31 OF THE R. BALLARD SURVEY, ABSTRACT NO. 29 (8.197-ACRES); AND LOT 1-01, BLOCK 1, INDALLOY ADDITION (14.53-ACRES), CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; **PROVIDING FOR AN EFFECTIVE DATE.** 

**WHEREAS**, the City has received a request from Mark W. Pross of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) for the approval of a Specific Use Permit (SUP) to allow for a structure that exceeds 60-feet in height within the *Light Industrial (LI) District* on an 42.61-acre tract of land, identified as Tract 7 of the N. Butler Survey, Abstract No. 20 (11.3736-acres); Tract 31 of the R. Ballard Survey, Abstract No. 29 (8.197-acres); and Lot 1-01, Block 1, Indalloy Addition (14.53-acres), City of Rockwall, Rockwall County, Texas, zoned *Light Industrial (LI) District*, generally located at the terminus of Aluminum Plant Road, and more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE**, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

**Section 1.** That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a structure that exceeds 60-feet in height within the *Light Industrial (LI) District* as stipulated by *Section 5.01, Light Industrial (LI) District,* and *Section 7.03, Non-Residential District Development Standards, of Article V, District Development Standards,* of the Unified Development Code [*Ordinance No. 04-38*] on the *Subject Property*, and

Section 2. That the Specific Use Permit (SUP) shall be subject to the conditions set forth in

Section 5, Light Industrial (LI) Districts, of Article V, District Development Standards, of the Unified Development Code [Ordinance No. 04-38] as heretofore amended and as may be amended in the future, and shall be subject to the additional following conditions:

# 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an office/ warehouse/manufacturing facility that exceeds 60-feet in height on the *Subject Property*, and conformance to these operational conditions is required for continued operations:

- 1) The development of this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance; and,
- 2) The maximum overall height of the buildings and/or structures shall not exceed 120-feet, as depicted in *Exhibit* 'C' of this ordinance; and,
- 3) The building elevations depicted in *Exhibit 'C'* are for reference to the height of the extruder bays, and do not represent approved building elevations. Any building elevations associated with the project shall be subject to the requirements of the Unified Development Code (UDC) and will be subject to recommendations by the Architectural Review Board and approval by the Planning and Zoning Commission.
- 4) Future expansion of the site [*i.e. Phases 3, 4, and 5*], as depicted in *Exhibit 'B'* of this ordinance, should have all silo's placed on the southern portion of the subject property, adjacent to the railroad tracks. Screening of these silo's shall be required and approved at site plan by the Planning and Zoning Commission.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).
- 2) This Specific Use Permit (SUP) shall be subject to all requirements contained in Section 4, Specific Use Permits, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

**Section 4.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**Section 5.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict

**Section 6.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not

to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 7.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

Section 8. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4<sup>TH</sup> DAY OF MARCH, 2019.

	Jim Pruitt, Mayor
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 <sup>st</sup> Reading: February 19, 2019	
2 <sup>nd</sup> Reading: <u><i>March 4, 2019</i></u>	

#### Exhibit 'A': Legal Description

**BEING** A 42.6035 ACRE PARCEL OF LAND SITUATED IN THE N. BUTLER SURVEY ABSTRACT NO. 20 AND THE R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; SAID 42.6035 ACRE TRACT BEING ALL OF 11.3736 ACRE OF TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEED TO ALVAPLAST U.S., INC., A DELAWARE CORPORATION RECORDED IN INSTRUMENT NUMBER 2015000002739 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING PART OF 98.319 ACRE TRACT OF LAND DESCRIBED IN A WARRANTY DEED TO COLUMBIA EXTRUSION CORPORATION, DATED DECEMBER 22, 1988 AND RECORDED IN VOLUME 444, PAGE 102 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS; AND BEING A PART OF LOT 1 IN BLOCK 1 OF INDALLOY ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AAL COUNTY, TEXAS; SAID 42.6035 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** AT A POINT FOR CORNER AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (A 65-FOOT WIDE RIGHT-OF- WAY) AND THE SOUTH RIGHT-OF-WAY LINE OF AIRPORT ROAD (A VARIABLE WIDTH RIGHT-OF-WAY);

**THENCE** SOUTH 00° 07' 36" EAST ALONG THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND THE EAST LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT FOR A DISTANCE OF 788.63 FEET TO A POINT FOR CORNER IN THE NORTH RIGHT-OF-WAY LINE OF UP/DALLAS GARLAND N.E. RAILROAD (A 100-FOOT WIDE RIGHT-OF-WAY); SAID POINT BEING THE SOUTHEAST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

**THENCE** SOUTH 88° 36' 50" WEST DEPARTING THE WEST RIGHT-OF-WAY LINE OF SAID INDUSTRIAL BOULEVARD AND ALONG THE SAID NORTH LINE OF UP/DALLAS GARLAND N.E. RAILROAD AND THE SOUTH LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT, FOR A DISTANCE OF 584.08 FEET TO THE SOUTHWEST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT, FOR A DISTANCE OF 584.08 FEET TO THE SOUTHWEST CORNER OF SAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT, FOR A DISTANCE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF AFORESAID 98.319 ACRE TRACT DESCBIED IN DEED TO COLUMBIA EXTRUSION CORPORATION;

**THENCE** SOUTH 88° 32′ 20″ WEST CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD AND THE SOUTH LINE OF SAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND PASSING AND PASSING APPROXIMATELY AT A DISTANCE OF 332.77 FFET THE SOUTHWEST CORNER OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR A TOTAL DISTANCE OF 578.23 FEET TO A POINT FOR CORNER, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 21774.77 FEET WITH A CENTRAL ANGLE OF 00° 58′ 11″ AND A CHORD BEARING SOUTH 88° 05′ 13″ WEST AT A DISTANCE OF 368.51 FEET;

**THENCE** SOUTHWESTERLY AND FOLLOWING ALONG SAID CURVE TO THE RIGHT AND CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR AN ARC DISTANCE OF 368.52 FEET TO A POINT FOR CORNER;

**THENCE** SOUTH 88° 04' 12" WEST CONTINUING ALONG THE SAID NORTH LINE OF UP /DALLAS GARLAND N.E. RAILROAD FOR A DISTANCE OF 101.65 FEET TO A POINT FOR CORNER;

**THENCE** NORTH 09° 24' 49" WEST DEPARTING THE SAID NORTH LINE OF UP/DALLAS GARLAND N.E. RAILROAD FOR A DISTANCE OF 1039.14 FEET TO A POINT FOR CORNER IN THE EAST BOUNDARY LINE OF PARK PLACE WEST II, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE AMENDED PLAT THEREOF RECORDED IN CABINET "G", SLIDE 100 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

**THENCE** NORTH 04° 52′ 54″ WEST ALONG THE EAST LINE OF SAID PARK PLACE WEST ADDITION FOR A DISTANCE OF 207.14 FEET TO A POINT FOR CORNER;

**THENCE** NORTH 81° 27' 00" EAST LEAVING THE EAST LINE OF SAID PARK PLACE WEST ADDITION FOR A DISTANCE OF 408.12 FEET TO A POINT FOR CORNER;

**THENCE** SOUTH 83° 23' 14" EAST AND PASSING AT A DISTANCE OF 216.91 FEET THE WEST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND CONTINUING ON FOR A TOTAL DISTANCE OF 274.94 FEET TO A POINT FOR CORNER;

**THENCE** SOUTH 85° 37' 16" EAST FOR A DISTANCE OF 435.64 FEET TO A POINT FOR CORNER IN THE EAST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND THE WEST LINE OF 7.497 ACRE TRACT OF LAND DESCRIBED IN DEED TO ROCKWALL COMMUNITY PLAYHOUSE AND RECORDED IN VOULME 4239, PAGE 203 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS;

**THENCE** SOUTH 06° 42′ 50″ EAST ALONG THE EAST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION AND THE WEST LINE OF SAID 7.497 ACRE TRACT OF LAND DESCRIBED IN DEED TO ROCKWALL COMMUNITY PLAYHOUSE, FOR A DISTANCE OF 360.89 FEET TO A POINT FOR CORNER AT THE END OF A 50′ WIDE STREET DEDICATION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS BY DEED RECORDED IN VOLUME 67, PAGE 116 OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS **THENCE** SOUTH 06° 22′ 45″ EAST CONTINUING ALONG THE EAST LINE OF AFORESAID LOT 1 IN BLOCK 1 OF INDALLOY ADDITION FOR A DISTANCE OF 50.93 FEET TO A POINT FOR CORNER IN THE SOUTH RIGHT-OF-WAY LINE OF AFORESAID

## Exhibit 'A':

## Legal Description

AIRPORT ROAD; SAID POINT ALSO BEING THE NORTHWEST CORNER OF AFORESAID 11.3736 ACRE ALVAPLAST U.S., INC. TRACT;

**THENCE** DEPARTING THE WEST LINE OF SAID 11.3736 ACRE ALVAPLAST U.S., INC.TRACT AND THE EAST LINE OF SAID LOT 1 IN BLOCK 1 AND ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID AIRPORT ROAD, THE FOLLOWING COURSES AND DISTANCES NUMBERED (1) THROUGH (5);

1. NORTH 83° 53' 38" EAST FOR A DISTANCE OF 413.66 FEET TO A POINT FOR CORNER;

- 2. SOUTH 01° 01' 31" EAST FOR A DISTANCE OF 17.89 FEET TO A POINT FOR CORNER;
- 3. SOUTH 88° 37' 46" EAST FOR A DISTANCE OF 195.72 FEET TO A POINT FOR CORNER;
- 4. SOUTH 79° 05' 55" EAST FOR A DISTANCE OF 32.05 FEET TO A POINT FOR CORNER;

**5.** SOUTH 88° 51' 14" EAST FOR A DISTANCE OF 20.01 FEET TO THE POINT OF BEGINNING AND CONTAINING 42.6035 ACRES OF LAND, MORE OR LESS.



Exhibit 'C': Proposed Building Elevations



Z2019-001: SUP for Structure >60-ft Ordinance No. 19-XX; SUP # S-XXX
## **City of Rockwall**





Project Name Type Subtype	SP2019-001 T3 Chiropractic SITE PLAN Staff Review		Owne Appli		FALLS, DAVID C & TERRI L TRISTON GENERAL CONTRACTOR		Applied 1/17/ Approved Closed Expired Status	2019	LM
Site Address	Starrice	City, State Zi							
903 N GOLIAD ST		ROCKWALL	, TX 75087				Zoning		
Subdivision		Tract		Block	Lot No	Parcel No	General Plan		
GARNER		NULL		ALL 26	NULL	3730-0026-0ALL-00-0	DR		
Type of Review / Not		Sent	Due	Received	Elapsed Status		Remarks		
BUILDING	Russell McDowell	1/17/2019	1/24/2019	1/22/2019	5 APPROV	/ED			
ENGINEERING	Sarah Hager	1/17/2019	1/24/2019	1/25/2019	8 COMME	INTS			
<ul> <li>Add note to la</li> <li>The other sheat</li> <li>The following it</li> <li>4% Engineerin</li> <li>Impact fees.</li> <li>Min 20' utility</li> <li>No structures</li> <li>Fire lane easer</li> <li>Fire lane to be</li> <li>Parking to be 2</li> </ul>	in easements. ment to be on plat. 24' wide with 20' radii. 20'x9'	within 5' of utili	tes."	gn.					
- Must have det - No trees withi - Retaining wall	ing must be labeled on Sit ention. Manning's "c-value n 5' of public utilities. s 3' and over must be desig City Engineering Standard	e" is per zoning gned by a licens			·		ention easement		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(1/24/2019 6:10 PN	Л АА)					
Proposed new and	exisitng fire hydrants	shall be indicat	ed on the pla	ns.		
Existing fire hydrar	its to be considered fo	or the use shall I	be indicated o	on the plans.		
<b>u</b> ,				•	s fire apparatus access roads e	xtend between properties and easements are
						red as available where streets are not provided
	ers which cannot be cr					
	rs which cannot be cr					
with median divide	rs which cannot be cr		hters pulling		5 APPROVED	See comments
with median divide	ers which cannot be cr e lane? Lance Singleton	ossed by fire fig	hters pulling	hose lines.)		
with median divide Is the rear drive fin GIS	ers which cannot be cr e lane? Lance Singleton	ossed by fire fig	hters pulling	hose lines.)		
with median divide Is the rear drive fin GIS (1/22/2019 2:09 PN ADDRESSING:	ers which cannot be cr e lane? Lance Singleton A LS)	ossed by fire fig 1/17/2019	hters pulling 1/24/2019	hose lines.)		
with median divide Is the rear drive fin GIS (1/22/2019 2:09 PN ADDRESSING: North building will	ers which cannot be cr e lane? Lance Singleton	ossed by fire fig 1/17/2019 ockwall, TX 750	1/24/2019	hose lines.)		

	Type of Review / Notes Contact	Sent	Due	Received	Elapsed Status	Remarks
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SP2019-001 Site Plan for T3 Chiropractic Office: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

? This is a request by Reese Baez of Triton General Contractors on behalf of Kevin Lefere for the approval of a site plan for a medical office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located north of the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205]

? For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

- ? For reference, include the case number (SP2019-001) in the lower right hand corner of all pages on future submittals.
- ? Site Plan. Please show centerlines of all adjacent roadways and darken/use thicker line for property line.
- ? Site Plan. The Site Plan looks more like a cover page.

? Site Plan. The site plan appears to be scaled with an architectural scale. Please use engineering scale. The recommended scales are listed in the site plan checklist.

- ? Site Plan. Please label existing sidewalks and proposed sidewalks and provide two different hatch/fill patterns.
- ? Site Plan. Please use a hatch pattern for pavement (i.e. firelane) and provide thickness and material information.
- ? Site Plan. Please provide highlighted information on attached checklist.
- ? Site Plan. Please provide location of utilities.
- ? Site Plan. Please utilize multiple line-weights for clarity.
- ? Site Plan. Please label third lot "Future Development" and remove "building by other". Greyscale everything that is not directly related to the subject property.

? Site Plan. Please change "Property Description" tableto Site Data Table and provide on each sheet—Also, please provide the additional highlighted information. The lower left corner of the title block of each sheet should be the project information. Swapping the location of the project information and the "Sheet"

information would work—for future Civils/Building Permit submittals, this requirement is different.

- ? Landscape Plan. Please show centerlines of adjacent roadways.
- ? Landscape Plan. Please provide site data table as shown on site plan.
- ? Landscape Plan. Please utilize engineering scale and show adjacent properties.
- ? Landscape Plan. Please check the tree requirements along Goliad—There seems to be 1 or 2 trees missing.
- ? Landscape Plan. Please note that no parking space shall be 80-feet from a tree. Provide 80-foot buffer at 1 or 2 trees to show compliance.
- ? Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.
- ? Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.
- ? Landscape Plan. Please show heavy landscape screening from the adjacent residential property.
- ? Photometric Plan. Please darken and label property line on photometric plan.
- ? Photometric Plan. Please show centerlines of all adjacent roadways.
- ? Photometric Plan. Fixtures will need to be historic-looking (if possible). Please provide a cut sheet.
- ? Photometric Plan. It is only necessary to show the subject property. Also, if the FC font could be smaller, that would help (for archiving/digitizing purposes).
- ? Photometric Plan. Please provide title block in the lower right-hand corner of the page with the site/project info)
- ? Photometric Plan. Please provide site data table as shown on the other plans.
- ? Floor Plan. Please note that the floor plan is not reviewed during this phase so it does not need to be provided.
- ? Building Elevations. Please provide dimensions

? Building Elevations. Please provide material percentages per façade. The materials percentages only show "Masonry" and "Stone". We need each material broken down e.g. brick, stone, stucco.

- ? Building Elevations. Please keep the architectural scale on building elevations (I asked for engineering on the other plans)
- ? Building Elevations. Provide Site data Table as provided on other sheets.
- ? Building Elevations. Provide color elevations and rendering, if possible.

Туре	of Review / Notes Co	ontact	Sent	Due	Received	Elapsed Sta	tus	Remarks
?	The Architectural I	Review Board (ARB)	meeting for	this case will	be held on Januar	y 29, 2019 at	5:00 p.m.	
?	Staff has identified	d the aforementione	ed items nece	essary to cont	tinue the submitta	l process. Pl	ease make these revisions and	d corrections, and provide any

additional information that is requested. Revisions for this case will be due on February 4, 2019. The Planning and Zoning Worksession for this case will be January 29, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be February 12, 2019









DESIGNS. CUSTOM HOUSE PLANS COMMERCIAL PLANS INTERIOR DESIGN H EEE (EE HE HE PROJECTICLIENT: T3 CHIROPRACTIC OFFICE LOCATION: 205 & W.HEATH+ROCKWALL-TX+75087 Date: 01.13.2019

EMAIL: latimerdesigngroup@gmail.com

LATIMER DESIGN INC. ROCKWALL, TEXAS 75087 PHONE: 469.264.7415

Add note, " No trees within 5' of utilities."

Show Existing and **Proposed Utilties.** 

0

\$

10.10 5

ш DRAWING: LANDSCAPE SCALE: 1/4"=1'-0" SHET SIZE: 24 x 36 SHEET NO. A3.2 OF





## City of Rockwall Planning & Zoning Department

Planning & Zoning Departm 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





N ALAMO RD (45' R.O.W.)



# <sup>3</sup>Chiropractic Office Building



# **VICINITY MAP**

# **GENERAL NOTES**

- THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT.
- ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR BY EITHER GENERAL CONTRACTOR OR THE HOME OWNER
- ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE 2003 INTERNATIONAL RESIDENTIAL CODE. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE **RESPONSIBLE FOR APPLYING TO THEIR RESPECTIVE CODES.**
- ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF
- LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED. FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- . DRIVEWAY FINISH TO BE SPECIFIED BY CIVIL AND/OR STRUCTURAL ENGINNER. I. PLANT MATERIALS, INCLUDING SEED/SOD ARE NOT SPEC' D.
- 2. ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM
- WORK SHALL BE NEATLY CUT AND FIT. . ALL LUMBER SHALL BE S4S UNO
- 5. FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS. 6. GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY
- CODE. PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM. INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR.
- THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE REQUIREMENTS. ). CONTRACTOR TO VERIFY BUILDING/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

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# LIABILITY

LATIMER DESIGNS, INC. ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS SET OF PLANS. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THE PLANS AND/OR CONTRACTOR TO OBTAIN THE FOLLOWING PRIOR TO CONSTRUCTION:

- **1. CONSULT WITH A STRUCTURAL ENGINEER TO VERIFY:**
- 1.1. DESIGN, SIZE, AND REINFORCEMENT LOADS. 1.2. ALL SITE CONDITIONS, TO INCLUDE SOIL TESTING FOR BEST LOCATION OF FOUNDATION.
- 1.3. FOUNDATION DESIGN 2. CONSULT/VERIFY ALL ASPECTS OF PLANS FOR LOCAL CODES AND ORDINANCES FOR THE CONSTRUCTION LOCATION.

LIMIT OF DESIGNERS LIABILITY IS NOT TO EXCEED PRICE PAID FOR SET OF PLANS. LATIMER DESIGNS, INC. IS NOT LIABLE FOR ANY CHANGES MADE TO THIS SET OF PLANS NOR ASSUMES ANY LIABILITY FOR WORK/ADVISEMENT PROVIDED BY THE CONTRACTOR OR OTHERS INVOLVED IN THE CONSTRUCTION PROCESS.

LATIMER DESIGNS, INC. IS NOT A REGISTERED ARCHITECT.



# DEVELOPMENT PLANS NOT FOR CONSTRUCTION

# **ABBREVIATIONS**

ANCHOR BOLT AB ADJUSTABLE ADJ AFF ABOVE FINISH FLOOR LG LONG BLDG BUILDING BLK BLOCK BM BEAM CAB CABINET CLG CEILING CLR CLEAR CONC CONCRETE DBL DOUBLE DIA DIAMETER DN DOWN DWG DRAWING EA EACH EQ EQUAL FD FLOOR DRAIN FOUNDATION FDN **FINISH FLOOR** FF FLR FLOOR FT FEET FTG FOOTING GL GLASS

HIGH н LC LAUNDRY CHUTE MICROLAM ML MTL METAL OC ON CENTER PT PRESSURE TREATED PTB PARTICLE BOARD R RADIUS R&S ROD & SHELF SH SHELF(S) SHWR SHOWER SIM SIMILAR SQ SQUARE STL STEEL TBD TO BE DETERMINED TOJ TOP OF JOIST TOS TOP OF SLAB TR TRANSOM TRANSOM TYP TYPICAL UNO UNLESS NOTED OTHERWISE VERTICAL V WD WOOD

A1	SITE PLAN						
A2							
A3.1	LANDSCAPE PLAN						
A3.2	LANDSCAPE PLAN						
A4	PHOTOMETRIC PL	AN					
A5	FLOOR PLAN						
A6	WEST & NORTH EL	EVATIONS					
A7	EAST & SOUTH EL	EVATIONS					
PR	OPFRTY	DESCRIPTION					
		DESCRIPTION					
		DESCRIPTION 16663					
	Y ID						
PROPERT	Y ID PHIC ID	16663					
PROPERT GEOGRAP	Y ID PHIC ID	16663 3730-0026-0ALL-00-0R					
PROPERT GEOGRAF ADDRESS	Y ID PHIC ID	16663 3730-0026-0ALL-00-0R GOLIAD/W.HEATH/ALAMO					
PROPERT GEOGRAF ADDRESS ZONING PROPERT	Y ID PHIC ID	16663 3730-0026-0ALL-00-0R GOLIAD/W.HEATH/ALAMO PD-50					
PROPERT GEOGRAF ADDRESS ZONING PROPERT	Y ID PHIC ID Y USE Y AREA (GROSS)	16663 3730-0026-0ALL-00-0R GOLIAD/W.HEATH/ALAMO PD-50 OFFICE					
PROPERT GEOGRAF ADDRESS ZONING PROPERT PROPERT BUILDING BUILDING	Y ID PHIC ID Y USE Y AREA (GROSS) AREA HEIGHT	16663 3730-0026-0ALL-00-0R GOLIAD/W.HEATH/ALAMO PD-50 OFFICE 10,770 SF (APPROX) 2,947 SF 29'-4"					
PROPERT GEOGRAF ADDRESS ZONING PROPERT PROPERT BUILDING BUILDING	Y ID PHIC ID Y USE Y AREA (GROSS) AREA	16663 3730-0026-0ALL-00-0R GOLIAD/W.HEATH/ALAMO PD-50 OFFICE 10,770 SF (APPROX) 2,947 SF					
PROPERT GEOGRAF ADDRESS ZONING PROPERT PROPERT BUILDING BUILDING PARKING	Y ID PHIC ID Y USE Y AREA (GROSS) AREA HEIGHT	16663 3730-0026-0ALL-00-0R GOLIAD/W.HEATH/ALAMO PD-50 OFFICE 10,770 SF (APPROX) 2,947 SF 29'-4"					
PROPERT GEOGRAF ADDRESS ZONING PROPERT PROPERT BUILDING BUILDING PARKING HANDICAI	Y ID PHIC ID Y USE Y AREA (GROSS) AREA HEIGHT REQUIRED	16663 3730-0026-0ALL-00-0R GOLIAD/W.HEATH/ALAMO PD-50 OFFICE 10,770 SF (APPROX) 2,947 SF 29'-4" 1 SPACE/500 = SPACE REQUIRED					

**DRAWING/SHEET INDEX** 

	REVISIONS:	PROJECT/CLIENT:		LATIMER DESIGNS INC.
		T3 CHIROPRACTIC OFFICE	LA IINER	ROCKWALL, TEXAS 75087
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C SHEET SIZE:		DATE:		EMAIL:
24 x 36		01.13.2019		latimerdesigngroup@gmail.com
ັສ <b>ດັ</b> NO.		205 & W. НЕАТН• КОСКWALL• I X• / 508/ DATE: 01.13.2019		EN Lati

















301 SCALE: 1/8" = 1' - 0"

PROPO	SED PLAN	T SCHEDULE			
KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	04	CEDAR ELM	Ulmus crassifolia	3.5"-4" CAL.	PLANT WHERE INDICATED
TRO	02	TEXAS RED OAK	Acer saccharum 'caddo'	3.5"-4" CAL.	PLANT WHERE IINDICATED
DTS	06	DWARF TEXAS SAGE	Leucophyllum candıdum 'Thunder Cloud'	7 GAL.	PLANT 42" O.C. MIN.
HYP	20	HYPERICUM	Hypericum benryi	5 GAL.	PLANT 36" O.C. MIN.
DWM	12	DWARF WAX MYRTLE	Myrica pusilla	7 GAL.	PLANT 36" O.C. MIN.
ASP	19	ASPIDISTRA	Aspidistra eliator	3 GAL.	PLANT 24" O.C. MIN. EVENLY SPACED IN LANDSCAPE AREA
AU	04	AUCUBA	Acuba japonica	5 GAL.	PLANT EVENLY SPACED WHERE INDICATED. UNIFORM SIZE
PWC	102	COLORADO WINTER CREEPER	Euonymus fortunei 'Coloratus'	I GAL.	PLANT 18" O.C.
TURF		COMMON BERMUDA GRASS	Cynodon dactylon	SOD	LEVEL SUB GRADE AND ROLL INTO PLACE.

LANDSCAPE TABULATION LOT: .26 AC (11,746.81 SF) BUILDING: 2,947. SF ZONED: RESIDENTIAL-OFFICE / PD-50

<u>5.1 LANDSCAPE BUFFER-STRIP</u> 10' REQUIRED

10' PROVIDED 5.2 SCREENING OF OFF-STREET LOADING DOCKS

N/A

5.3 ACCEPTABLE LANDSCAPE MATERIALS ALL PLANT MATERIALS USED WILL SATISFY THE REQUIREMENTS OF THE LANDSCAPE ORDINANCE ALL TREES PLANTED WILL BE A MINIMUM OF 3" CALIPER ALL PLANT MATERIAL WILL OF CONTAINER GROWN QUALITY AND INSTALLED PER INDUSTRY STANDARDS

5.4 PROTECTION OF LANDSCAPE AREAS: ALL LANDSCAPE AREAS ADJACENT TO VEHICULAR AREAS WILL BE PROTECTED BY 6" CONCRETE CURBS OR WHEEL STOPS.

5.5 IRRIGATION: AN AUTOMATIC, UNDERGROUND DRIP IRRIGATION SYSTEM WILL BE INSTALLED WITH A RAIN GAUGE AND FREEZE/THAW SENSOR AND WILL PROVIDE IRRIGATION SYSTEM. THIS SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PROPOSED AND REMAINING PLANT MATERIAL ON SITE.

5.6 SCREENING FROM RESIDENTIAL USES: NORTH SIDE – RESIDENTIAL ADJACENCY A 6' HT. MASONRY FENCE IS REQUIRED

A 6' HT. WOOD FENCE IS PROVIDED AND EXISTING

ALL AREAS ADJACENT TO THE REQUIRED SCREENING WALL, SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND TRASH IN ACCORDANCE WITH THE APPLICABLE CODES OF THE CITY.

5.7 STREET LANDSCAPING: 1 3" (MIN. CAL.) CANOPY TREE REQUIRED PER 50 L.F OF FRONTAGE REQUIRED

1 3" (MIN. CAL.) CANOPY TREE PROVIDED PER 50 L.F OF FRONTAGE PROVIDED N. GOLIAD STREET (HWY 205) = 208.27 LF 4 CANOPY TREES REQUIRED 4 CANOPY TREE PROVIDED

5.8 RIGHT-OF-WAY LANDSCAPING: GRASS OR GROUNDCOVER REQUIRED

THE PROPOSED IRRIGATION SYSTEM WILL PROVIDE 100% COVERAGE TO ALL PLANT MATERIAL PROPOSED FOR THE PARKWAY TO B.O.C. ALONG N. GOLIAD STREET.

5.9 PARKING LOT LANDSCAPING: PARKING AND MANEUVERING = 3,125 SF 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE REQUIRED. 1 LARGE TREE WITHIN 80 LF OF ANY PARKING SPACE PROVIDED.

<u>5.10 – (DELETED):</u>

GRASS PROVIDED

5.11 DIMENSIONING OF LANDSCAPE AREA: ALL LANDSCAPING REQUIRED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF. ALL LANDSCAPING PROVIDED TO BE IN AN ARE NO LESS THAN 5' WIDE AND MINIMUM OF 25 SF.

#### 5.12 REQUIRED LANDSCAPING: ZONED: RESIDENTIAL-OFFICE

A. AMOUNT OF LANDSCAPING 2,936.45 SF = 25% OF SITE REQUIRED TO BE LANDSCAPED. 5,676.81 SF = 48% OF SITE PROPOSED TO BE LANDSCAPED.

- B. LOCATION OF LANDSCAPING
   50% REQUIRED IN FRONT YARD
   1,468.22 SF = 50% OF THE REQUIRED LANDSCAPE REQUIRED IN FRONT YARD.
   2,797.00 SF = 95% OF THE REQUIRED LANDSCAPE PROVIDED IN FRONT YARD.
- C. DETENTION BASIN = +/- 978. SF LANDSCAPE REQUIRED LANDSCAPE PROVIDED

1 TREE / 750 SF REQUIRED 1.30 TREES REQUIRED 2.00 TREES PROVIDED

9.1 MAINTENANCE REQUIREMENT:

ALL REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE FOR THE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PRUNING, OR OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES MUST BE REPLACED WITH ANOTHER LIVING PLANT THAT COMPLIES WITH THE APPROVED LANDSCAPE PLAN WITH WITHIN 6 MONTHS AFTER NOTIFICATION BY THE CITY. A REQUIRED TREE THAT DIES AFTER ITS ORIGINAL PLANTING MUST BE REPLACED BY ANOTHER LIVING TREE HAVING A MINIMUM HEIGHT OF 14' AND A MINIMUM TRUNK CALIPER OF 4" MEASURED AT 12 INCHES ABOVE THE ROOT BALL.

<u>9.2 UTILITY LINES AND RIGHTS-OF-WAY:</u> ANY DAMAGE TO UTILITIES RESULTING FROM THE NEGLIGENCE OF THE PROPERTY OWNER, HIS AGENTS, OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF REQUIRED LANDSCAPING IN THE PUBLIC RIGHT-OF-WAY IS THE RESPONSIBILITY OF THE PROPERTY OWNER. IF A PUBLIC UTILITY DISTURBS A LANDSCAPED AREA IN THE PUBLIC RIGHT-OF-WAY, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF NONETHELESS SOME PLANT MATERIALS DIE, IT IS THE OBLIGATION OF THE PROPERTY OWNER TO REPLACE THE PLAN MATERIAL.

TREESCAPE - PROTECTED TREE MITIGATION THERE ARE NO PROTECTED TREES EXISTING ON SITE THERE ARE PROTECTED TREES EXISTING IN THE PARKWAY

PLANT KEY	
CE	CEDAR ELM
• TR0	TEXAS RED OAK
DTS	DWARF TEXAS SAGE
DWM	DWARF WAX MYRTLE
AU	GOLD DUST PLANT
(HYP)	HYPERICUM
() ()	CAST IRON PLANT
	PURPLE LEAF WINTERCREEPE
	DETENTION AREA
TURE	TURF GRASS
6 4 6 6 4 4	CONCRETE "STEP-OUT"
	CRUSHED AGGREGATE







**GENERAL PLANTING NOTES:** 

1. QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT SCHEDULE.

- 2. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF ANY OF THESE IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- 3. SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS. REMOVE EXISTING SOIL AND REPLACE WITH TOPSOIL. TO GRADE.
- 4. TREE HOLES TO BE EXCAVATED 2' GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED INN#3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL
- 5. SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- 6. MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MINI. 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
- 7. BED EDGING TO BE STEEL EDGING 12G, X 5.5" AS MANUFACTURED BY COL-MET, COLOR: BLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED, IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER. THE CONTRACTOR SHALL EXCAVATE AND ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS
- 8. ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- 9. ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
- 10. ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
- 11. GENERAL MAINTENANCE: REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES SHALL BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE APPROVED LANDSCAPE PLAN
- 12. LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
- 13. THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
- 14. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING INDICATED IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIOR TO CONSTRUCTION. PROTECT ALL SITE UTILITIES DURING CONSTRUCTION
- 15. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- 16. GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" TILLED INTO PLACE TO A 6" DEPTH.



CLEANLY PRUNE ONLY DAMAGED, DISEASED AND/OR WEAK BRANCHES.

MAINTAIN TREE BASE AT OR SLIGHTLY HIGHER THAN EXISTING GRADE, TO ALLOW FOR SETTLEMENT. REMOVE ALL REMNANT OF CONTAINER FROM AROUND ROOT BALL. 4-6" LAYER OF CRUSHED GRAVEL,

8" DIA. SUMP HOLE, MIN 2' DEEP. 4" DIA. PERF. P.V.C. PIPE W/ CAP

N.T.S.

N.T.S.

N.T.S

- FINISH GRADE DF ADJACENT SURFACE

— TOP OF EDGING TO BE PARALLEL AND STRAIGHT ND "WAVES" W/IN STRAIGHT RUNS.

## COLOR: BROWN

(TRIM STAKE LENGTH, DO NOT PENETRATE WATERPROOF MEMBRANE IF OVER STRUCTURE)

PLANT MATERIAL

-CLEANLY PRUNE ONLY DAMAGED, DISEASED, AND/OR WEEK BRANCHES -FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF PLANT IN POT. -PROVIDE 3-4" SAUCER AROUND SHRUB

-PROVIDE 3" HARDWOOD SHREDDED MULCH -COMPLETELY REMOVE ALL REMNANTS OF CONTAINER. -SCARIFY PIT BOTTOM AND SIDES

N.T.S.





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<sup>+</sup> 0.1	<sup>+</sup> 0.2	+0.3	0.5	+ 1.0	+ 1.3	1.5	1.7	<sup>+</sup> 1.6	+1
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							PARKING LOT & DRIVE WAY
Calculation Summary							Illuminance (Fc)
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	Average = $1.67$
GRADE_Planar	0	Fc	0.27	6.6	0.0	N.A.	Maximum $= 6.6$
PARKING LOT & DRIVE WAY		Fc	1.67	6.6	0.4	4.18	$\begin{array}{l} \text{Minimum} = 0.4 \\ \text{Avg/Min Ratio} = 4.18 \end{array}$

Avg/Min Ratio = 4.18 Max/Min Ratio = 16.50

$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		D MH: 9.5	• • • • • • • • • • • • • • • • • • •	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\Theta_{1.SA}$ 1.1 $0.5$ $0.5$	1.4 $0.9$ $0.5$ $01.6$ $0.9$ $0.5$ $0$		MH: 25	+1.1 +0.8 +0.4 +0
A       NO       NO <th< th=""><th></th><th>++ 4.4 D MH: 9.5 + 1.1 0.4</th><th>• • • • • • • • • • • • • • • • • • •</th><th></th><th>A 1.1 <math>0.5</math> <math>0.7</math></th><th></th><th></th><th>MH: 25</th><th>+ 0.8 0.4 0</th></th<>		++ 4.4 D MH: 9.5 + 1.1 0.4	• • • • • • • • • • • • • • • • • • •		A 1.1 $0.5$ $0.7$			MH: 25	+ 0.8 0.4 0
$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	+ +	DEI	+0.6 <b>4</b> +0.1		+ 0.5 0.5				+ 0.4 <sup>+</sup> 0
$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	+	DE			+ 0	+ 0 + 0	+0	+	+0
+ 0.2 + 0.2 + 0.2 + 0.2 + 0.1 + 0.1					3	.3	.3	. 3	. 3
)	- 0.1		<sup>+</sup> 0.2	+ 0.2 + 0.2	<sup>+</sup> 0.2	<b>209.26</b> <b>PROPERTY LINE</b> 0.2	+ 0.2 <b>HINE</b>	+ 0.1 + 0.2	+ 0.1
		+(	+	+	+	+	+	+(	+
DRAWING:       DRAWING:         PHOTOMETRIC       PROJECT/CLIENT:         PHOTOMETRIC       PROJECT/CLIENT:         PHOTOMETRIC       Image: Constant of the second stant of the seco		CT/CLIENT: HIROPRACTIC OFI TON: & W.HEATH • ROCK 3.2019	FICE WALL•TX•75087			DESIGNSION HOUSE PLANS	LATIMER DES ROCKWALL, 1 PHONE: 469.264.7415 EMAIL: latimerdesign	LATIMER DESIGN INC. ROCKWALL, TEXAS 75087 PHONE: 469.264.7415 EMAIL: EMAIL: latimerdesigngroup@gmail.com	87 ail.com





**N. GOLIAD STREET** 



## **City of Rockwall**





1/18/2019 LM

Applied

Project Number Project Name Type Subtype	SP2019-002 108 St. Mary SITE PLAN	Owner Applican		IN STREET HOL IN STREET HOL	,	Approved Closed Expired Status
Status	Staff Review					
Site Address 108 ST MARY		<b>City, State Zip</b> ROCKWALL, TX 75087				Zoning
Subdivision ST MARYS PLACE		Tract NULL	Block 80C	Lot No NULL	Parcel No 3140-080C-0000-(	<b>General Plan</b> DO-OR

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Statu	tus Remarks
BUILDING	Russell McDowell	1/18/2019	1/25/2019	1/22/2019	4 APP	PROVED
ENGINEERING	Sarah Hager	1/18/2019	1/25/2019	1/25/2019	7 CON	MMENTS
(1/25/2019 10:56 A	M SH)					
- Is the building sho	own existing?					
- Parking to be 20'x						
- Must have 15'x24' turnaround.						
- Are you planning t	to include a cross access	easement?				
- Must label TW and	d BW elevations in all lo	cations.				

- Calculations will not be reviewed until plans are submitted for engineering review.

- Add note to Landscape Plans, "No trees within 5' of utilities."

The following is for your information for engineering review.

- 4% Engineering Inspection Fees
- Impact fees.
- Min 20' utility easements.
- No structures in easements.
- Fire lane easement to be on plat.
- Fire lane to be 24' wide with 20' radii.
- Parking to be 20'x9'
- No dead-end parking.
- Driveway spacing must be labeled on Site Plan.
- Must have detention. Manning's "c-value" is per zoning for the entire property. 4:1 max slope. No vertical walls allowed in detention easement

- No trees within 5' of public utilities.

- Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls.

- Must meet all City Engineering Standards.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
FIRE	Ariana Hargrove	1/18/2019	1/25/2019	1/24/2019	6 APPROVED	
GIS	Lance Singleton	1/18/2019	1/25/2019	1/22/2019	4 APPROVED	
PLANNING	Korey Brooks	1/18/2019	1/25/2019	1/25/2019	7 COMMENTS	Comments

SP2019-002 Site Plan for 108 St Mary: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

? This is a request by Chuck Vickers of T & C Main Street Holdings, LLC for the approval of a site plan for an office building on a 0.50-acre parcel of land identified as Block 80B of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, addressed as 108 St. Mary's Street.

? For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

? For reference, include the case number (SP2019-002) in the lower right hand corner of all pages on future submittals.

? Site Plan. Please provide a Site Plan instead of a "Site and Grading Plan". That needs to be submitted with your Civils later on. Without the correct drawing I can provide limited comments.

? Site Plan. Please note that the subject property will not be able to be subdivided.

? Site Plan. Please move all parking to rear of building.

? Site Plan. ADA will more than likely need to be moved to the rear of building.

? Site Plan. Please provide cross/access to RO property to the west.

? Site Plan. Please note that parking spaces to not appear to meet engineering standards of design

? Landscape Plan. Please show centerlines of adjacent roadways.

? Landscape Plan. Please provide site data table as shown on landscape plan. Also, please check the site plan checklist that shows additional information to be added to site data table (e.g. pervious vs. impervious percentage, landscape percentage, etc.)

? Landscape Plan. Please utilize engineering scale and show adjacent properties.

? Landscape Plan. Please check the tree requirements along Goliad—There seems to be 1 or 2 trees missing.

? Landscape Plan. Please note that no parking space shall be 80-feet from a tree. Provide 80-foot buffer at 1 or 2 trees to show compliance.

? Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.

? Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.

? Landscape Plan. Please show heavy landscape screening from the adjacent residential property

? Landscape Plan. Please provide engineering information on all plans (e.g turning radii, easements, utilities, etc). Also provide visibility triangle.

? Photometric Plan. If any additional lighting is being provided, please provide a photometric plan.

? Building Elevations. Please provide dimensions.

? Building Elevations. Is the wainscot existing?

? Building Elevations. Provide Site data Table as provided on other sheets.

? Building Elevations. Please note any changes being made to the exterior.

? The Architectural Review Board (ARB) meeting for this case will be held on January 29, 2019 at 5:00 p.m.

Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on February 4, 2019. The Planning and Zoning Worksession for this case will be January 29, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be February 12, 2019





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MODEL FOR **JAL OFFICES** Aary Street exas 75087

ARKING REQUIRED	5 (1 ADA) 6 (1 ADA)	INTERIOR REMC PROFESSION/ 108 Saint Maa Rockwall, Tex
		VICKERS VICKERS CONSTRUCTION CONSTRUCTION 2:4.733.9794
108 Saint M LEGAL DESCRIPTION H.W. Boydst Rockwai Volume 3024, Deed Records of Roc 0.51 A	AND OR ADDRESS: on Addition I, Texas Page 225 of kwall County, Texas ccres	architect
<ul> <li>Vickers</li> <li>Riding Club Rd.</li> <li>vall, TX 75087</li> <li>Il Architects, INC</li> <li>Interstate 30 #110</li> <li>vall, TX 75087</li> </ul>	CANT	SITE PLAN/ LANDSCAPE PLAN
/2-732-6085 Email <u>CASE N</u> 2019		олте: <u>JULY 2018</u> рясодест мо ораним ву: Grecked By:

SITE DATA TABLE						
SITE AREA	0.51 ACRES (22,279 SF)					
ZONING	COMMERCIAL OFFICE					
PROPOSED USE	OFFICE					
PROPOSED BUILDING AREA- TOTAL AREA:	1,221 SF					
EXISTING BUILDING AREA- TOTAL AREA:	1,423 SF					
LOT COVERAGE	5.48%					
FLOOR TO AREA RATIO	0.0548 : 1					
BUILDING HEIGHT 30 ft. MAX						
PARKING	G TABLE					

BUILDING HEIGHT	30 ft. MAX		
PARKIN	G TABLE		
PROPOSED PARKING- TOTAL PARKING:	1:300 = 5 SPACES		
PARKING REQUIRED	5 (1 ADA)		
PARKING PROVIDED	6 (1 ADA)		

Chuck Vickers 2475 Riding Club Rd. Rockwall, TX 75087

Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 E



NORTH

Add note: No trees within 5' of utilities.





## City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Departme 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







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		+	$\underline{TOP} OF CURB = 581.50$ $6'' \\ \boxed{1} + FL = 579.35$ $4y_2'' + \boxed{1RU CURB}$		$20  10  0  20$ $1^* = 20^*$	STORRS ST. SITE SITE SAINT MARY E. BOYDSTUN AVE.
						LOCATION MAP
						(NOT TO SCALE)
tention Pond Mod onditions 0.510 0.50 20.00 8.30 2.12 nditions 0.51 0.90 10.00 9.80 4.50	lified Rational By-Pass Acreage - By-Pass Q cfs -	New Acreage 0.51 New Allowable CFS 2.12	Present Conditions       25 Year         Q=CiA $A=$ 0.510         C=       0.50       Tc=       20.00         i25=       5.72       Q25=       1.46         Future Conditions         A=       0.51       C=       0.90         Tc       10.00       I25=       7.59         Q25=       3.48       Value       Value	By-Pass Acreage -New Acreage 0.510By-Pass Q cfs -New Allowable CFS 1.459	Pond Report       Friday. Dec 14, 2018       Pond No. 1 - St Mary Street       Pond Data       Contours - User-defined contour areas. Average end area method used for volume calculation. Regining Elevation = 579.35 ft       Stage (ft)       Elevation (ft)       Contour areas. Average end area method used for volume calculation. Regining Elevation = 579.35 ft       Stage (ft)       Elevation (ft)       Contour area (sqft)       O 0       0.00     579.35       0.00     579.35       0.015     579.35       0.02     579.35       0.03     579.35       0.04     4       0.05     579.35       0.06     579.35       0.05     579.35       0.04     70       0.05     579.35       0.05     579.35       0.05     580.02       0.06     725       0.15     3.700       0.26     581.03       1.90     581.25       0.75     3.750       0.91     581.25       0.92     592.5       0.93     581.25       0.93     581.25       0.94     4.310	$LEGEND$ $= PROPERTY LINE$ $= 460 = EXISTING CONTOURS$ $= 460 = PROPOSED CONTOURS$ $= 460 = PROPOSED SPOT GRADES$ $tc = TOP OF CURB$ $ep = EDGE OF PAVEMENT$ $tw = TOP OF WALL$ $bw = BOTTOM OF WALL$ $(ALL SPOT GRADES ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED)$ $= EX. SS = EXISTING SANITARY SEWER LINE$ $= EX. W = EXISTING WATER LINE$ $\oint_{PH} = EXISTING FIRE HYDRANT$ $\bigotimes_{PP} = EXISTING POWER POLE$ $\oint_{LP}^{LP} = EXISTING LIGHT POLE$ $= EX. WATER VALVE$
torm Duration 1 9.80 9.00 8.30 6.90 5.80 5.00 4.50 4.50 4.00 3.70 3.50 3.40 3.20 3.00 Haculations	CQ (cfs)0.904.4980.904.1310.903.8100.903.8670.902.6620.902.2950.902.0660.901.8360.901.6980.901.6070.901.5610.901.377		Present Conditions         19 Year           Q=CiA         A= $0.510$ C= $0.50$ Tc= $20.00$ f10= $4.92$ Q10 $1.25$ Future Conditions           A= $0.51$ C= $0.90$ Tc $10.00$ $110$ $6.56$ Q10 $3.01$	By-Pass Acreage -New Acreage 0.510By-Pass Q cfsNew Allowable CFS 1.255	[A]       [B]       [C]       [PrfRsr]       [A]       [B]       [C]       [D]         Rise (in)       = 6.00       0.00       0.00       0.00       Crest Len (ft)       = 0.00       0.00       0.00       0.00         Span (in)       = 4.50       0.00       0.00       Crest Len (ft)       = 0.00       0.00       0.00       0.00         No. Barrels       = 2       0       0       0       Weir Coeff.       = 3.33       3.33       3.33       3.33         Invert EI. (ft)       = 6.50       0.00       0.00       0.00       Weir Type       =           Length (ft)       = 0.60       0.00       0.00       Multi-Stage       = No       No       No       No         N/value       = .013       .013       .013       n/#             Multi-Stage       = n/#       No       No       No       No       No       No       No       No         Note Culvert/Orfice cultows are analyzed under inflyt and culter courter.       War risers are checked for onfice conditions.         Stage       Storage       Elseation       Cfv A       Cfv B       Cfv C       PrfRsr       Wr A <td>() = EXISTING STORM MANHOLE  <math display="block"> () = EXISTING GAS METER </math> <math display="block"> = PROPOSED FIRE HYDRANT </math> <math display="block"> EXIST. or EX. = EXISTING </math> <math display="block"> PROP. = PROPOSED </math> <math display="block"> LS = LANDSCAPE </math> <math display="block"> RCP = REINFORCED CONCRETE PIPE </math> <math display="block"> min = MINIMUM</math></td>	() = EXISTING STORM MANHOLE $ () = EXISTING GAS METER $ $ = PROPOSED FIRE HYDRANT $ $ EXIST. or EX. = EXISTING $ $ PROP. = PROPOSED $ $ LS = LANDSCAPE $ $ RCP = REINFORCED CONCRETE PIPE $ $ min = MINIMUM$
2,699 1,270	CF Storage 1,429		Present Conditions 5 Year Q=CiA	By-Pass Acreage New Acreage	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	max = MAXIMUM
3,718 1,587	Storage 2,131		A= 0.510 C= 0.50 Tc= 20.00 I5 4.34	- 0.510 By-Pass Q cfs New Allowable CFS	Stage (ft) Stage / Discharge Elev (ft)	ONLY DRAWINGS STAMPED "RELEASED FOR
4,572	Storage 2,667		Q5 1.11 Future Conditions	- 1.107	2.00 581.35 1.80 581.15	CONSTRUCTION" BY THE CITY OF DALLAS TO BE USED FOR CONSTRUCTION.
1,905 5,701	Storage 3,161		A= 0.51 C= 0.90 Tc 10.00 I5 5.85		1.60 580.95 1.40 580.75 1.20 580.55	
2,540 6,389	Storage 3,215		Q5 2.69 Summary Detention Pond Calculations		1.20       580.55         1.00       580.35         0.80       580.15	
3,175			Exisiting Conditions for Pond Area	0.51 Acres ) minutes	0.60 579.95	STE OF TELL
6,885 3,810	Storage 3,075		11008.30in/hrQ100 = CiA1255.72in/hrQ25 = CiA1104.92in/hrQ10 = CiA	2.12 cfs 1.46 cfs 1.25 cfs	0.20 9.00 0.00 0.50 1.00 1.50 2.00 2.50 3.00	GERALD F. MONK 44503
7,436 4,445	Storage 2,991		I5 4.34 in/hr Q5 = CiA Proposed Conditions Discharge from Pond Basin Q dev - 100yr Q = ciA Q dev - 25yr	1.11 cfs 4.50 cfs 3.48 cfs	Total Q Discharge (cfs)	18 Monts 12-13-18
7,711 5,080	Storage 2,632		Q dev - 10yr Q dev - 5yr The Difference in discharge flows from exsiting to proposed	3.01 cfs 2.69 cfs	Stage (ft)         Stage / Storage         Elev (ft)           2.00         581.35           1.80         581.15	
8,152 5,715	Storage 2,437		Q Diff = Qdev - Q EX Q diff -100 = 2.38 cfs Q diff -25 = 2.03 cfs		1.60	SITE & GRADING PLAN 108 SAINT MARY STREET
8,675 6,350	Storage 2,326		Q diff-10 = 1.76 cfs Q diff-5 = 1.58 cfs The Allowable discharge from the pond is equal to	the Predeveloped Conditions	1.20 580.55 1.00	City of Rockwall, Rockwall County, Texas 75087
9,364 6,984	Storage 2,379		Q allow = Q ex Volume Qallow 100 2.12 cfs 3,216		0.80 560.15 0.60 579.95	<u>owner</u>
9,694 7,619	Storage 2,075		Qallow 25 1.46 cfs 800 Qallow 10 1.25 cfs 450	of     580.25       of     580.10       of     580.00	0.40 579.75 0.20 579.55	CHUCK VICKERS CASENCHI@GMAIL.COM 214-793-9794
7,619 9,914 8,254	Storage 1,660				0.00 0 400 800 1,200 1,600 2,000 2,400 2,800 3,200 3,600 4,000 4,400 Storage (cuft)	prepared by <b>MONK CONSULTING ENGINEERS, INC.</b> 1200 W. State Street, Garland Texas 75040 972 272-1763 Fax 972 272-8761 REG NO.: F-2567
						REG NO.: F-2567 2018 by Monk Consulting Engineers, Inc., All Rights Reserved. date: scale: sheet:

date:

12/13/18

scale:

1" = 20'

sheet:

C101



# SAINT MARYS STREET





ISSUE: OWNER REVIEW: 01-17-2018	
	COPYRIGHT NOTICE: These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under sec. 102 of the copyright act, 17 u.S.C. As amended January 2003. The protection includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may result in cessariton of construction, building seizure, and/or monetary liability.

- OFFICES Street 75087

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108 Saint Rockwall, J

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INTERIOR |

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PROF

# SITE DATA TABLE

SITE AREA	0.51 ACRES (22,279 SF)
ZONING	COMMERCIAL OFFICE
PROPOSED USE	OFFICE
PROPOSED BUILDING AREA- TOTAL AREA:	1,221 SF
EXISTING BUILDING AREA- TOTAL AREA:	1,423 SF
LOT COVERAGE	5.48%
FLOOR TO AREA RATIO	0.0548 : 1
BUILDING HEIGHT	30 ft. MAX

PARKING TABLE						
PROPOSED PARKING- TOTAL PARKING:	1:300 = 5 SPACES					
PARKING REQUIRED	5 (1 ADA)					
PARKING PROVIDED	6 (1 ADA)					

	aint Marys Street
	SCRIPTION AND OR ADDRESS:
Volu	/. Boydston Addition Rockwall, Texas me 3024, Page 225 of Is of Rockwall County, Texas 0.51 Acres
	OWNER
Chuck Vickers 2475 Riding Club Rd. Rockwall, TX 75087	
	APPLICANT
Carroll Architects, INC	
750 E. Interstate 30 #1	110
Rockwall, TX 75087	
Ph: 972-732-6085	Email: jc@carrollarch.com





4 RIGHT SIDE ELEVATION SCALE: 1/4"=1'-0"









	ISSUE:		
	OWNER REVIEW 7-13-2018	7-13-2018	
COPYRIGHT NOTICE:			_
These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under			
sec. 102 of the copyright act, 17 u.S.C. As amended January 2003. The profection			_
includes, wirnour immigrion, me overgi form, grangement and composition of spaces, and elements of the design.			_
Under such protection, unauthorized use of these drawings and precifications may			_
building seizure, and/or monetary liability.			_

# BACK ELEVATION SCALE: 1/4"=1'-0" (3)

# FRONT ELEVATION SCALE: 1/4"=1'-0"





# ELEVATIONS



## **City of Rockwall**

Project Plan Review History



Project Name Type Subtype	SP2019-003 Ranch Trail Development SITE PLAN Staff Review		Own Appli	• • • • • • • • • • • • • • • • • • • •	ANCE, INC. IOORE ENGINEERI	ING, INC.	Applied 1/18/2019 Approved Closed Expired Status	LM
Site Address 405 RANCH TRAIL Subdivision		<b>City, State Zi</b> Rockwall, TX	•	Block	Lot No	Parcel No	Zoning General Plan	
Subdivision		Tract		Вюск	LOT NO		General Plan	
Type of Review / Not	tes Contact	Sent	Due	Received	Elapsed Status		Remarks	
BUILDING	Russell McDowell	1/18/2019	1/25/2019	1/22/2019	4 APPRC	VED		
ENGINEERING	Sarah Hager	1/18/2019	1/25/2019	1/25/2019	7 COMM	1ENTS	See comments.	

- All pa - Wate - Sewe - Need - Must - No gr - Dump - Drain	r line must be r and lift stat the new plar tie water inte ate inlets allo osters to drain age must be scape Plan, ac	M SH) O'x9' and all drive isle r e centered in 20' Utility ion will all be private. L ns for COunty Line Roa o the 12" line in County owed. Must be curb inle n to oil/water separato in sheet flow conditior dd note, "8. No trees w your information for e	V Easement. abel each item d Reconstruction V Line Road or verse to for paving. The prior to enter the before crossing thin 5' of utliti	and private on. we will stub ring the stori ng the prope	out to you if th m system.		uction gets there firs	st.
- Wate - Sewe - Need - Must - No gr - Dump - Drain	r line must be r and lift stat the new plar tie water inte ate inlets allo osters to drain age must be scape Plan, ac	e centered in 20' Utility ion will all be private. L ns for COunty Line Roa o the 12" line in County owed. Must be curb inly owed. Must be curb inly n to oil/water separato in sheet flow condition dd note, "8. No trees w	V Easement. abel each item d Reconstruction V Line Road or verse to for paving. The prior to enter the before crossing thin 5' of utliti	and private on. we will stub ring the stori ng the prope	out to you if th m system.		uction gets there firs	st.
- Sewe - Need - Must - No gr - Dump - Drain	r and lift stat the new plar tie water intr ate inlets allo osters to drain age must be scape Plan, ac	ion will all be private. L ns for COunty Line Roa o the 12" line in County owed. Must be curb inlo n to oil/water separato in sheet flow conditior dd note, "8. No trees w	abel each item d Reconstructio / Line Road or v ets for paving. or prior to enten before crossir ithin 5' of utliti	on. we will stub ring the stor ng the prope	out to you if th m system.		uction gets there firs	st.
- Need - Must - No gr - Dump - Drain	the new plar tie water intr ate inlets allo osters to drain age must be scape Plan, ac	ns for COunty Line Roa o the 12" line in County owed. Must be curb inlo n to oil/water separato in sheet flow condition dd note, "8. No trees w	d Reconstruction V Line Road or vesting tets for paving. The prior to enternation to before crossination thin 5' of utliti	on. we will stub ring the stor ng the prope	out to you if th m system.		uction gets there firs	st.
- Must - No gr - Dump - Drain	tie water inter ate inlets allo osters to drain age must be scape Plan, ac lowing is for	o the 12" line in County owed. Must be curb inle n to oil/water separato in sheet flow condition dd note, "8. No trees w	y Line Road or v ets for paving. or prior to enter o before crossir ithin 5' of utliti	we will stub ring the stor ng the prope	m system.		uction gets there firs	st.
- No gr - Dump - Drain	ate inlets allo osters to drain age must be scape Plan, ac lowing is for	owed. Must be curb in n to oil/water separato in sheet flow conditior Id note, "8. No trees w	ets for paving. or prior to enten before crossir ithin 5' of utliti	ring the stor	m system.		uction gets there firs	st.
- Dump - Drain	osters to drain age must be scape Plan, ac llowing is for	n to oil/water separato in sheet flow conditior Id note, "8. No trees w	or prior to enter before crossir ithin 5' of utliti	ng the prope		etention.		
- Drain	age must be scape Plan, ac llowing is for	in sheet flow conditior Id note, "8. No trees w	before crossir ithin 5' of utliti	ng the prope		etention.		
	lowing is for	ld note, "8. No trees w	ithin 5' of utliti		rty line from d	etention.		
- Lands	lowing is for			es."				
		vour information for e						
The fol			ngineering plar	n review.				
	ignieering in:	spection Fees						
- Impa	ct fees.							
- Min 2	0' utility ease	ements.						
- No st	ructures in ea	asements.						
- Fire la	ane easemen	t to be on plat.						
- Fire la	ane to be 24'	wide with 20' radii (or	30' rad. depend	ding on heigh	nt).			
- Parkiı	ng to be 20'x9	)'						
- 8" wa	iter available	across Ranch Trl. Must	loop 8" water	ine in site. F	ull panel concr	ete replace	ement required.	
	wer in Ranch							
		\$432.74/acre.						
		walk along County Line						
•		drain to oil/water sepa	rator or grease	e trap, depen	iding on use.			
		of public utilities.						
		and over must be desig				e rock or st	one. No smooth con	icrete walls.
		on. Manning's "c-value			e property.			
		or detention, it must b		-				
		rs of the US Study if to	• •					
		nust reach sheet flow	-	r to crossing	the property l	ine.		
- Must	meet all City	Engineering Standards	5.					
FIRE		Ariana Hargrove	1/18/2019	1/25/2019	1/24/2019	6	COMMENTS	See comment
(1/24/2	2019 6:31 PN	I AA)						
•	-			•		•	•	The total floor area is calculated by adding the ons of the roof of a building.
GIS		Lance Singleton		_	1/22/2019	4	APPROVED	See comments
010		Lance Singleton	1, 10, 2015	1,23,2013	1,22,2013	4		See comments

ype of Review / Notes Co	ntact	Sent	Due	Received	Elapsed Status	Remarks
(1/22/2019 2:36 PM LS)						
Address assignment:						
The complex address w	ill be 405 Ranch Tr	ail, Rockwall,	, TX 75032.			
Each building should be	given a letter des	ignation sucl	n as A, B, C			
In each building - the u	nits / suits can be a	assigned at t	he time of p	ermitting and she	ould be given a number such as	101,103, 105 or 102,104,106 allowing number
gaps for future demisin	ig walls (200+ num	hers design	ate two+ sto	ry buildings etc.)	Example: 405 Ranch Trail B-101	Rockwall TX 75032

PLANNING	Korey Brooks	1/18/2019 1/25/2019 1/25/2019	7 COMMENTS	Comments
----------	--------------	-------------------------------	------------	----------

Type of Review / Notes Contact

Sent

Received

Remarks

SP2019-003 Site Plan for Multi-Tenant Office/Warehouse on 403 Ranch Trail: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

**Elapsed Status** 

? This is a request by Matt Moore of ClayMoore Engineering, Inc. for the approval of a site plan for a multi-tenant office/warehouse complex on a 7.52-acre portior of a larger 9.76-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trai

? For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

? For reference, include the case number (SP2019-003) in the lower right hand corner of all pages on future submittals.

Due

? Site Plan. Please note, there is missing information on the Site Data Table (e.g. pervious vs impervious, landscape percentage, etc). Please check the Site Plan Checklist..

? Site Plan. Please check driveway spacing with the Engineering Department and the "Future Driveway Connection"

? Site Plan. Please note that at 5,000 SF, the buildings will need to have a sprinkler system. The Fire Department may already require a sprinkler due to the type of use.

? Site Plan. Please note, there will need to be heavy landscape screening at the property lines

? Site Plan. Please show any rollup doors on the building (i.e. provide a notch or something that indicates where the doors are located)

? Site Plan. Please note that roll-up door should not be visible from the street.

? Site Plan. Please show easements

? Site Plan. In order to clean-up the plan, please remove the ADA symbols and callouts. Also, for other items, try to limit callouts and maybe utilize

hatching/shading and provide information in a legend.

- ? Site Plan. Please provide SF of office and SF of warehouse for each building.
- ? Site Plan. Perhaps, number the buildings (for site planning purposing only) so that they are easier to refer to.

? Site Plan. Please utilize a combination of lineweights, especially adjacent to Ranch Trail. Things seem to get lost and its difficult to see centerline of Ranch Trail ve dimensions, etc.

? Site Plan. Please label each lot. For instance, there appears to be three different lots. Numbering the lots makes it easier to refer to.

- ? Site Plan. Please provide visibility triangles where driveways meet the street.
- ? Site Plan. Please provide centerlines of all adjacent roadways. (It may be there already but difficult to see.)
- ? Some of the buildings have lines in the middle of them, which are not dimension lines. For clarity, what are these lines?
- ? Site Plan. Please note, parking spaces should be 20 x 9 (unless a clear 2-foot overhang, which you show). Just check with Engineering to be sure those spaces are
- ok. Please dimension typical parking spaces and head to head space.
- ? Site Plan. Please note that the dumpster cannot directly face the street. Perhaps they can be angled?
- ? Site Plan. Is the footprint of each building going to be perfectly square, rectangle, etc? If not, please show the building footprint as it would actually appear.
- ? Site Plan. Please greyscale pond.
- ? Site Plan. Please show setbacks.

? Site Plan. "Construction Schedule" does not necessarily call out the ADA Symbol and pavement striping. The sidewalk could be a hatch pattern in the legend that shows the hatch and states the width of sidewalk. ADA accessible ramp could be shown as a symbol in a symbol legend.

- ? Site Plan. Show fire hydrants as symbol and provide in legend.
- ? Site Plan. The existing firelane symbol is difficult to read. Perhaps the firelane could be shown as a stippling pattern (or some other hatch)?

? Site Plan. Add a note that the dumpster enclosure shall have an opaque, self-latching gate. Also, check the minimum dimensions of the enclosure to ensure compliance—they seem tobe slightly undersized.

- ? Site Plan. The substitution of symbols in a legend rather than call outs would be helpful.
- ? Site Plan. Show and label landscape buffers adjacent to roadways (perhaps in greyscale).
- ? Site Plan. Please remove the footprints of the buildings on the adjacent property to the south. Also any information not related to this site should be removed.

ŗ	Site Plan. The drive approaches for the properties across the roadways do not need to be shown
?	Site Plan. The adjacent roadway labels should be more noticeable.
?	Site Plan. The parking spaces need to be behind the front façade of the buildings. There are two or three parking spaces located at the drive aisle off county line
	ad that will need to be moved.
?	Site Plan. The parking space closest to the dumpster enclosure at the east property line may have to be eliminated due to lack of backing out space.
?	Site Plan. Please note our updated screening requirements for residential adjacency.
?	Site Plan. Will the detention be regional? If so, indicate.
?	Landscape Plan. Please show centerlines of adjacent roadways.
?	Landscape Plan. Please provide site data table as shown on landscape plan. Also, please check the site plan checklist that shows additional information to be
ado	ded to site data table (e.g. pervious vs. impervious percentage, landscape percentage, etc.)
?	Landscape Plan. Please check trees along the property line to ensure that they are not within 5-feet of a utility.
?	Landscape Plan. Please check the tree requirements along Goliad—There seems to be 1 or 2 trees missing. Also, please show and label landscape buffer adjacent
to	roadways.
?	Landscape Plan. Please note that no parking space shall be 80-feet from a tree. Provide 80-foot buffer at 1 or 2 trees to show compliance. Also, dimension a
typ	pical parking space as well as typical head to head.
?	Landscape Plan. Please show any easements.
?	Landscape Plan. Please utilize different lineweights for clarity. For instance the callouts for the landscape could be a greyscale dashline.
?	Landscape Plan. Please show heavy landscape screening from the adjacent residential property
?	Landscape Plan. Please provide engineering information on all plans (e.g turning radii, easements, utilities, etc). Also provide visibility triangle.
?	Landscape Plan. What is the square black box in the middle of the drive aisle off County Line Road? Please indicate in legend.
?	Landscape Plan. There are a number of trees that show "70 AJ" or similar. What is that?
?	Landscape Plan. Please label pond. Also you may have to check to see if this is Waters of the U.S.
?	Landscape Plan. Please label detention pond.
?	Landscape Plan. Please indicate the number of caliper inches and percentage of caliper inches that is being paid into the tree fund.
?	Landscape Plan. Am I correct that only one tree is being preserved? Just as a note,
?	Photometric Plan. If any additional lighting is being provided, please provide a photometric plan.
?	Building Elevations. Please provide updated drawings showing the proposed wainscot and material percentages.
?	Building Elevations. Staff recommends that all facades visible from a public street by full masonry
?	Building Elevations. Provide Site data Table as provided on other sheets.
?	Photometric Plan. Please provide cut sheets.
?	The Architectural Review Board (ARB) meeting for this case will be held on January 29, 2019 at 5:00 p.m.
?	Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any
	ditional information that is requested. Revisions for this case will be due on February 4, 2019. The Planning and Zoning Worksession for this case will be January
	, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be February 12, 2019

Elapsed Status

Remarks

Type of Review / Notes Contact

Sent

Due

Received For example, in the lower lefthand corner next to the future driveway there is a light pole and a power pole showing in addition to "Ex. Gravel Drive".







#### PLANT LIST

CANO	PY TREE	ES .		
11	LE	Lacebark Elm	Ulmus parviflora	3" cal. B&B 12' ht. 5' spread
24	LO	Live Oak	Quercus virginiana	3" cal. B&B 12' ht. 5' spread
11	CO	Chinquapin Oak	Quercus muhlenbergia	3" cal. B&B 12' ht. 5' spread
22	CE	Cedar Elm	Ulmus crassifolia	3" cal. B&B 12' ht. 5' spread
13	BC	Bald Cypress	Taxodium distichum	3" cal. B&B 12' ht. 5' spread
10	SO	Shumard Oak	Quercus shumardii	3" cal. B&B 12' ht. 5' spread
8	BO	Bur Oak	Quercus macrocarpa	3" cal. B&B 12' ht. 5' spread
ORNA	MENTAL	TREES		
2	TY	Tree Yaupon	llex vomitoria	30 gal. 8' ht. multi-trunk female
2	CR	Crapemyrtle	Lagerstroemia indica 'Tuscarora'	30 gal. 8' ht. 3 trunk 2 1/2" cal. min.
3	DW	Desert Willow	Chilopsis linearis 'Timeless Beauty'	30 gal. 6' ht. 2 1/2" cal. min.
SHRU	BS & GR	OUNDCOVERS		
9	DY	Dwarf Yaupon	llex vomitoria 'Nana'	6 gal. 36" oc
21	DA	Dwarf Abelia	Abella x grandiflora 'Ed. Goucher'	5 gal. 36* oc
12	BA	Barberry	Berberis thunbergii	5 gal. 36* oc
25	MF	Mexican Feather Grass	Nassella tenuissima	1 gal. 18" oc
5	WM	Dwarf Wax Myrtle	Myrica pusilla	5 gal. 36* oc
15	RY	Red Yucca	Hesperaloe parviflora	5 gal. 36* oc
11	DB	Dwarf Burford Holly	llex cornuta 'Burfordii'	5 gal. 36* oc
20	NGL	New Gold Lantana	Lantana 'New Gold'	1 gal. 24* oc
15	CO	Coreopsis	Coreopsis "Early Sunrise"	1 gal. 24* oc
24	DIH	Dwarf Indian Hawthome	Raphiolepis indica 'Pinkie'	5 gal. 36* oc
14	TC	Turks Cap	Malaviscua arboreus	1 gal. 24* oc
32	HD	Harbor Dwf. Nandina	Nandina 'Harbor Dwarf'	1 gal. 18* oc
14	GL	Giant Liriope	Liriope gigantea	3 gal. 36* oc
14	TX	Texas Sage	Leucophyllum frutescens 'Silverado'	5 gal. 36* oc
23	PM	Pink Muhly	Muhlenbergia capillaris	1 gal. 30* oc
23	CS	Cherry Sage	Salvia greggii	1 gal. 30* oc
16	GC	Green Cloud Sage	Leucophyllum frutescens	5 gal. 36* oc
2	RO	Rosemary	Rosemarinus prostratus	5 gal. 36* oc
350	A.I	Asian Jasmine	Trachelospermum asiaticum	1 gal. 18" oc

#### City of Rockwall, Texas LANDSCAPE CALCULATIONS

Total Lot Area	414,665 SF	Required	Provided
Landscape Area 10%		41,467 SF	135,609 SF (32%
Street Buffer Trees	1 Shade tree 3" cal. per 50 LF of frontage	Required	Provided
Ranch Trail	618.51 LF	13	13
County Line Road	454.64 LF	9	9
Parking Lot Landsca	ре	Required	Provided
Parking Spaces 1 tree per 10 space	257 IS	26	26

#### Tree Mitigation

Primary tree inches removed - 38.5" Secondary tree inches removed - 967 / 2 =483.5" Total protected inches removed - 522"

New mitigation inches provided - 150" Remainder mitigation to be paid into tree fund

Number	Size	EE LIST	Г
2000	8" 8"	Hackberry	H
2001	13"	Cedar	H
2002	7" 10" 10"	Cedar	F
2003	16"	Cedar	ŀ
2004	17"	Cedar	t
2005	15"	Cedar	F
2006	12"	Cedar	F
2007	16"	Cedar	F
2008	26"	Cedar	F
2009	10" 13" 18"	Cedar	t
2010	10"	Cedar	t
2011	8"	Oak	t
2012	12"	Hackberry	ł
2013	10"	Cedar	ł
2014	14" 20"	Cedar	t
2015	15" 14"	Cedar-Hackberry	f
2016	10"	Hackberry	ł
2017	10"	Hackberry	t
2018	10"	Hackberry	ł
2019	10"	Hackberry	F
2020	7" 10"	Hackberry	t
2021	13"	Cedar	f
2022	22"	Cedar	t
2023	12" 16"	Cedar	Ì
2024	16"	Cedar	Ì
2025	15"	Cedar	t
2026	12"	Hackberry	t
2027	12"	Hackberry	t
2028	11"	Cedar	t
2029	22"	Hackberry	t
2030	27"	Cedar	t
2031	8"	Hackberry	t

2053 8"

Hackberry

There is the source of the sou			
<image/> <image/> <image/>	Hand the second se	FILE	NUMBER OF ALL ALL ALL ALL ALL ALL ALL ALL ALL AL
	2 MULTI-TRUNK PLANTING	3 SHRUB PLANTING	

umber	Size	Туре	Number	Size	Туре
2000	8" 8"	Hackberry	2054	8"	Hackberry
2001	13"	Cedar	2055	10" 17"	Hackberry
2002	7" 10" 10"	Cedar	2056	7" 9"	Ash
2003	16"	Cedar	2057	11"	Hackberry
2004	17"	Cedar	2058	8"	Hackberry
2005	15"	Cedar	2059	8"	Hackberry
2006	12"	Cedar	2060	8"	Hackberry
2007	16"	Cedar	2061	7"	Hackberry
2008	26"	Cedar	2062	8"	Hackberry
2009	10" 13" 18"	Cedar	2063	8"	Hackberry
2010	10"	Cedar	2064	10"	Hackberry
2011	8"	Oak	2065	8"	Hackberry
2012	12"	Hackberry	2066	16"	Hackberry
2013	10"	Cedar	2067	8" 8" 10"	Hackberry
2013	10	Cedar	2068	16"	Hackberry
2014	14 20	Cedar-Hackberry	2008	8" 8"	Hackberry
2015	13 14	Hackberry	2009	15"	Hackberry
2016	10"	Hackberry	2070	10" 12"	Hackberry
2017	10"	Hackberry	2071	10 12	Hackberry
2018	10"	Hackberry	2072	7" 9"	Hackberry
2019	7" 10"		2073	13"	Hackberry
2020	13"	Hackberry Cedar	2074	13	Hackberry
2021	22"				
2022	12" 16"	Cedar Cedar	2076	11"	Hackberry
				9"	Hackberry
2024	16"	Cedar	2078	-	Hackberry
2025	15"	Cedar	2079	9"	Hackberry
2026	12"	Hackberry	2080	12"	Hackberry
2027	12"	Hackberry	2081	9"	Hackberry
2028	11"	Cedar	2082	13"	Hackberry
2029	22"	Hackberry	2083	8"	Hackberry
2030	27"	Cedar	2084	13"	Hackberry
2031	8"	Hackberry	2085	11"	Cedar
2032	10"	Hackberry	2086	13"	Cedar
2033	16"	Hackberry	2087	10"	Cedar
2034	8"	Hackberry	2088	10"	Cedar
2035	22"	Live Oak	2089	10"	Cedar
2036	23"	Mulberry	2090	10"	Cedar
2037	17"	Mulberry	2091	8"	Cedar
2038	32"	Mulberry	2092	12"	Cedar
2039	17"	Mulberry	2093	8" 12"	Cedar
2040	15"	Mulberry	2094	8"	Cedar
2041	18"	Oak	2095	10"	Cedar
2042	8"	Cedar	2096	10"	Cedar
2043	14"	Mulberry	2097	10"	Cedar
2044	12"	Hackberry	2098	12"	Cedar
2045	8" 10" 10"	Hackberry	2099	10"	Cedar
2046	10"	Hackberry	2100	8"	Cedar
2047	16"	Cedar	2101	10"	Cedar
2048	12"	Cedar	2102	10"	Cedar
2049	10"	Hackberry	2103	8"	Cedar
2050	10"	Hackberry	2104	15"	Cedar
2050	10" 10"	Hackberry	2105	10"	Hackberry
2051	10 10	Hackberry	2105	10"	Hackberry
					. ruenoelly



RANCH TRAIL rockwall, texas

John F. Murphy, ASLA

7829 Cross Gate Way Tyler, TX 75703 johnelisiteint.com

LANDSCAPE DETAILS SHEET

L-3





## City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Departme 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







WEST ELEVATION - STREET SIDE SCALE: 1/8"=1'-0" 2

EAST ELEVATION SCALE: 1/8"=1'-0" 1

OWNER REVIEW 1-3-2019						
		COPYRIGHT NOTICE:	These drawings and specifications are copyrighted and subject to copyright protection as an "architectural work" under	sec. 102 of the copyright act, 17 u.S.C. As amended January 2003. The protection includes, without limitation, the overall	form, arrangement and composition of spaces, and elements of the design. Under such protection, unauthorized use of these drawings and specifications may	result in cessation of construction, building seizure, and/or monetary liability.

TRAIL DEVELOPMENT 07 RANCH TRAIL

5032

ROCKW.

07

ANCH 4(

2

OFFICE/WAREHOUSE PROJEC

ē

# EXTERIOR FINISH SCHEDULE

- A PREFINISHED METAL WALLS & ROOF PANELS COLOR: STONE PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM COLOR: BURNISH SLATE
- C ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE NOT USED
- D EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT COLOR: MATCH A
- E STONE VENEER COLOR: BLANCO, SIZE, 8"-12" WITH 4" PRECAST CAP
- F PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE
- G BRICK VENEER COLOR: ACME, OXFORD PLACE
- OVERHEAD DOOR -12x14 COLOR: MATCH A

B F







EAST ELEVATION SCALE: 1/8"=1'-0" 1

OWNER REVIEW:	01-18-2018									
ISSUE										
				COPYRIGHT NOTICE:	These drawings and specifications are copyrighted and subject to copyright	protection as an architectural work under sec. 102 of the copyright act, 17 u.S.C. As amended January 2003. The protection	includes, without limitation, the overall form, arrangement and composition of spaces, and elements of the desian.	Under such protection, unauthorized use of these drawings and specifications may	result in cessarion of construction, building seizure, and/or monetary liability.	

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- G BRICK VENEER COLOR: ACME, OXFORD PLACE
- OVERHEAD DOOR -12x14 COLOR: MATCH A

# **RANCH TRAIL**

ROCKWALL, TX 75087 LEGAL DESCRIPTION AND OR ADDRESS:

## RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES

OWNER JT Alliance, Inc. 16 Meadowlake Drive Heath, TX 75032 APPLICANT Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 E Email: jc@carrollarch.com CASE NUMBER 2018XXX

12

VELOPMENT PROJEC 32 20 FICE/WAREHOUSE ш Š 0 TRAIL ROCI Ō CH 4 Ζ 4 ЦО R





The Weather XL<sup>™</sup> Silicone Polyester coil coatings from Valspar are ideal for agricultureal, residential & commercial roofing, industrial applications, and pre-enginneered metal buildings.

- 40 yr paint warranty on SMP Paint Systems.
- 10 yr paint warranty on Poly Paint Systems.
- · Custom Trim available.
- · Complete line of metal roofing and metal building components.
- · Bolt up Steel Building Kits.
- 🕅 UL 2218 Classified Steel.



COVERAGE Our Tex-Rib with its anti-siphon feature gives you a weather-tight seal.





RUSTIC RED - SMP

BURNISHED SLATE - SMP





CHARCOAL GRAY - SMP



- \* Color requires minimum order
- Poly based on availability

- SMF

CK\*

Color samples shown approximate actual paint colors as closely as possil



# TREE LEGEND





C	ΟY	Dwarf
C	A	Dwarf
B	BA	Barbe
N	/IF	Mexic
V	VM	Dwarf
F	RY	Red Y
C	ЭB	Dwarf
Ν	IGL	New (
C	0	Corec
D	ЯН	Dwarf

+		+		+	
	+		+		+
+		+		+	
	+		+	++	+
		•		•	

- beds.
- areas.
- washed sand)
- local source.
- organic percentage.



File No.

2019-0



Wire Fence





## SHRUB LEGEND

DY	Dwarf Yaupon	ТС	Turks Cap
DA	Dwarf Abelia	HD	Harbor Dwf. Nandina
BA	Barberry	GL	Giant Liriope
MF	Mexican Feather Grass	ТХ	Texas Sage
WM	Dwarf Wax Myrtle	PM	Pink Muhly

RO Rosemary

AJ Asian Jasmine

- CS Cherry Sage
- GC Green Cloud Sage Dwarf Burford Holly
- New Gold Lantana
- CO Coreopsis DIH

Red Yucca

NGL

Dwarf Indian Hawthorne

# HATCH LEGEND



## LANDSCAPE NOTES

- 1. The project will have an undergound automatic irrigation system to water all new plantings.
- 2. Install 4" layer of shredded hardwood mulch to all planting beds.
- 3. Install 4" steel edging between all shrub beds and grass areas.
- 4. Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand)
- 5. Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
- 6. Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- 7. Solid sod all areas disturbed by construction activities.



# PLANT LIST

CANO	PY TREE	ES		
11 LE Lacebark Elm Ulmus parviflora		Ulmus parviflora	3" cal. B&B 12' ht. 5' spread	
24	LO	Live Oak	Quercus virginiana	3" cal. B&B 12' ht. 5' spread
11	CO	Chinquapin Oak	Quercus muhlenbergia	3" cal. B&B 12' ht. 5' spread
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2	ΤY	Tree Yaupon	llex vomitoria	30 gal. 8' ht. multi-trunk female
2	CR	Crapemyrtle	Lagerstroemia indica 'Tuscarora'	30 gal. 8' ht. 3 trunk 2 1/2" cal. min.
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SHRU	BS & GR	OUNDCOVERS		
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11	DB	Dwarf Burford Holly	llex cornuta 'Burfordii'	5 gal. 36" oc
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23	CS	Cherry Sage	Salvia greggii	1 gal. 30" oc
16	GC	Green Cloud Sage	Leucophyllum frutescens	5 gal. 36" oc
2	RO	Rosemary	Rosemarinus prostratus	5 gal. 36" oc
350	AJ	Asian Jasmine	Trachelospermum asiaticum	1 gal. 18" oc



AM Ful 25 25 011 TFULWILER /2019 9:2 SERS\SCC SCOT 1/17, C: \U PLOTTED BY: PLOT DATE: LOCATION:

# City of Rockwall, Texas LANDSCAPE CALCULATIONS

Total Lot Area	414,665 SF	Required	Provided
Landscape Area 10%		41,467 SF	135,609 SF (32%)
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New mitigation inches provided - 150" Remainder mitigation to be paid into tree fund



_	EX	IS	Γ	

Number	Size	Туре
2000	8" 8"	Hackberry
2001	13"	Cedar
2002	7" 10" 10"	Cedar
2003	16"	Cedar
2004	17"	Cedar
2005	15"	Cedar
2006	12"	Cedar
2007	16"	Cedar
2008	26"	Cedar
2009	10" 13" 18"	Cedar
2010	10"	Cedar
2011	8"	Oak
2012	12"	Hackberry
2013	10"	Cedar
2014	14" 20"	Cedar
2015	15" 14"	Cedar-Hackberry
2016	10"	Hackberry
2010	10"	Hackberry
2017	10"	Hackberry
2018	10"	Hackberry
2019	7" 10"	Hackberry
2020	13"	Cedar
2021	22"	Cedar
	12" 16"	
2023		Cedar
2024	16"	Cedar
2025	15"	Cedar
2026	12"	Hackberry
2027	12"	Hackberry
2028	11"	Cedar
2029	22"	Hackberry
2030	27"	Cedar
2031	8"	Hackberry
2032	10"	Hackberry
2033	16"	Hackberry
2034	8"	Hackberry
2035	22"	Live Oak
2036	23"	Mulberry
2037	17"	Mulberry
2038	32"	Mulberry
2039	17"	Mulberry
2040	15"	Mulberry
2041	18"	Oak
2042	8"	Cedar
2043	14"	Mulberry
2044	12"	Hackberry
2045	8" 10" 10"	Hackberry
2046	10"	Hackberry
2047	16"	Cedar
2048	12"	Cedar
2049	10"	Hackberry
2050	10"	, Hackberry
2051	10" 10"	Hackberry
2052	12"	Hackberry
2052	8"	Hackberry
	-	

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# **EXISTING TREE LIST**

## **\*** = PRESERVED TREE

Number	Sizo	Tupo
2054	Size 8"	Type Hackberry
2054	10" 17"	
	7" 9"	Hackberry Ash
2056		
2057	11"	Hackberry
2058	8"	Hackberry
2059	8"	Hackberry
2060	8"	Hackberry
2061	7"	Hackberry
2062	8"	Hackberry
2063	8"	Hackberry
2064	10"	Hackberry
2065	8"	Hackberry
2066	16"	Hackberry
2067	8" 8" 10"	Hackberry
2068	16"	Hackberry
2069	8" 8"	Hackberry
2070	15"	Hackberry
2071	10" 12"	Hackberry
2072	13"	Hackberry
2073	7" 9"	Hackberry
2074	13"	Hackberry
2075	13"	Hackberry
2076	11"	Hackberry
2077	11"	Hackberry
2077	9"	Hackberry
2078	9"	•
	9 12"	Hackberry
2080	9"	Hackberry
2081	_	Hackberry
2082	13"	Hackberry
2083	8"	Hackberry
2084	13"	Hackberry
2085	11"	Cedar
2086	13"	Cedar
2087	10"	Cedar
2088	10"	Cedar
2089	10"	Cedar
2090	10"	Cedar
2091	8"	Cedar
2092	12"	Cedar
2093	8" 12"	Cedar
2094	8"	Cedar
2095	10"	Cedar
2096	10"	Cedar
2097	10"	Cedar
2098	12"	Cedar
2099	10"	Cedar
2100	8"	Cedar
2101	10"	Cedar
2102	10"	Cedar
2102	8"	Cedar
2103	15"	Cedar
2104	10"	Hackberry
2103	10"	Hackberry
2100	10	Παίκρειι γ





DRAWN: CHECKED: DATE 01/17/20 SHEET L-3

2019-0



## ELECTRICAL LIGHTING AND POWER NOTES

- ALL WORK SHALL MEET CURRENTLY ADOPTED IBC, IECC AND NEC CODE REQUIREMENTS AS WELL AS ANY CITY ADOPTED AMENDMENTS. 2. LOADING AND BREAKER LAYOUT SHOWN IS BASED ON BEST AVAILABLE DATA. SPECIALTY, MEDICAL OR IT EQUIPMENT AND APPLIANCES, ETC MAY NEED SEPARATE CIRCUITS. INSTALLING ELECTRICIAN TO VERIFY ACTUAL EQUIPMENT WATTAGES AND SUPPLY CORRECT EQUIPMENT AS NEEDED.
- ALL RECEPTACLES SHALL BE GFCI PROTECTED IF REQUIRED BY NEC OR AHJ.
- ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED WITH WEATHERPROOF IN-USE COVERS. 4 5. ALL RECEPTACLES IN AREAS GENERALLY OCCUPIED BY CHILDREN INCLUDING CLASSROOMS, PATIENT EXAM ROOMS, WAITING ROOMS,
- RESTROOMS, HALLWAYS AND GYMS TO BE TAMPER-RESISTANT.
- ELECTRICAL CONTRACTOR TO PROVIDE JUNCTION BOX FOR BUILDING SIGNAGE AND PHOTOCELL WITH TIME CLOCK NEXT TO BREAKER PANEL. ALL LIGHTING AND CONTROLS SHALL CONFORM TO CURRENT IECC SECTION C405.2
- EMERGENCY ELECTRICAL SYSTEM AS LOCATED ON THIS PLAN SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND AN INITIAL ILLUMINATION OF AN AVERAGE 1 FOOTCANDLE. EMERGENCY POWER SYSTEM TO BE IN COMPLIANCE WITH IBC SECTION 1006.
- ALUMINUM CONDUCTORS GREATER THAN 2/0 (APPROX 200 AMPS) CAN BE USED FOR THE INDIVIDUAL SERVICE. 10. OWNER MAY CHANGE EQUIPMENT MANUFACTURER BUT SHALL KEEP MINIMUM SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- 11. CONTRACTOR TO CONTACT UNDERSIGNED ENGINEER WITH ANY DESIGN PLAN CHANGES.

# MEP GENERAL NOTES



# TYPICAL LIGHT POLE AND BASE

# SITE PHOTOMETRIC NOTES

1. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL CONDITIONS AND IS ALSO RESPONSIBLE FOR REPORTING ANY CONFLICTS TO THE ENGINEER PRIOR TO THE START OF WORK.

2. THE PHOTOMETRIC ZONE IS CALCULATED AT 3 FEET ABOVE FINISH GRADE LEVEL AND SPACED EVERY 10FTx10FT

3. THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER, THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. VISUAL LIGHTING SOFTWARE WAS USED TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR CONTRIBUTION FROM OTHER (NEW/EXISTING) LIGHT SOURCES IN ADJACENT PROPERTIES.

1. ALL CONSTRUCTION TO CONFORM TO INTERNATIONAL, STATE AND LOCAL CODES AND ORDINANCES CURRENTLY ADOPTED BY THE AUTHORITY HAVING JURISDICTION (AHJ). CONTRACTORS TO CONFIRM ALL SPECIFICATIONS HEREIN WITH ACTUAL EQUIPMENT IN FIELD PRIOR TO INSTALLATION.

REVIEW PLAN SHEET "MEP0 - MEP NOTES" PRIOR TO PERMITTING, BIDDING AND CONSTRUCTION.

4. THE INTENT OF THE DRAWINGS HEREIN IS TO REPRESENT A COMPLETE WORKING SYSTEM. ALL BIDDERS SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL COMPONENTS NECESSARY TO PROVIDE A COMPLETE WORKING SYSTEM WHETHER SHOWN OR NOT SHOWN ON THE DRAWINGS.

SEE CIVIL AND ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL FIXTURES AND STRUCTURES.

SEE ARCHITECTURAL FINISH OUT SCHEDULES FOR SPECIFIC MODELS, COLORS AND DESIGN NOT DEFINED HEREIN.

WITH OWNER APPROVAL, CONTRACTOR MAY CHANGE SPECIFIED EQUIPMENT BUT SHALL KEEP MINIMUM UNIT SPECIFICATIONS. CONTRACTOR TO CONTACT AME ENGINEERING, INC. AT 817-653-4122 PRIOR TO ANY SIGNIFICANT DESIGN REVISIONS.

DETAILS LABELED "TYPICAL" ON THE DRAWINGS SHALL APPLY TO ALL SITUATION OCCURRING ON THE PROJECT THAT ARE OR SIMILAR TO THOSE SPECIFICALLY DETAILED. THE APPLICABILITY OF THE DETAIL TO ITS LOCATION ON THE DRAWINGS CAN BE DETERMINED BY THE TITLE OF DETAIL. SUCH DETAILS SHALL APPLY WHETHER OR NOT THEY ARE

REFERENCED AT EACH LOCATION. QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS SHALL BE DETERMINED BY THE ENGINEER OF RECORD.



OWNER REVIEW: 01-18-2018	
ISSUE: OWN	
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# **RANCH TRAIL**

ROCKWALL, TX 75087 LEGAL DESCRIPTION AND OR ADDRESS:

## **RAINBOW ACRES**, LOT 18 & S PT OF 19, **9.76 ACRES**

OWNER

JT Alliance, Inc. 16 Meadowlake Drive Heath, TX 75032

APPLICANT

Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085

Email: jc@carrollarch.com CASE NUMBER 2018XXX



DATE:		SHEET NO:	
	JAN 2019		
PROJECT NO:			
	2019001		
DRAWN BY:			
CHECKED BY:			