

AGENDA
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
November 26, 2019
6:00 P.M.

CALL TO ORDER

OPEN FORUM

APPOINTMENTS

1. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

CONSENT AGENDA

2. Approval of Minutes for the November 12, 2019 Planning and Zoning Commission meeting.
3. **P2019-044 (David)**
Consider a request by Arlyn Samuelson of Westwood Professional Services on behalf of Carolina Molina of SPR Packaging for the approval of Lot 3, Block A, SPR Packaging Addition being a replat of a 10.189-acre parcel of land identified as Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1480 Justin Road, and take any action necessary.
4. **P2019-047 (David)**
Consider a request by Matt Lucas, PE of Kimley Horn on behalf of Kevin J. Lloyd of 2424 MTA Realty, LLC for the approval of Lots 1, 2, & 3, Block A, MTA Andrews Addition being a final plat of a 9.6990-acre tract of land identified as Tract 15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard, addressed as 2424 Ridge Road, and take any action necessary.

ACTION ITEMS

5. **MIS2019-015 (David)**
Discuss and consider a request by Michael Guerrero of Atticus Harbor Village, LLC for the approval of an alternative tree mitigation plan for a 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Interior Subdistrict, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

DISCUSSION ITEMS

6. **Z2019-025 (Korey)**
Hold a public hearing to discuss and consider a request for the approval of a text amendment to the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code [Ordinance No. 04-38] for the purpose of allowing the *Rental, Sales, and Service of Heavy Machinery and Equipment* land use by Specific Use Permit (SUP) in the Commercial (C) District, and take any action necessary.
7. **P2019-043 (David)**
Discuss and consider a request by Pat Atkins of KPA Consulting, Inc. on behalf of the owners Jeff Kennemer and Robert Witte of Saddle Star South Holdings, LLC, William Thrailkill of CDT Rockwall/2017 LLC, and Gwendolyn Reed for the approval of a master plat/open space plan for the Saddle Star South Subdivision containing 176 single-family residential lots on a 70.408-acre tract of land identified as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King

Boulevard east of the intersection of Featherstone Drive John King Boulevard, and take any action necessary.

8. P2019-045 (David)

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Phase 10, LTD for the approval of a final plat for Stone Creek, Phase X containing 118 single-family residential lots on a 36.428-acre tract of land identified as a portion of Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for Single Family-10 (SF-10) District land uses, located at the southwest corner of John King Boulevard and Featherstone Drive, and take any action necessary.

9. P2019-046 (Korey)

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Phase 11, LTD for the approval of a preliminary plat for the Breezy Hill, Phase XI containing 78 single-family lots on a 23.849-acre tract of land identified as a portion of Tract 7 and all of Tract 7-06 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses, generally located adjacent to Breezy Hill Road north of the intersection of Breezy Hill Road and FM-552, and take any action necessary.

10. SP2019-043 (Korey)

Discuss and consider a request by Clay Cristy of ClayMoore Engineering, Inc. on behalf of Brian Berry of Milestone Electric, Inc. for the approval of an amended site plan for a multi-tenant office complex on a 9.52-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail, and take any action necessary.

11. SP2019-044 (Korey)

Discuss and consider a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres] , City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street, and take any action necessary.

12. SP2019-045 (David)

Discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Alton Frazier of Channell Commercial Corporation for the approval of an amended site plan for an existing industrial building on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

13. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).

- ✓ P2019-040: Lots 1 & 2, Block A, Haley & Kyle Addition [Approved]
- ✓ MIS2019-014: Water/Wastewater Master Plans [Approved]

ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (*Consultation with City Attorney*) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 22nd day of November 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
November 26, 2019
5:00 PM

CALL TO ORDER

OPEN FORUM

ACTION ITEMS

1. SP2019-043 (Korey)

Discuss and consider a request by Clay Cristy of ClayMoore Engineering, Inc. on behalf of Brian Berry of Milestone Electric, Inc. for the approval of an amended site plan for a multi-tenant office complex on a 9.52-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail, and take any action necessary.

2. SP2019-044 (Korey)

Discuss and consider a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres] , City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street, and take any action necessary.

ADJOURNMENT

The City of Rockwall Architecture Review Board (ARB) reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (*Consultation with City Attorney*) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 22nd day of November 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
November 12, 2019
6:00 P.M.

I. CALL TO ORDER

Chairman Eric Chodun called the meeting to order at 6:01 p.m. The Commissioners present at the meeting were, Tracey Logan, Mark Moeller, John Womble, and Sedric Thomas. Absent from the meeting were Commissioners Annie Fishman and Jerry Welch. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Senior Planner, Korey Brooks, Planning Coordinator, Laura Morales, City Engineer, Amy Williams, Civil Engineers Jeremy White and Sarah Hager.

II. OPEN FORUM

Chairman Chodun explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward to speak Chairman Chodun closed the open forum.

III. APPOINTMENTS

1. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Architectural Review representative gave a brief explanation concerning agenda items that were discussed at the Architectural Review Board meeting.

IV. CONSENT AGENDA

2. Approval of Minutes for the October 8, 2019 Planning and Zoning Commission meeting.
3. Approval of Minutes for the October 29, 2019 Planning and Zoning Commission meeting.

4. **P2019-040**

Discuss and consider a request by Perry Bowen on behalf of Kyle Bryan and Haley Brook Bowen for the approval of a replat for Lots 1 & 2, Block A, Haley & Kyle Addition being a 0.97-acre parcel of land currently identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, being zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary.

5. SP2019-041

Discuss and consider a request by LeeAnn Latimer on behalf of Dr. Steve Arze of Zaph & Ath Properties, LLC for the approval of a site plan for a medical office building on a 1.36-acre tract of land identified as Lot 2, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located north of the intersection of Industrial Boulevard and Airport Road, and take any action necessary.

Commissioner Moeller made a motion to approve the consent agenda. Commissioner Womble seconded the motion which passed by a vote of 5-0 with Commissioners Fishman and Welch absent.

V. PUBLIC HEARING ITEMS

6. MIS2019-014

Hold a public hearing to discuss and consider an amendment to the OURHometown Vision 2040 Comprehensive Plan for the purpose of updating the water and wastewater master plans, and take any action necessary.

64 Planning Director, Ryan Miller, provided a brief explanation of the request. Recently, the City's
65 consultant finished revising the water and wastewater master plans. These plans were
66 incorporated into the OURHometown Vision 2040 Comprehensive Plan on December 3, 2018 by
67 Ordinance No. 18-48 and as a result of their incorporation, staff is bringing forward an amendment
68 to the Comprehensive Plan to incorporate the revisions identified by the City's consultants.
69 According to the Texas Local Government Code, a comprehensive plan may be adopted or
70 amended by ordinance following: (1) A hearing at which the public is given the opportunity to give
71 testimony and present written evidence; and (2) Review by the municipality's planning commission
72 or department, if one exists. Additionally, Section 9.03 of the City's Home Rule Charter states that
73 "(r)ecommended changes to the Master Plan shall be submitted to the City Manager after the
74 Planning and Zoning Commission holds at least one public hearing on the proposed change.
75 Furthermore, Section 9.04 states that the City Manager shall submit the proposed changes to the
76 Council, together with any recommendations. The Council, after a public hearing, shall adopt or
77 reject such proposed revision or any part thereof as submitted within sixty days following its
78 submission by the City Manager. If the proposed revision or part thereof should be rejected by
79 the Council, the Planning and Zoning Commission may make modifications and again forward it
80 to the City Manager for submission to the Council.

81
82 Mr. Miller advised the Commission that staff was available for questions.

83
84 Chairman Chodun opened up the public hearing and asked if anyone wished to speak to come
85 forward and do so.

86
87 Richard Marks
88 204 W. Boydston
89 Rockwall, TX
90

91 Mr. Marks came forward and asked if the proposal is related to the project to widen W. Boydston
92 Street. Mr. Miller indicated it is not a part of any sidewalk, street or water projects it is for
93 underground for what is needed for future development.

94
95 Chairman Chodun asked if anyone else wished to speak to come forward and do so, there being
96 no one indicating such; Chairman Chodun closed the public hearing and brought the item back to
97 the Commission for discussion or action.
98

99 Commissioner Womble made a motion to approve MIS2019-014. Commissioner Thomas seconded
100 the item which passed by a vote of 5-0 with Commissioners Fishman and Welch absent.

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102
103 VI. ACTION ITEMS

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105 7. SP2019-037

106 Discuss and consider a request by Anna C. Blackwell of Carrillo Engineering, LLC on behalf of Eddie
107 Martin of Retail Partners, LLC for the approval of a site plan for a strip retail center on a 1.1755-acre
108 parcel of land identified as Lot 26 of the Lake Ridge Estates Addition, City of Rockwall, Rockwall County,
109 Texas, situated within the *Ridge Road Retail Subdistrict* of Planned Development District 32 (PD-32),
110 located within the Scenic Overlay (SOV) District, addressed as 2930 Ridge Road [FM-740], and take any
111 action necessary.
112

113 Planning Manager, David Gonzales, provided a brief explanation of the request. The applicant is
114 requesting the approval of a site plan for the purpose of constructing a 7,000 square foot multi-
115 tenant commercial/retail building. According to Planned Development District 32 the subject
116 property is located within the Ridge Road Retail Subdistrict, which allows general retail land uses
117 by-right. The intent of this Ridge Road Retail Subdistrict is to provide retail or restaurant land
118 uses with Ridge Road frontage. The proposed development will construct a single-story retail
119 facility totaling 7,000 square feet. The development will provide 33 surface parking spaces that
120 can be accessed from Ridge Road and Glen Hill Way. The proposed sidewalks which located on
121 both sides of Glen Hill Way will incorporate streetscape elements required by PD-32 and provide
122 decorative trees and pedestrian scaled lighting features. The sidewalks are intended to provide
123 access to the Harbor District and the associated amenities within PD-32. With the exception of
124 the variances being requested, the submitted site plan, landscape plan, photometric plan, and
125 building elevations, generally conform to the technical requirements contained within PD-32 the

126 Scenic Overlay District, and the Unified Development Code. Since the subject property is adjacent
127 to Ridge Road, the Scenic Overlay District would be considered the regulating ordinance with
128 regard to the design of the subject property.
129

130 Mr. Gonzales further noted that according to the Tree Preservation Plan provided by the applicant,
131 a total of 557-inches of trees will be removed from the site, while a total of 105-inches of trees will
132 be preserved. Additionally, the applicant has indicated that nine trees greater than 25-inch caliper
133 will be removed and these nine trees are considered to be Feature Trees, which require
134 replacement at double the caliper inch being removed. The Tree Preservation Plan shows that 105-
135 inches of trees will be preserved on-site, which entitles the applicant to a total Tree Preservation
136 Credit of 21-inches which means that taking into account the proposed Landscape Plan which
137 shows that 156-inches of additional trees will be added to the site and a Tree Preservation Credit
138 of 21-inches the applicant's total mitigation balance would be 491-inches and this balance will
139 need to be satisfied prior to the submission of a final plat. With regard to the land use, a retail
140 facility is permitted by-right in Planned Development District 32.
141

142 Mr. Gonzales went over the variances and exceptions being requested by the applicant to the
143 primary materials and the dumpster enclosure. According to the Unified Development Code a
144 minimum of 20% natural or quarried stone is required on all building facades. In this case, the
145 applicant's proposed building elevations do not incorporate stone on the front (east = 0.0%) and
146 side (south = 5.76%) facing facades. Since the building design does not meet the standard for the
147 east and south facing façades a variance to the stone requirements is required to be approved by
148 the Planning and Zoning Commission pending a recommendation from the Architectural Review
149 Board. In regards to the dumpster enclosure according to the Unified Development Code these
150 enclosures need to be located to the side or rear of the primary building, and not front on to a
151 public right-of-way and every effort should be made to reduce the visibility of these structures
152 utilizing landscaping and/or the building. In this case, the applicant has stated that due to site
153 constraints, they are unable to orient the dumpster in a way that both complies with the ordinance
154 and allows the necessary maneuverability needed by the waste management truck. As a result,
155 the applicant has oriented the dumpster at the rear of the building, but facing onto the public right-
156 of-way of Glen Hill Road and as a compensatory measure the applicant has increased the
157 landscape screening around the dumpster. According to the Unified Development Code, unless
158 otherwise specified by the Unified Development Code, an applicant may request the Planning and
159 Zoning Commission grant a variance to the provisions contained in the UDC, where unique or
160 extraordinary conditions exist or where strict adherence to the technical requirements of this
161 section would create an undue hardship. In cases where a variance or variances is/are being
162 requested, the applicant shall provide compensatory measures that directly offset the requested
163 exception." In this case, the applicant has provided a letter explaining the requested variances
164 and proposing to construct the entire roadway for Glen Hill Way. Staff should point out that the
165 applicant would be required to dedicated the right-of-way for Glen Hill Way based on a
166 proportionality study prepared by staff for the current owner; however, that proportionality study
167 did not require the applicant to build the roadway. Based on the cost of construction of that
168 roadway, this proposal does appear to be a sufficient compensatory measure for the requested
169 variances; however, this request does remain a discretionary decision for the Planning and Zoning
170 Commission and will require approval by a super majority vote, with a minimum of four votes in
171 the affirmative required for approval. In the event that the exception is denied, the applicant has
172 the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing
173 a written request with the Planning and Zoning Department. Mr. Gonzales indicated that the
174 Architectural Review Board reviewed the request and forwarded a recommendation for approval.
175

176 Mr. Gonzales advised the Commission that the applicant was present and available for questions
177 as well as staff.
178

179 Commissioner Chodun asked for additional information in regards to the PD-32 requirements.
180

181 Chairman Chodun asked the applicant to come forward.
182

183 Anna Blackwell
184 301 Commerce Street
185 Fort Worth, TX
186

187 Ms. Blackwell came forward and provided addition comments in regards to the request. She
188 indicated she was available for questions.

189
190 Chairman Chodun brought the item back to the Commission for discussion or action.

191
192 Commissioner Thomas made a motion to approve SP2019-037 with staff recommendations as well
193 as the Architectural Review Board's recommendation. Commissioner Moeller seconded the
194 motion which passed by a vote of 5-0 with Commissioners Fishman and Welch absent.

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196
197 8. SP2019-040

198 Discuss and consider a request by Matthew Gardner and Halff Associates on behalf of Reid Caldwell of
199 Rockwall Urban Industrial, LP for the approval of a site plan for a multi-tenant industrial building on a 7.02-
200 acre parcel of land identified as Lot 1, Block D, Ellis Center Phase 2 Addition, City of Rockwall, Rockwall
201 County, Texas, zoned Light Industrial (LI) District, situated at the terminus of Alpha Drive, and take any
202 action necessary.

203
204 Planning Manager, David Gonzales, provided a brief explanation of the request. The applicant I is
205 requesting approval of a site plan for the purpose of developing a multi-tenant industrial site
206 consisting of three separate buildings that will be approximately 87,600 square feet. The proposed
207 development is subject to the land use, density and dimensional requirements of the Light
208 Industrial District as stipulated by the Unified Development Code. According to the Unified
209 Development Code, light manufacturing/multi-tenant warehouse facilities are permitted by-right
210 land uses in a Light Industrial District. The subject property proposes one point of ingress and
211 egress at the terminus of Alpha Drive. Other than the exceptions being requested, the submitted
212 site plan, landscape plan, treescape plan, photometric plan, and building elevations generally
213 conform to the technical requirements contained within the UDC for a property located within a
214 Light Industrial District. Additionally, according to the Unified Development Code, states that the
215 Light Industrial District is a zoning district intended to create a limited industrial zone that provides
216 for modern types of industrial land uses. The proposed multi-tenant light industrial complex are
217 a permitted land uses in the Light Industrial District and all operations will be indoors with no
218 outside storage of materials unless properly screened or buffered. According the Unified
219 Development Code, non-residential developments that have a side or rear contiguous to any
220 residential zoned or used property shall be screened with a masonry fence a minimum of six feet
221 in height with canopy trees planted on 20-foot centers. As an alternative, the Planning and Zoning
222 Commission may approve an alternative screening method that incorporates a wrought iron fence
223 and three tiered screening such as small to mid-sized shrubs, large shrubs or accent trees, and
224 canopy trees or evergreen trees and canopy trees along the entire length of the adjacency the
225 canopy trees shall be placed on 20-foot centers. In this case, the applicant is providing a three
226 tiered screening system along the entire western property boundary that is adjacent to the Herman
227 Uteley Middle School; however, RISD has an existing wrought-iron fence along this western
228 property boundary. Based on the existing fence on the RISD's property the applicant is not
229 proposing to incorporate an additional wrought iron fence. Staff made this suggestion to the
230 applicant to prevent the possibility of creating a strip of land in between the two fences that would
231 be hard for either property owner to maintain. The proposed landscape screening is a
232 discretionary approval for the Planning and Zoning Commission upon a determination that the
233 provided screening will achieve the intent of the screening ordinance. Mr. Gonzales then went
234 over the variances and exceptions the applicant is requesting and indicated the Architectural
235 Review Board made a recommendation of approval.

236
237 Chairman Chodun asked the applicant to come forward.

238
239 Matt Gardner
240 3618 Regent Street
241 Midlothian, TX

242
243 Mr. Gardner came forward and provided additional comments in regards to the request. He
244 indicated he was available for questions.

245
246 Commissioner Moeller made a motion to approve SP2019-040 with staff recommendations.
247 Commissioner Thomas seconded the motion which passed by a vote of 5-0 with Commissioners
248 Fishman and Welch absent.

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VII. DISCUSSION ITEMS

9. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced case at the City Council meeting.

VIII. ADJOURNMENT

Chairman Chodun adjourned the meeting at 6:39 p.m.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2019.

Eric Chodun, Chairman

Attest:

Laura Morales, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 26, 2019
APPLICANT: Arlyn Samuelson; *Westwood Professional Services*
CASE NUMBER: P2019-044; *Lot 3, Block A, SPR Packaging Addition*

SUMMARY

Consider a request by Arlyn Samuelson of Westwood Professional Services on behalf of Carolina Molina of SPR Packaging for the approval of Lot 3, Block A, SPR Packaging Addition being a replat of a 10.189-acre parcel of land identified as Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1480 Justin Road, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a replat for a 10.189-acre parcel of land [i.e. *Lot 3, Block A, SPR Packaging Addition*] that will abandon a portion of a 24-foot firelane, drainage, and utility easement and a water easement for the purpose of constructing an office addition to the existing office/warehouse/manufacturing facility. The *subject property* is zoned Light Industrial (LI) District and is addressed as 1480 Justin Road.
- On August 15, 2019, David A. Morales of Pross Design Group, Inc. on behalf of Carolina Molina of Alvaplast US (SPR Packaging) submitted a site plan [i.e. *Case No. SP2019-030*] proposing the construction of a ~22,564 SF, two (2) story office addition to the existing office/warehouse/manufacturing facility. Additionally, the site will incorporate a ~7,046 SF, one (1) story ink/locker room that is located on the south facing façade. On September 10, 2019, the Planning and Zoning Commission approved the site plan and all exceptions requested.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 3, Block A, SPR Packaging Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;

(2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number P2019-044	Owner SPR PACKAGING	Applied 11/15/2019 LM
Project Name Lot 2, Block A, SPR Packaging Addition	Applicant WESTWOOD PROFESSIONAL SERVICES	Approved
Type PLAT		Closed
Subtype REPLAT		Expired
Status Staff Review		Status

Site Address 1480 JUSTIN RD	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision SPR PACKAGING	Tract 1	Block A	Lot No 1	Parcel No 5045-000A-0001-00-OR	General Plan
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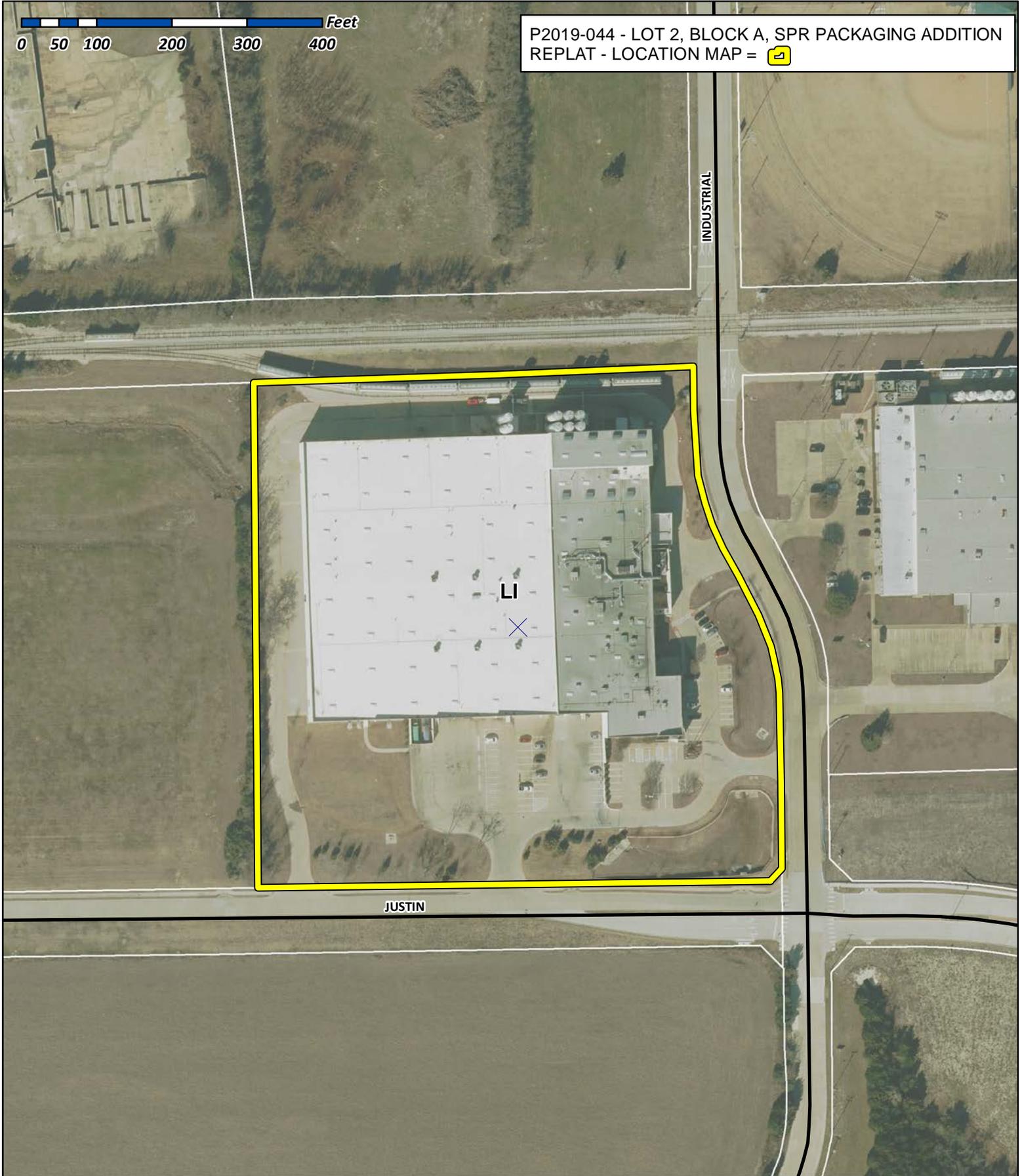
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	11/15/2019	11/22/2019				
ENGINEERING (11/22/2019 9:40 AM SJ) M - Must redefine the water line easement since the line is not in the easement. Standards of Design 5.1.3 M - Add note, "3. Property owner shall be responsible for all maintenance, repairs, and reconstruction of facilities in drainage and detention easements on-site."	Sarah Johnston	11/15/2019	11/22/2019	11/22/2019	7	COMMENTS	
FIRE	Ariana Hargrove	11/15/2019	11/22/2019	11/20/2019	5	APPROVED	
GIS	Lance Singleton	11/15/2019	11/22/2019	11/20/2019	5	APPROVED	
PLANNING	David Gonzales	11/15/2019	11/22/2019	11/20/2019	5	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(11/20/2019 12:05 PM DG)						
P2019-044: Replat – SPR Packaging Addition						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1						This is a request for the approval of a replat for Lot3, Block A, SPR Packaging Addition being a 10.189-acre parcel of land identified as Lot 2, Block A, SPR Packaging Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1480 Justin Road.
I.2						For questions or comments concerning this case, please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.
I.3						For reference, include the case number (P2019-044) in the lower right hand corner of all pages on future submittals
I.4						The final plat shall conform to all standards and requirements of Chapter38 of the Rockwall Code of Ordinances, the Unified Development Code (UDC), and staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document
I.5						Correct Title Block to read as follows: Final Plat SPR PACKAGING ADDITION Lot 3, Block A Being a replat of Lot 2, Block A, SPR Packaging Addition, Being 10.189-Acres and being an addition to the City of Rockwall, Texas And being out of the N. Butler Survey, Abstract No. 20 and R. Ballard Survey, Abstract No. 29 City of Rockwall, Rockwall County, Texas
I.6						Correct the Lot number on the plat to “Lot 3”. Additionally, change the lot number to “Lot 3” where Lot 2R may appear (i.e. Certificate of Approval, Owners Certificate, Title Block, etc.) on the plat.
M.7						Refer to the standard City Signature Block for wording of the City Council approval as found in the application package and provide in its entirety as applicable (Section 38-10, of Chapter 38, of the Municipal Code of Ordinances)
I.8						Provide a center line for the right-of-way for Industrial Blvd
I.9						Consider changing all year dates on page 2 of the plat to a blank line to fill in the year or 2020. This is for filing purposes as the plat may be filed in the year 2020.
M.10						Correct the Owner’s Certification by including statement number 7 as found on the application package, which reads as follows: 7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements (Section 38-10, of Chapter 38, of the Municipal Code of Ordinances)
I.11						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 3, 2019; however, it is encouraged for the applicants to submit revisions as

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
soon as possible to give staff ample time to review the case for compliance	Please provide one (1) large copy [18" X 24" FOLDED] and one PDF version for a final review by staff.					
I.12	The Planning and Zoning meeting will be held on November 26, 2019. This case will be on the Consent Agenda.					
I.13	The City Council meeting will be held on December 2, 2019. This case will be on the Consent Agenda.					
I.14	Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing					
I.15	Staff recommends that a representative be present for the meetings as scheduled above. The meetings will be held in the City's Council Chambers and begin at 6:00 p.m.					

0 50 100 200 300 400 Feet

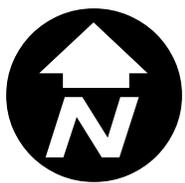
P2019-044 - LOT 2, BLOCK A, SPR PACKAGING ADDITION
REPLAT - LOCATION MAP = 

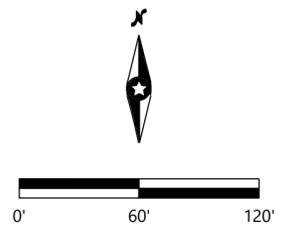
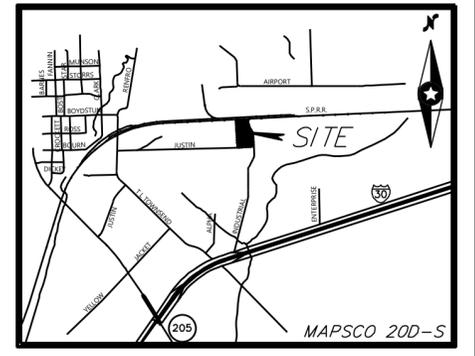
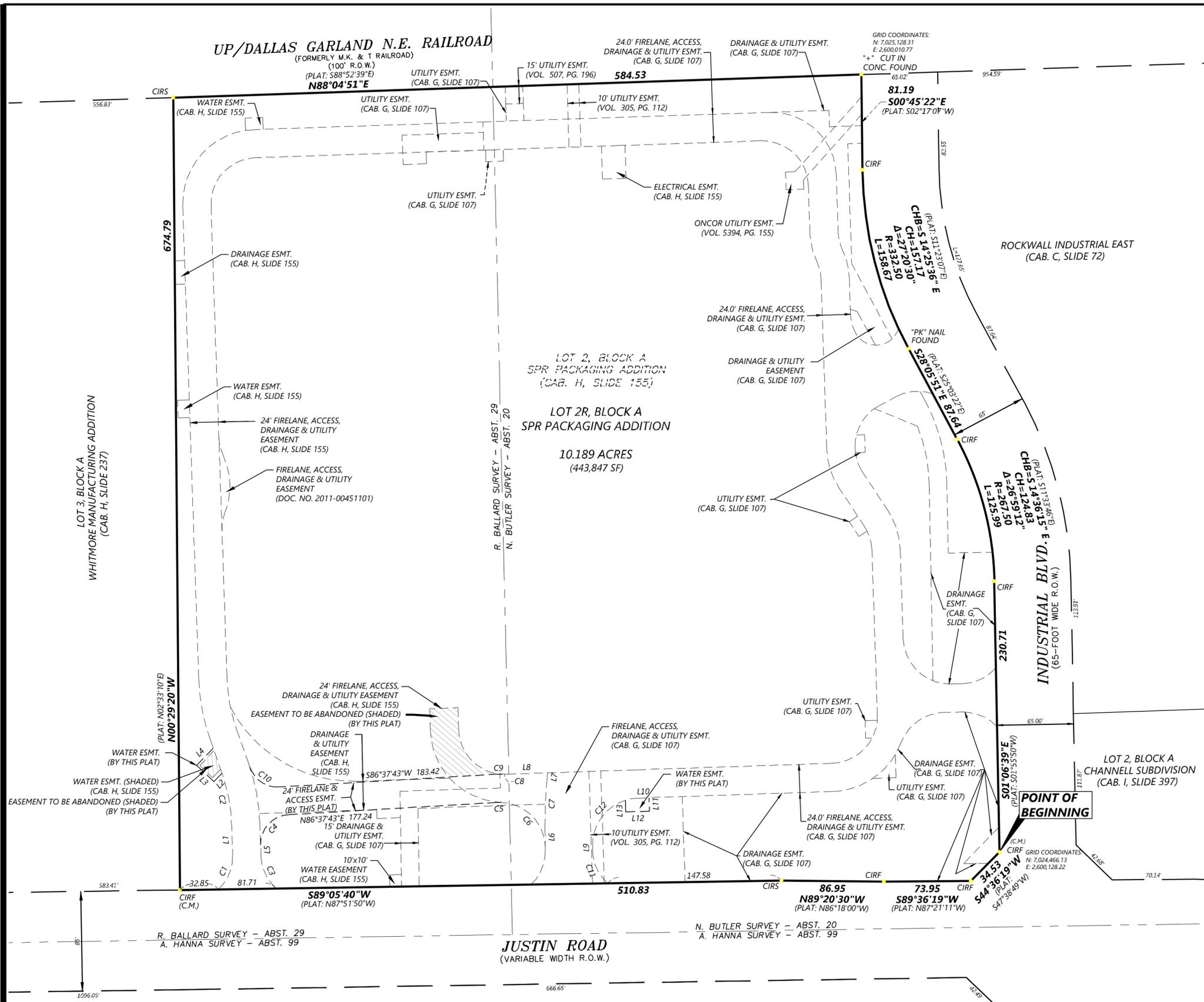


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

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- GENERAL NOTES:
1. THE BEARINGS SHOWN HEREON ARE ORIENTED TO GRID NORTH, TEXAS STATE PLANE COORDINATE SYSTEM, NAD83 TEXAS NORTH CENTRAL ZONE (4202) (2011).
 2. COORDINATES SHOWN ARE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES, NO SCALE AND NO PROJECTION.

Line Table		
Line #	Length	Direction
L1	25.86	N01°55'54"W
L2	10.00	S43°34'53"W
L3	20.00	N46°25'07"W
L4	20.20	N43°34'53"E
L5	8.25	N01°55'54"W
L6	17.68	N00°54'20"W
L7	5.92	N05°38'33"E
L8	35.33	S88°04'06"W
L9	3.16	N00°54'20"W
L10	9.37	N88°04'51"E
L11	11.44	S01°55'09"E
L12	20.00	S88°04'51"W
L13	10.00	N01°55'09"W

Curve Table			
Curve #	Length	Radius	Delta
C1	32.21	40.00	046°07'59"
C2	45.20	150.00	017°16'00"
C3	32.43	40.00	046°26'53"
C4	38.64	25.00	088°33'38"
C5	3.95	39.00	005°48'12"
C6	58.99	39.00	086°39'42"
C7	40.00	350.00	006°32'53"
C8	2.97	39.00	004°21'54"
C9	6.38	63.00	005°48'12"
C10	32.77	25.00	075°06'01"
C11	32.44	40.00	046°28'08"
C12	62.12	40.00	088°59'11"

LEGEND

○	PROPERTY CORNER
CIRS	5/8" IRON ROD "WESTWOOD PS" CAP SET
CIRF	5/8" IRON ROD "POGUE ENG & DEV" CAP SET
FIR	FOUND IRON ROD
(CM)	CONTROLLING MONUMENT
ESMT.	EASEMENT
VOL. PG.	VOLUME, PAGE
CAB.	CABINET
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT-OF-WAY
ABST.	ABSTRACT

OWNER
FLEXLAND, L.P.
 1480 JUSTIN ROAD,
 ROCKWALL, TEXAS 75087
 (469) 252-1070

Westwood
 Phone (214) 473-4640 2740 Dallas Parkway, Suite 280
 Toll Free (888) 937-5150 Plano, TX 75093
 westwoodps.com
 Westwood Professional Services, Inc.
 TBPB FIRM REGISTRATION NO. F-11756
 TBPB FIRM REGISTRATION NO. 10074301

REPLAT
LOT 2R, BLOCK A
SPR PACKAGING ADDITION
 BEING A REPLAT OF LOT 2, BLOCK A, SPR PACKAGING
 ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
 AND BEING OUT OF THE N. BUTLER SURVEY, ABSTRACT NO. 20
 AND R. BALLARD SURVEY, ABSTRACT NO. 29
 ROCKWALL COUNTY, TEXAS

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Flexland, L.P. is the owner of a 10.189 acre tract of land situated in the N. Butler Survey, Abstract No. 20 and the R. Ballard Survey, Abstract No. 29, Rockwall County, Texas; said tract being all of Lot 2, Block A, SPR Packaging Addition, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet H, Slide 155 of the Plat Records of Rockwall County, Texas; said 10.189 acre tract being more particularly described as follows:

BEGINNING, at a 5/8-inch iron rod with "Pogue Eng & Dev" cap found for corner at the north end of a right-of-way corner clip at the intersection of the northerly right-of-way line of Justin Road (a variable width right-of-way) and the westerly right-of-way line of Industrial Boulevard (a 65-foot right-of-way);

THENCE, South 44 degrees, 36 minutes, 19 seconds West, along the said right-of-way corner clip, a distance of 34.53 feet to a 5/8-inch iron rod with "Pogue Eng & Dev" cap found for corner in the said northerly line of Justin Road; said point also being at the south end of said corner clip;

THENCE, along the said northerly line of Justin Road, the following three (3) calls:

South 89 degrees, 36 minutes, 19 seconds West, a distance of 73.95 feet to a 5/8-inch iron rod with "Pogue Eng & Dev" cap found at an angle point;

North 89 degrees, 20 minutes, 30 seconds West, a distance of 86.95 feet to a 5/8-inch iron rod with "WESTWOOD PS" cap set at an angle point;

South 89 degrees, 05 minutes, 40 seconds West, a distance of 510.83 feet to a 5/8-inch iron rod with "Pogue Eng & Dev" cap found at the southwest corner of said Lot 2, Block A; said point also being the southeast corner of Lot 3, Block A, Whitmore Manufacturing Addition, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet H, Slide 237 of the said Plat Records;

THENCE, North 00 degrees, 29 minutes, 20 seconds West, departing the said northerly line of Justin Road and along the west line of said Lot 2, Block A and the east line of the said Lot 3, Block A, a distance of 674.79 feet to a 5/8-inch iron rod with "WESTWOOD PS" cap set in the southerly right-of-way line of UP/Dallas Garland N.E. Rail Road (a 100-foot wide right-of-way); said point being the northwest corner of said Lot 2, Block A and also being the northeast corner of said Lot 3, Block A;

THENCE, North 88 degrees, 04 minutes, 51 seconds East, departing the said west line of Lot 2, Block A and the said east line of Lot 3, Block A and along the north line of said Lot 2, Block A and the said southerly line of UP/Dallas Garland N.E. Rail Road, a distance of 584.53 feet to a "+" cut in concrete found at the intersection of said southerly line of UP/Dallas Garland N.E. Rail Road and the said westerly line of Industrial Boulevard; said point being the northeast corner of said Lot 2, Block A;

THENCE, departing the said north line of Lot 2, Block A and the said southerly line of UP/Dallas Garland N.E. Rail Road and along the said westerly line of Industrial Boulevard, the following five (5) calls:

South 00 degrees, 45 minutes, 22 seconds East, a distance of 81.19 feet to a 5/8-inch iron rod with "Pogue Eng & Dev" cap found at the beginning of a tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 27 degrees, 20 minutes, 30 seconds, a radius of 332.50 feet, a chord bearing and distance of South 14 degrees, 25 minutes, 36 seconds East, 157.17 feet, an arc distance of 158.67 feet to a "PK" nail found at the end of said curve;

South 28 degrees, 05 minutes, 51 seconds East, a distance of 87.64 feet to a 5/8-inch iron rod with "Pogue Eng & Dev" cap found at the beginning of a tangent curve to the right;

In a southeasterly direction, along said curve to the right, having a central angle of 26 degrees, 59 minutes, 12 seconds, a radius of 267.50 feet, a chord bearing and distance of South 14 degrees, 36 minutes, 15 seconds East, 124.83 feet, an arc distance of 125.99 feet to a 5/8-inch iron rod with "Pogue Eng & Dev" cap found at the end of said curve;

South 01 degrees, 06 minutes, 39 seconds East, a distance of 230.71 feet to the POINT OF BEGINNING;

CONTAINING, 443,847 square feet or 10.189 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as the **SPR PACKAGING ADDITION, LOT 2R, BLOCK A**, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the SPR PACKAGING ADDITION have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; Our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

NAME

TITLE:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____day of _____, 2019.

Notary Public in and for the State of Texas
My Commission Expires:_____

Signature of Party with Mortgage or Lien Interest

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____day of _____, 2019.

Notary Public in and for the State of Texas
My Commission Expires:_____

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2011.

WITNESS OUR HANDS, this ____ day of _____ 2019.

Mayor, City of Rockwall

City Secretary City of Rockwall

City of Rockwall Engineer

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Roman L. Groysman, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY PLAT
NOT FOR RECORDING

Roman L. Groysman
Registered Professional Land Surveyor
No. 5864

OWNER
FLEXLAND, L.P.
1480 JUSTIN ROAD,
ROCKWALL, TEXAS 75087
(469) 252-1070

Westwood

Phone (214) 473-4640 2740 Dallas Parkway, Suite 280
Toll Free (888) 937-5150 Plano, TX 75093
westwoodps.com

Westwood Professional Services, Inc.
TBPB FIRM REGISTRATION NO. F-11756
TBPB FIRM REGISTRATION NO. 10074301

REPLAT
LOT 2R, BLOCK A
SPR PACKAGING ADDITION
BEING A REPLAT OF LOT 2, BLOCK A, SPR PACKAGING
ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS
AND BEING OUT OF THE N. BUTLER SURVEY, ABSTRACT NO. 20
AND R. BALLARD SURVEY, ABSTRACT NO. 29
ROCKWALL COUNTY, TEXAS

OCTOBER 28, 2019 JOB No. 0014830.20 SPR PACKAGING ADDITION



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: November 26, 2019
APPLICANT: Matt Lucus, PE; *Kimley Horn*
CASE NUMBER: P2019-047; *Lots 1, 2, & 3, Block A, MTA Andrews Addition*

SUMMARY

Consider a request by Matt Lucas, PE of Kimley Horn on behalf of Kevin J. Lloyd of 2424 MTA Realty, LLC for the approval of Lots 1, 2, & 3, Block A, MTA Andrews Addition being a final plat of a 9.6990-acre tract of land identified as Tract 15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard, addressed as 2424 Ridge Road, and take any action necessary.

PLAT INFORMATION

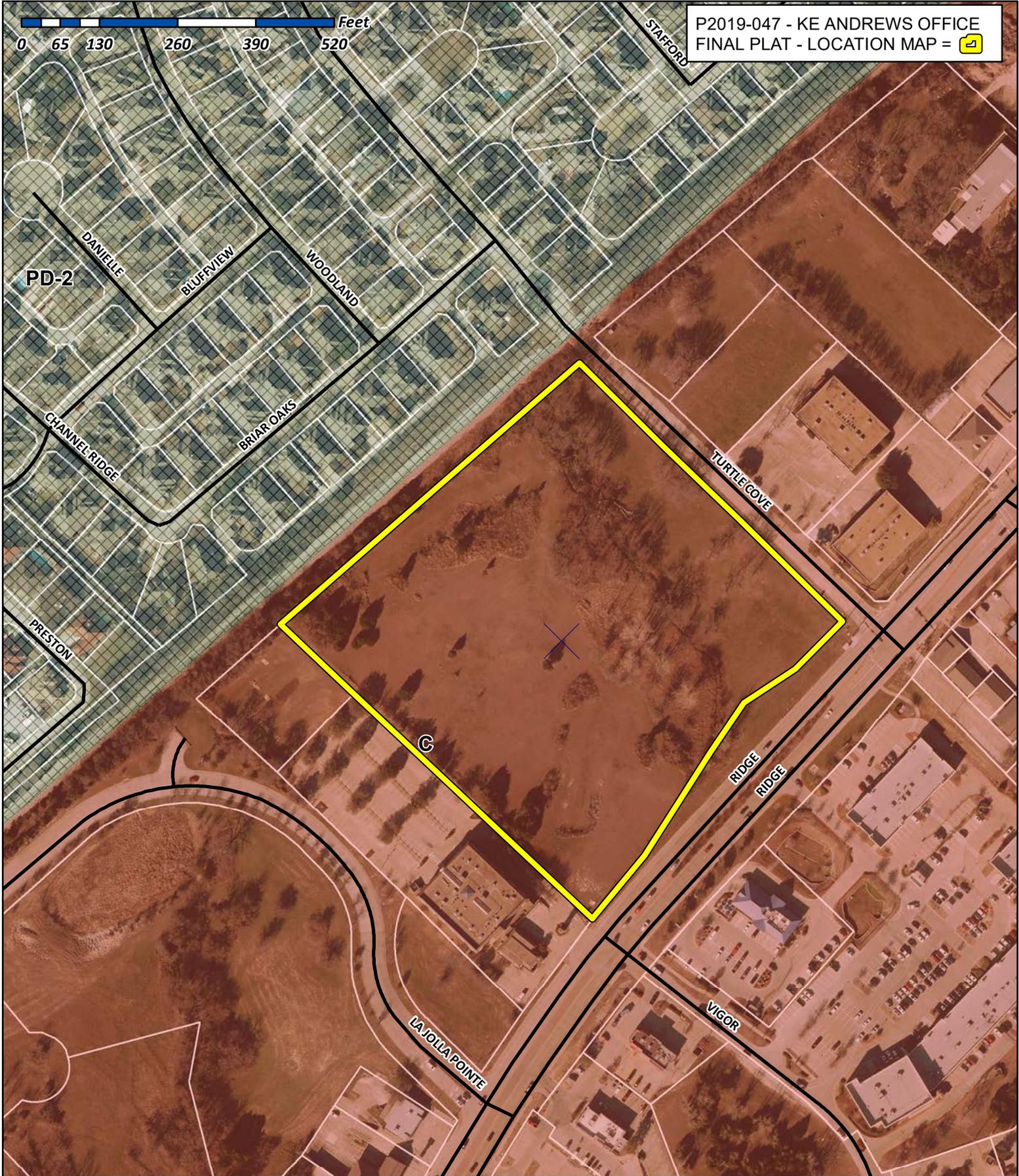
- The applicant is requesting the approval of a final plat for a 9.6990-acre tract of land [*i.e. Lots 1, 2, & 3, Block A, MTA Andrews Addition*] for the purpose of establishing firelane, public access, drainage, and utility easements for the purpose of constructing a four (4) story office complex. The *subject property* is zoned Commercial (C) District and is addressed as 2424 Ridge Road.
- On November 19, 2018, Andrew Bennett of BOKA, LLC submitted a request for a Specific Use Permit (SUP) [*i.e. Z2018-054*] to allow for a building to exceed 36-feet in height within the Scenic Overlay (SOV) District. On January 7, 2019, the City Council approved the Specific Use Permit (SUP) [*i.e. Ordinance No. 19-05, SUP No. S-203*].
- On June 14, 2019, Matt Lucas, PE of Kimley Horn on behalf of Kevin Lloyd of 2424 MTA Realty, LLC submitted a site plan [*i.e. Case No. SP2019-025*] proposing the construction of a four (4) story, 80,236 SF office complex. On September 10, 2019, the Planning and Zoning Commission approved the site plan and all exceptions requested. Additionally, the Planning and Zoning Commission included a condition that the outstanding tree mitigation balance had to be satisfied at the time of final plat. The applicant has provided an updated treescape and landscape plan that indicates the mitigation balance will be satisfied.
- The applicant is dedicating a 0.925-acre [*i.e. 40,299 SF*] portion as right-of-way for the purpose of constructing a two (2) lane roadway that will provide connection from Turtle Cove Boulevard to La Jolla Pointe Drive. The proposed roadway will be built to the *Minor Collector* specification; however, the paving width of this roadway will be reduced to a 37-foot back-to-back roadway. This will be done in conjunction with an existing facilities agreement that was approved by the City Council and signed by the adjacent property owner on June 22, 1994.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the final plat for *Lots 1, 2, & 3, Block A, MTA Andrews Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



P2019-047 - KE ANDREWS OFFICE
 FINAL PLAT - LOCATION MAP = [icon]



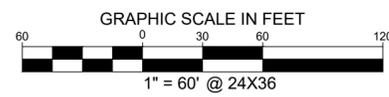
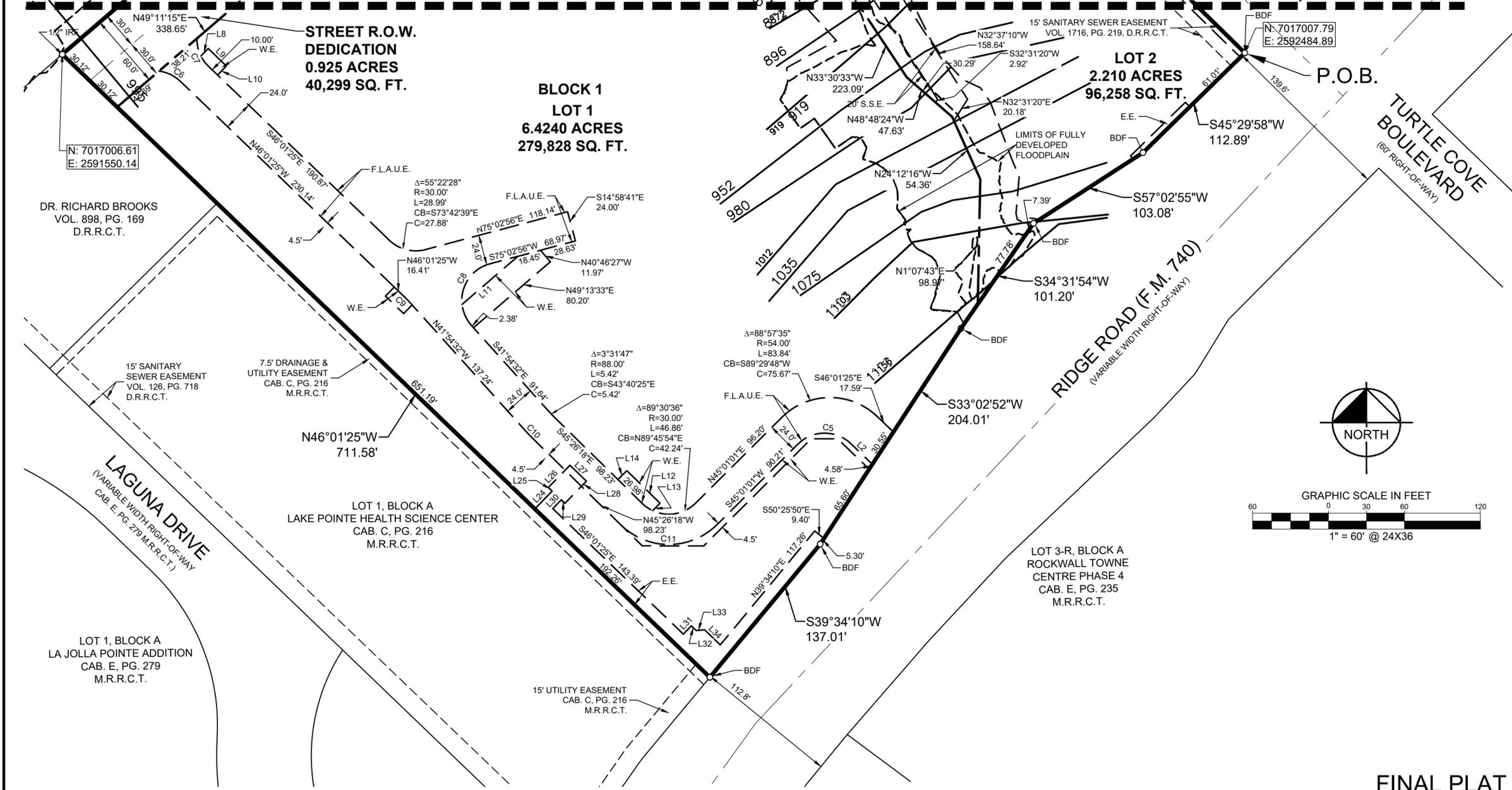
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
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MATCH LINE (SEE SHEET 2)



FINAL PLAT

MTA ANDREWS ADDITION
LOTS 1, 2 & 3, BLOCK 1

BEING 9.6990 ACRES SITUATED IN THE
 E.P. GAINS CHISM SURVEY
 ABSTRACT NO. 64
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LEGEND:

- P.O.B. = POINT OF BEGINNING
- IRSC = 5/8" IRON ROD W/ "KHA" CAP SET
- IRFC = IRON ROD W/CAP FOUND
- IRF = IRON ROD FOUND
- BDF = BRASS DISK FOUND
- D.R.R.C.T. = DEED RECORDS OF ROCKWALL COUNTY, TEXAS
- M.R.R.C.T. = MAP RECORDS, ROCKWALL COUNTY, TEXAS
- O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS
- D.E. = DRAINAGE EASEMENT
- E.E. = ELECTRIC EASEMENT
- F.L.A.U.E. = FIRE LANE, ACCESS AND UTILITY EASEMENT
- F.E.H.S. = FLOODPLAIN AND EROSION HAZARD SETBACK
- S.S.E. = SANITARY SEWER EASEMENT
- W.E. = WATER EASEMENT
- 500' = BASE FLOOD ELEVATION

OWNER/APPLICANT:

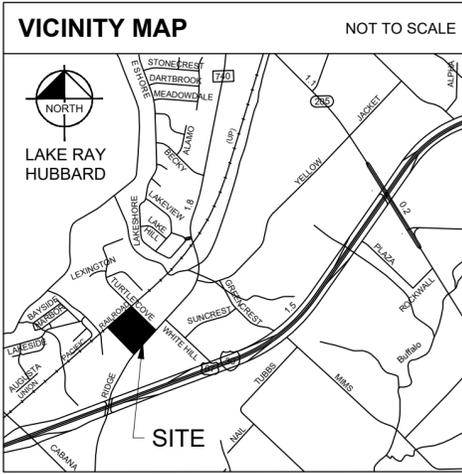
PHONE:
CONTACT:

ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC.
 13455 NOEL ROAD, TWO GALLERIA
 OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PHONE: 972-770-1300
 CONTACT:

NOTES:

1. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
2. Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983(2011).
3. The coordinates shown hereon are grid values of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983(2011).
4. The distances shown hereon are surface values. The combined scale factor for this plat is 0.999855936.
5. Property owner shall be responsible for all maintenance, repairs, and reconstruction of drainage and detention easements on site.

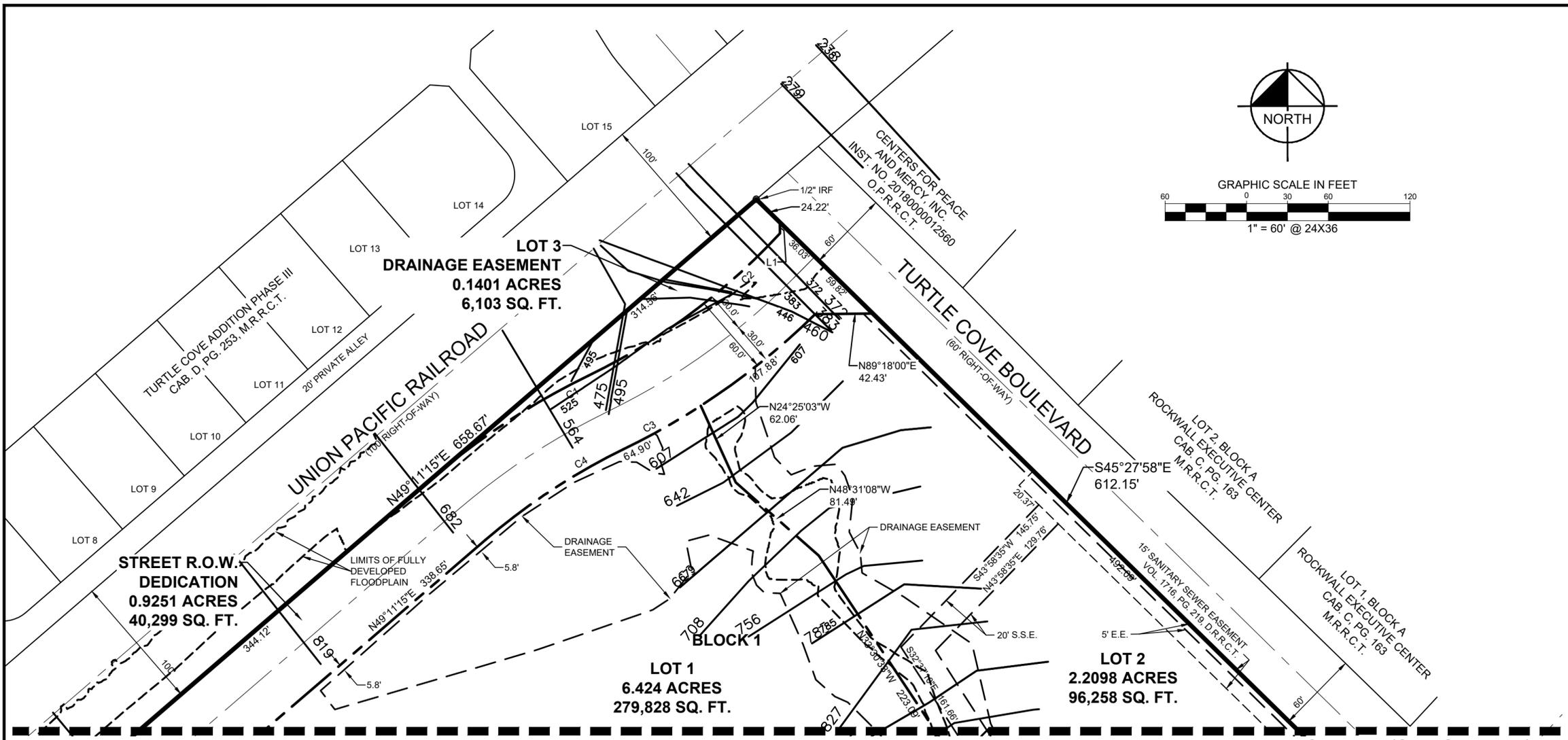
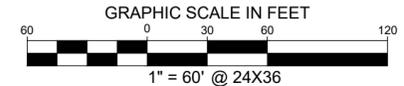
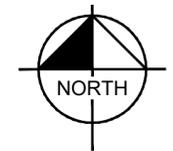


Kimley»Horn

13455 Noel Road, Two Galleria Office
 Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300
 Fax No. (972) 239-3820

Scale 1" = 60'	Drawn by SRD	Checked by MCB	Date AUG. 2019	Project No. 064539200	Sheet No. 1 OF 3
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BILLINGSLEY, MICHAEL 11/20/2019 10:13 AM LAST SAVED 11/20/2019 10:11 AM
 ROCKWALL_FF.DWG PLOTTED BY ROCKWALL_FF.DWG OFFICE - ROCKWALL, TEXAS



LINE TABLE		
NO.	BEARING	LENGTH
L1	N00°52'25\"W	8.05'
L2	N46°01'25\"W	23.49'
L8	S43°58'35\"W	8.28'
L9	N46°01'25\"W	20.00'
L10	N43°58'35\"E	10.00'
L11	S49°13'33\"W	58.32'
L12	N45°26'18\"W	36.85'
L13	N44°33'42\"E	8.29'
L14	S45°01'01\"W	10.00'
L24	N43°58'35\"E	19.49'
L25	N46°01'25\"W	4.08'
L26	N43°58'35\"E	24.50'
L27	S46°01'25\"E	18.08'
L28	S43°58'35\"W	24.50'
L29	N46°01'25\"W	4.00'
L30	S43°58'35\"W	9.65'
L31	N43°58'35\"E	9.18'
L32	S46°01'25\"E	5.41'
L33	N84°34'10\"E	6.58'
L34	S46°01'25\"E	17.29'

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	14°52'22\"	530.00'	137.58'	S56°37'26\"W	137.19'
C2	21°33'14\"	470.00'	176.81'	N53°17'00\"E	175.77'
C3	7°00'57\"	530.00'	64.90'	N60°33'09\"E	64.86'
C4	14°52'22\"	470.00'	122.00'	S56°37'26\"W	121.66'
C5	88°57'11\"	30.00'	46.58'	S89°30'00\"W	42.04'
C6	36°35'58\"	30.00'	19.16'	N64°19'23\"W	18.84'
C7	47°01'17\"	30.00'	24.62'	S22°30'46\"E	23.94'
C8	118°53'34\"	30.00'	62.25'	S17°30'08\"W	51.67'
C9	4°06'53\"	88.00'	6.32'	N43°57'58\"W	6.32'
C10	3°31'47\"	112.00'	6.90'	S43°40'25\"E	6.90'
C11	89°30'36\"	54.00'	84.37'	N89°46'33\"E	76.05'

NOTES:

- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983(2011).
- The coordinates shown hereon are grid values of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983(2011).
- The distances shown hereon are surface values. The combined scale factor for this plat is 0.999855936.
- Property owner shall be responsible for all maintenance, repairs, and reconstruction of drainage and detention easements on site.

FINAL PLAT

**MTA ANDREWS ADDITION
LOTS 1, 2 & 3, BLOCK 1**

BEING 9.6990 ACRES SITUATED IN THE
E.P. GAINS CHISM SURVEY
ABSTRACT NO. 64
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER/APPLICANT:

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA
OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: 972-770-1300
CONTACT:

PHONE:
CONTACT:

Kimley»Horn

13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3820

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	SRD	MCB	AUG. 2019	064539200	2 OF 3

DWG NAME: Z:\064539200-KE ANDREWS OFFICE - ROCKWALL.DWG PLOTTED BY: BILLINGSLEY, MICHAEL 1/20/2019 10:14 AM LAST SAVED: 1/20/2019 10:11 AM

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

**STATE OF TEXAS
COUNTY OF ROCKWALL**

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the **MTA Andrews Addition** to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the **MTA Andrews Addition** have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

By: 2424 MTA Realty, LLC

By: MTA, LLC, its Sole Manager

By: _____
Mark Andrews, its Sole Manager

**STATE OF TEXAS §
COUNTY OF _____ §**

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Mark Andrews, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____ 2019.

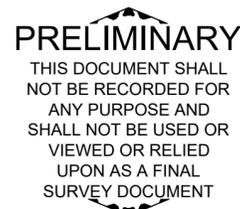
Notary Public in and for the State of Texas

SURVEYOR'S STATEMENT

I, Michael C. Billingsley, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying.

Dated this the _____ day of _____, 2019.

Michael C. Billingsley
Registered Professional Land Surveyor No. 6558
Kimley-Horn and Associates, Inc.
801 Cherry Street, Unit 11, Suite 1300
Fort Worth, Texas 76102
Ph. 817-770-6511
michael.billingsley@kimley-horn.com



**STATE OF TEXAS
COUNTY OF ROCKWALL**

WHEREAS, 2424 MTA REALTY, LLC, is the owner of a tract of land in situated in the E. P. Gains Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being all of a tract of land described in Special Warranty Deed to 2424 MTA Realty, LLC, recorded in Instrument No. 2019000003297, Official Public Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 5/8" iron rod with 3" brass disk found stamped "TxDOT RIGHT-OF-WAY" found (hereafter called brass disk found) at the intersection of the southwest right-of-way line of Turtle Cove Boulevard (a 60-foot wide right-of-way) and the northwest right-of-way line of Ridge Road (F.M. 740, a variable width right-of-way);

THENCE with said northwest right-of-way line, the following courses and distances to wit:

- South 45°29'58" West, a distance of 112.89 feet (Deed: 113.22 feet) to a brass disk found for corner;
- South 57°02'55" West, a distance of 103.08 feet (Deed: 103.07 feet) to a brass disk found for corner;
- South 34°31'54" West, a distance of 101.20 feet (Deed: 101.12 feet) to a brass disk found for corner;
- South 33°02'52" West, a distance of 204.01 feet (Deed: 204.12 feet) to a brass disk found for corner;
- South 39°34'10" West, a distance of 137.01 feet (Deed: 136.97 feet) to a brass disk found at the easternmost corner of Lot 1, Block A, Lake Pointe Health Science Center, an addition to the City of Rockwall County, Texas according to the plat thereof recorded in Cabinet C, Page 216, Map Records of Rockwall, Texas;

THENCE departing said northwest right-of-way line and with the northeast line of said Lot 1, Block A and the northeast line of a tract of land described in Warranty Deed to Dr. Richard Brooks, recorded in Volume 898, Page 169, Deed Records of Rockwall County, Texas, North 46°01'25" West, at a distance of 711.44 feet (Deed: 711.59 feet) to a 1/2" iron rod found in the southeast right-of-way line of the Union Pacific Railroad (a 100-foot wide right-of-way), at the northernmost corner of said Brooks tract;

THENCE with said southeast right-of-way line, North 49°11'15" East, a distance of 658.67 feet (Deed: 658.84 feet) to a 1/2" iron rod found at the intersection of said southeast right-of-way line and said southwest right-of-way line of Turtle Cove Boulevard;

THENCE with said southwest right-of-way line, South 45°27'58" East, a distance of 612.15 feet (Deed: 612.21 feet) to the **POINT OF BEGINNING** and containing 9.6990 acres or 422,488 square feet of land.

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2019.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

FINAL PLAT

**MTA ANDREWS ADDITION
LOTS 1, 2 & 3, BLOCK 1**

**BEING 9.6990 ACRES SITUATED IN THE
E.P. GAINS CHISM SURVEY
ABSTRACT NO. 64
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS**

OWNER/APPLICANT:

**PHONE:
CONTACT:**

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA
OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: 972-770-1300
CONTACT: MATT LUCAS, P.E.

Kimley»Horn

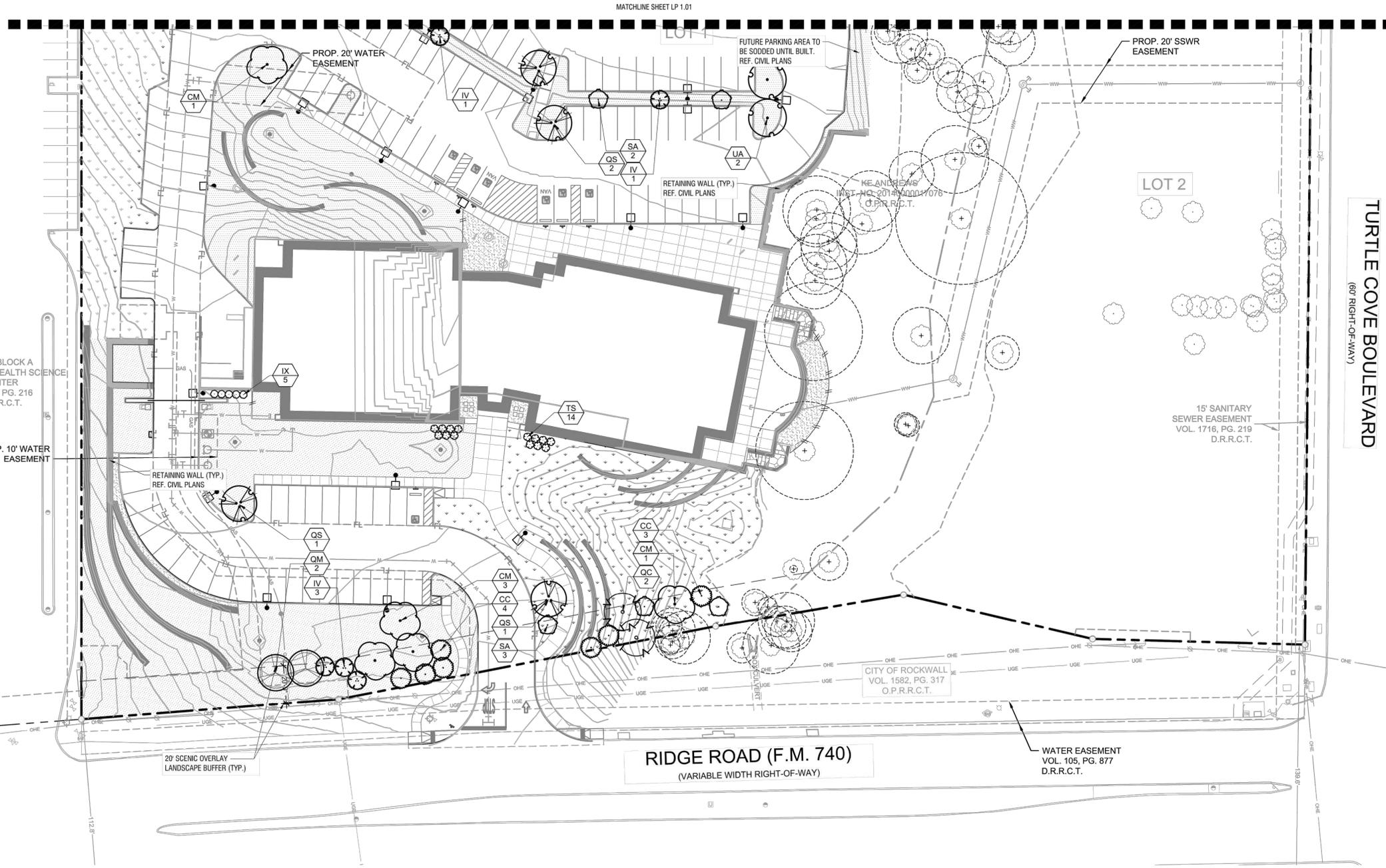
13455 Noel Road, Two Galleria Office Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Tel. No. (972) 770-1300 Fax No. (972) 239-3820

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	SRD	MCB	AUG. 2019	064539200	3 OF 3

IMAGES : photos : sketches : field : photos : trees : soil : signage : utility : landscape
 PLOTTED BY : JET BAYDAR 11/15/2019 11:31 AM
 PLOT DATE : 11/15/2019 11:31 AM
 PLOT TIME : 11:31 AM
 PLOT USER : JET BAYDAR
 PLOT DEVICE : HP PLOTTER
 PLOT SIZE : 11x17
 PLOT SCALE : 1/8" = 1'-0"

This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Review of and reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

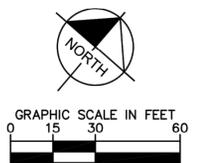
LOT 1, BLOCK A
 THE HEALTH SCIENCE
 CENTER
 AB. C, PG. 216
 M.R.R.C.T.



PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	UA	Ulmus parvifolia 'Allee' / Allee Lacebark Elm
	QM	Quercus macrocarpa / Burr Oak
	CM	Acer saccharum 'Caddo' / Caddo Maple
	QC	Quercus muehlenbergii / Chinkapin Oak
	JE	Juniperus virginiana / Eastern Red Cedar
	SA	Sophora affinis / Eve's Necklace
	QV	Quercus virginiana / Live Oak
	IX	Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly
	CI	Carya illinoensis / Pecan
	QS	Quercus shumardii / Shumard Red Oak
	CC	Cercis canadensis 'texensis' / Texas Redbud
	IV	Ilex vomitoria / Yaupon Holly
SHRUBS	CODE	BOTANICAL / COMMON NAME
	TS	Leucophyllum frutescens / Texas Sage
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	SOD	Cynodon dactylon / Bermuda Grass
	WF	Native Mix / Wildflower Seed

NOTE:
 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS AND MEET THE REQUIREMENTS OF THE UDC. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM. IMPACT FEES MUST BE PAID TO THE DEVELOPMENT SERVICES DEPARTMENT FOR SEPARATE IRRIGATION METERS PRIOR TO ANY PERMIT RELEASE.
 2. PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.
 3. NO TREES TO BE PLANTED WITHIN 5' OF ANY UTILITIES.
 4. PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.
 5. ALL RIGHT OF WAYS TO BE SODDED WHERE DISTURBED PRIOR TO ACCEPTANCE OF JOB.
 6. ALL DISTURBED AREAS SHALL HAVE 75-80% MINIMUM COVERAGE OF A 1" STANDARD OF GRASS BEFORE ACCEPTANCE. NO BARE SPOTS OR WINTER RYE ALLOWED.



KE ANDREWS OFFICE
 LOTS 1 & 2
 9.6990 ACRES, E.P. GAINS CHISM SURVEY
 ABSTRACT NO. 64
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:
 KE ANDREWS
 1900 DALROCK ROAD
 ROWLETT, TEXAS 75088
 CONTACT: KEVIN LLOYD
 EMAIL: KLLOYD@KEATX.COM

LANDSCAPE ARCHITECT:
 KIMLEY-HORN AND ASSOCIATES, INC.
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,
 SUITE 700, DALLAS, TX 75240
 TEL. NO. 972-770-1300
 CONTACT: PAT HART, PLA

NO.	REVISIONS	DATE	BY

Kimley-Horn
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER
 SUITE 700 DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-235-3820
 WWW.KIMLEY-HORN.COM TX F-928
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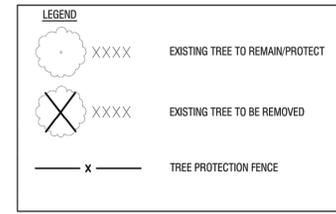
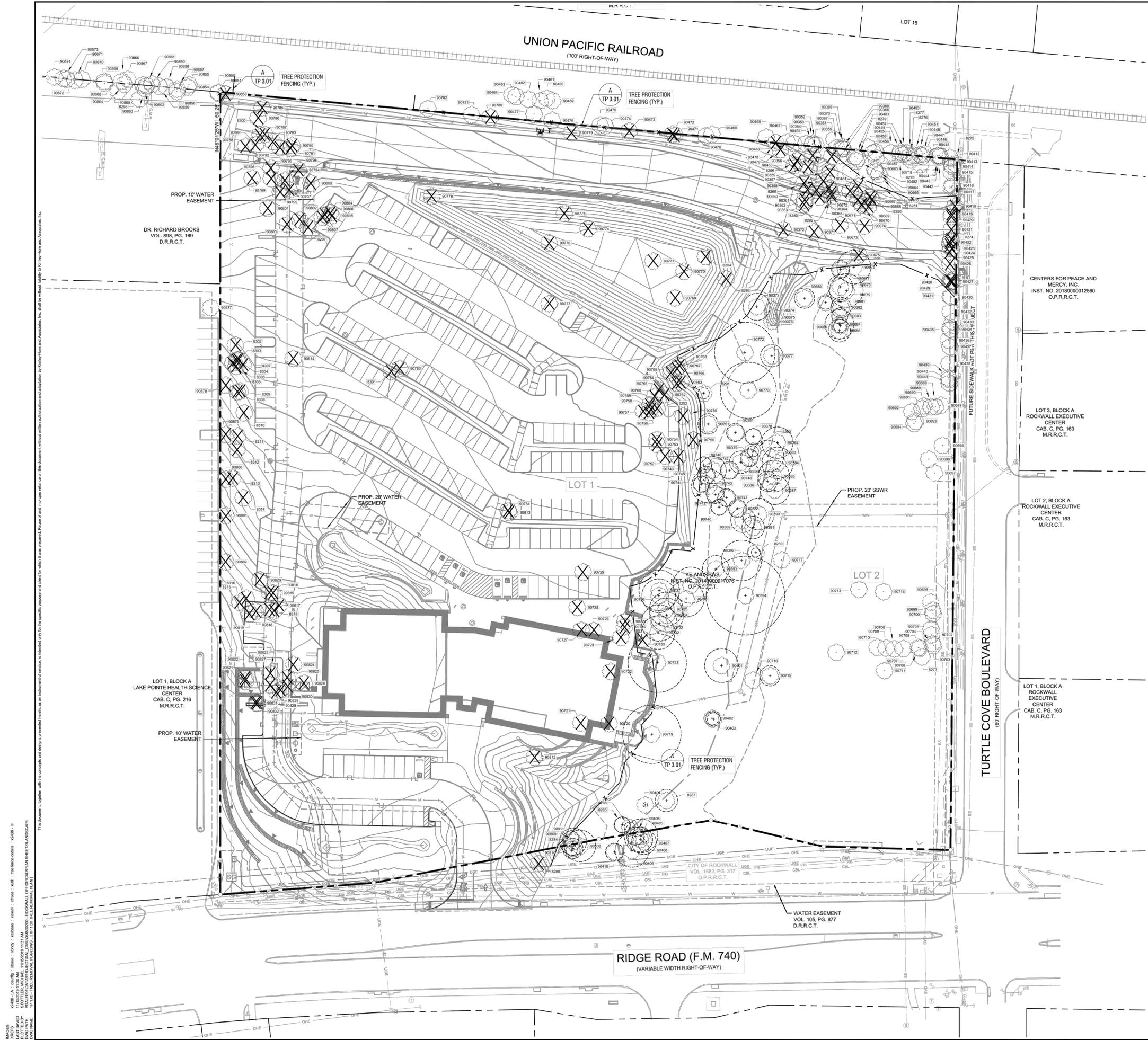
Kimley-Horn
 P.L.A. NICHOLAS B. ADAMS
 L.A. No. 304 Date 11/15/2019

KHA PROJECT 064539200	DATE 11/15/2019	SCALE AS SHOWN	DESIGNED BY MLS	DRAWN BY MLS	CHECKED BY NBA
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KE ANDREWS OFFICE
 PREPARED FOR
 KE ANDREWS
 CITY OF ROCKWALL, TEXAS

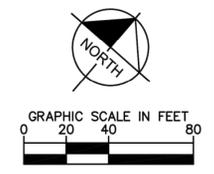
PLANTING PLAN

SHEET NUMBER
LP 1.00



DEVELOPMENT INFORMATION	
ZONING - C, SCENIC OVERLAY DISTRICT	
STORY	AREA (GSF)
LL	80,236
FLOOR AREA RATIO (FAR)	0.19
FOUNDATION TYPE	REINFORCED CONCRETE STRAIGHT SHAFT DRILLED PIERS

SITE INFORMATION			
OVERALL AREA			
LOT 1	279,442 SF	6.42 ACRES	(66.14%)
LOT 2	96,644 SF	2.22 ACRES	(22.87%)
RIGHT OF WAY	46,402 SF	1.07 ACRES	(10.98%)
TOTAL	422,488 SF	9.6990 ACRES	
LOT 1			
PAVEMENT	106,403 SF	2.44 ACRES	(38.08%)
BUILDING COVERAGE	22,866 SF	0.52 ACRES	(8.18%)
LANDSCAPE AND OPEN SPACE	150,173 SF	3.45 ACRES	(53.74%)
TOTAL	279,442 SF	6.42 ACRES	
LOT 2			
PAVEMENT	00 SF	0.00 ACRES	(0.00%)
BUILDING COVERAGE	00 SF	0.00 ACRES	(0.00%)
LANDSCAPE AND OPEN SPACE	96,644 SF	2.22 ACRES	(100.00%)
TOTAL	96,644 SF	2.22 ACRES	
RIGHT OF WAY			
PAVEMENT	26,952 SF	0.62 ACRES	(58.09%)
BUILDING COVERAGE	00 SF	0.00 ACRES	(0.00%)
LANDSCAPE AND OPEN SPACE	19,449 SF	0.45 ACRES	(41.91%)
TOTAL	46,402 SF	1.07 ACRES	



KE ANDREWS OFFICE
 LOTS 1 & 2
 9.6990 ACRES, E.P. GAINS CHISM SURVEY
 ABSTRACT NO. 64
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: KE ANDREWS
 1900 DALROCK ROAD
 ROWLETT, TEXAS 75088
 CONTACT: KEVIN LLOYD
 EMAIL: KLLOYD@KEATX.COM

LANDSCAPE ARCHITECT:
 KIMLEY-HORN AND ASSOCIATES, INC.
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,
 SUITE 700, DALLAS, TX 75240
 TEL. NO. 972-770-1300
 CONTACT: PAT HART, PLA

NO.	REVISIONS	DATE	BY

Kimley»Horn

13455 NOEL RD. TWO GALLERIA OFFICE TOWER
 SUITE 700 DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928
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KHA PROJECT		DATE		SCALE		DESIGNED BY		DRAWN BY		CHECKED BY	
064539200	11/15/2019	AS SHOWN	MLS	MLS	NBA						

KE ANDREWS OFFICE
 PREPARED FOR
KE ANDREWS
 CITY OF ROCKWALL, TEXAS

TREE REMOVAL PLAN

SHEET NUMBER
TP 1.00

11/15/2019 11:33 AM
 PLOTTED BY: STUTTER, MICHAEL
 DWG NAME: TP 1.00 - TREE REMOVAL PLAN.DWG
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 11/15/2019 11:33 AM
 PLOTTED BY: STUTTER, MICHAEL
 DWG NAME: TP 1.00 - TREE REMOVAL PLAN.DWG

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Tree #	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	TYPE	ACTION	RATIO	MITIGATION REQUIRED
Kimley Horn Red Tag Series								
8273	4.8	Green Ash	<i>Fraxinus pennsylvanica</i>	Healthy	Single	PROTECT	1:1	0.0
8274	6.1	Hackberry	<i>Celtis laevigata</i>	Declining	Forked	REMOVE	NON-PROTECTED	0.0
8275	5.4	White Mulberry	<i>Morus alba</i>	Hazard	Single	PROTECT	NON-PROTECTED	0.0
8276	4.6	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
8277	6.0	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
8278	6.2	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
8279	6.2	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
8280	6.0	Cedar Elm	<i>Ulmus crassifolia</i>	Declining	Single	REMOVE	NON-PROTECTED	0.0
8281	6.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
8282	5.0	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8283	4.8	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8284	5.0	American Elm	<i>Ulmus americana</i>	Healthy	Single	PROTECT	1:1	0.0
8285	7.0	Box Elder	<i>Acer negundo</i>	Healthy	Multi	PROTECT	1:1	0.0
8286	4.6	American Elm	<i>Ulmus americana</i>	Healthy	Single	PROTECT	1:1	0.0
8287	10.0	Black Willow	<i>Salix nigra</i>	Healthy	Multi	PROTECT	NON-PROTECTED	0.0
8288	7.5	White Mulberry	<i>Morus alba</i>	Declining	Multi	REMOVE	NON-PROTECTED	0.0
8289	4.5	American Elm	<i>Ulmus americana</i>	Healthy	Forked	PROTECT	1:1	0.0
8290	5.3	Persimmon	<i>Diospyros virginiana</i>	Healthy	Single	PROTECT	1:1	0.0
8291	5.4	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Forked	PROTECT	1:1	0.0
8292	8.6	Hackberry	<i>Celtis laevigata</i>	Healthy	Forked	REMOVE	NON-PROTECTED	0.0
8293	4.3	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8294	5.8	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	REMOVE	1:1	5.8
8295	4.3	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8296	5.2	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8297	7.7	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Forked	REMOVE	NON-PROTECTED	0.0
8298	6.0	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	PROTECT	1:1	0.0
8299	5.5	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8300	6.3	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Forked	REMOVE	NON-PROTECTED	0.0
8301	5.3	Gum Burmeia	<i>Sideroxylon lanuginosum</i>	Healthy	Single	REMOVE	1:1	5.3
8302	7.9	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8303	4.6	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8304	5.2	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8305	5.1	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8306	7.2	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8307	5.6	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8308	5.0	Shumard oak	<i>Quercus shumardi</i>	Healthy	Single	REMOVE	1:1	5.0
8309	7.7	Eastern Redcedar	<i>Juniperus virginiana</i>	Hazard	Single	REMOVE	NON-PROTECTED	0.0
8310	9.5	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
8311	9.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8312	8.6	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8313	10.3	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8314	10.3	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
8315	11.0	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
8316	9.2	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
8317	8.0	Callery pear	<i>Pyrus calleryana</i>	Healthy	Multi	REMOVE	1:1	8.0
8318	5.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
SCI Green Tag Series								
90351	10.2	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90352	9.3	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90353	11.2	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	5:1	0.0
90354	7.0	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90355	11.6	American Elm	<i>Ulmus americana</i>	Healthy	Single	REMOVE	1:1	11.6
90356	7.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90357	8.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90358	9.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90359	6.5	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90360	9.7	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90361	5.8	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90362	11.5	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90363	9.0	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90364	12.6	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	5:1	6.3
90365	6.5	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90366	8.0	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90367	6.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90368	6.5	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90369	12.3	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	5:1	0.0
90370	10.6	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90371	11.3	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	5:1	5.7
90372	7.4	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	REMOVE	1:1	7.4
90373	12.5	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	PROTECT	1:1	0.0
90374	10.1	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	REMOVE	1:1	10.1
90375	7.4	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	REMOVE	1:1	7.4
90376	8.6	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	REMOVE	1:1	8.6
90377	10.0	American Elm	<i>Ulmus americana</i>	Healthy	Single	PROTECT	1:1	0.0
90378	6.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90379	7.9	Box Elder	<i>Acer negundo</i>	Healthy	Single	PROTECT	1:1	0.0
90380	11.0	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	5:1	0.0
90381	8.6	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90382	13.2	Green Ash	<i>Fraxinus pennsylvanica</i>	Healthy	Single	PROTECT	1:1	0.0
90383	10.5	Green Ash	<i>Fraxinus pennsylvanica</i>	Healthy	Single	PROTECT	1:1	0.0
90384	14.8	American Elm	<i>Ulmus americana</i>	Healthy	Single	PROTECT	1:1	0.0
90385	8.2	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90386	9.4	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90387	12.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	5:1	0.0
90388	7.1	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90389	11.1	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90390	14.5	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90391	9.3	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90392	17.2	American Elm	<i>Ulmus americana</i>	Hazard	Single	PROTECT	NON-PROTECTED	0.0
90393	11.3	Box Elder	<i>Acer negundo</i>	Healthy	Single	PROTECT	1:1	0.0
90394	32.3	Pecan	<i>Carya illinoensis</i>	Healthy	Single	PROTECT	2:1	0.0
90401	14.5	American Elm	<i>Ulmus americana</i>	Healthy	Forked	PROTECT	1:1	0.0
90402	6.2	Black Willow	<i>Salix nigra</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90403	5.7	Black Willow	<i>Salix nigra</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90404	8.5	Black Willow	<i>Salix nigra</i>	Healthy	Forked	PROTECT	NON-PROTECTED	0.0
90405	14.6	Eastern Cottonwood	<i>Populus deltoides</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90406	8.0	Black Willow	<i>Salix nigra</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90407	12.0	Eastern Cottonwood	<i>Populus deltoides</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90408	8.5	Black Willow	<i>Salix nigra</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90409	17.0	Eastern Cottonwood	<i>Populus deltoides</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90410	8.2	White Mulberry	<i>Morus alba</i>	Healthy	Single	PROTECT	1:1	0.0
90412	11.8	Hackberry	<i>Celtis laevigata</i>	Declining	Single	PROTECT	NON-PROTECTED	0.0
90413	10.1	Hackberry	<i>Celtis laevigata</i>	Declining	Single	PROTECT	NON-PROTECTED	0.0

Tree #	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	TYPE	ACTION	RATIO	MITIGATION REQUIRED
90414	7.0	Hackberry	<i>Celtis laevigata</i>	Declining	Single	PROTECT	NON-PROTECTED	0.0
90415	10.0	Hercules-club	<i>Zanthoxylum clava-herculis</i>	Declining	Forked	PROTECT	NON-PROTECTED	0.0
90416	9.0	Hackberry	<i>Celtis laevigata</i>	Declining	Single	PROTECT	NON-PROTECTED	0.0
90417	7.1	Hackberry	<i>Celtis laevigata</i>	Declining	Single	PROTECT	NON-PROTECTED	0.0
90418	12.5	Declining	<i>Celtis laevigata</i>	Declining	Single	REMOVE	NON-PROTECTED	0.0
90419	6.4	Hackberry	<i>Celtis laevigata</i>	Declining	Single	REMOVE	NON-PROTECTED	0.0
90420	12.3	Hackberry	<i>Celtis laevigata</i>	Declining	Single	REMOVE	NON-PROTECTED	0.0
90421	8.4	Hackberry	<i>Celtis laevigata</i>	Declining	Forked	REMOVE	NON-PROTECTED	0.0
90422	8.3	Hackberry	<i>Celtis laevigata</i>	Declining	Forked	REMOVE	NON-PROTECTED	0.0
90423	9.7	Hackberry	<i>Celtis laevigata</i>	Declining	Forked	REMOVE	NON-PROTECTED	0.0
90424	10.0	Hackberry	<i>Celtis laevigata</i>	Declining	Single	REMOVE	NON-PROTECTED	0.0
90425	6.4	Hackberry	<i>Celtis laevigata</i>	Declining	Single	REMOVE	NON-PROTECTED	0.0
90426	9.5	Hackberry	<i>Celtis laevigata</i>	Declining	Multi	REMOVE	NON-PROTECTED	0.0
90427	9.3	Hackberry	<i>Celtis laevigata</i>	Declining	Single	REMOVE	NON-PROTECTED	0.0
90428	6.2	Hackberry	<i>Celtis laevigata</i>	Declining	Single	REMOVE	NON-PROTECTED	0.0
90429	12.6	Hackberry	<i>Celtis laevigata</i>	Declining	Single	REMOVE	NON-PROTECTED	0.0
90430	10.4	Hackberry	<i>Celtis laevigata</i>	Declining	Multi	PROTECT	NON-PROTECTED	0.0
90431	7.7	Hackberry	<i>Celtis laevigata</i>	Declining	Single	PROTECT	NON-PROTECTED	0.0
90432	7.0	Hackberry	<i>Celtis laevigata</i>	Declining	Single	PROTECT	NON-PROTECTED	0.0
90433	10.5	Hackberry	<i>Celtis laevigata</i>	Declining	Forked	PROTECT	NON-PROTECTED	0.0
90434	9.5	Hackberry	<i>Celtis laevigata</i>	Declining	Forked	PROTECT	NON-PROTECTED	0.0
90435	10.1	Hackberry	<i>Celtis laevigata</i>	Declining	Forked	PROTECT	NON-PROTECTED	0.0
90436	7.0	Hackberry	<i>Celtis laevigata</i>	Declining	Single	PROTECT	NON-PROTECTED	0.0
90437	9.3	Hackberry	<i>Celtis laevigata</i>	Declining	Forked	PROTECT	NON-PROTECTED	0.0
90438	13.0	Hackberry	<i>Celtis laevigata</i>	Declining	Multi	PROTECT	NON-PROTECTED	0.0
90439	13.0	Hackberry	<i>Celtis laevigata</i>	Declining	Multi	PROTECT	NON-PROTECTED	0.0
90440	8.0	Hackberry	<i>Celtis laevigata</i>	Declining	Single	PROTECT	NON-PROTECTED	0.0
90441	9.3							



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Michael Guerrero; *Atticus Harbor Village, LLC*
DATE: November 26, 2019
SUBJECT: MIS2019-015; *Alternative Tree Mitigation Settlement Agreement*

The applicant, Michael Guerrero of Atticus Harbor Village, LLC, is requesting approval of an alternative tree mitigation settlement agreement for the subject property. On December 13, 2016, the Planning and Zoning Commission approved two (2) site plans for the subject property laying out a 228-unit condominium development and a 48-unit townhome development [*i.e. SP2016-030 & SP2016-031*]. At the time of approval, the treescape plans for these cases indicated a total of 3,561 caliper-inches of trees would be removed from the subject property. The approved landscape plans for these cases indicated a total of 1,032 caliper inches would be added back to the subject property. This left an outstanding mitigation balance of 2,529-inches.

To address the outstanding balance the applicant has provided an invoice to staff indicating the cost of providing the City with 843, three (3) caliper inch trees (*i.e. 596 Cedar Elms & 247 Eastern Red Cedars x 3" = 2,529"*). The invoice includes the cost of the trees and a delivery fee for a total of \$125,000. According to Section 5.6 of Article IX, *Tree Preservation*, of the *Unified Development Code* (UDC), the mitigation balance may be satisfied by one (1) or a combination of the following:

- (1) The developer can provide trees on site to off-set the mitigation balance.
- (2) The developer may petition the Parks and Recreation Department to accept the required number of trees to off-set the mitigation balance.
- (3) Tree preservation credits may be purchased at a rate of \$200.00 per inch for up to 20 percent of the total replacement inches. Additionally, if the developer plants a tree on the property, the developer would be eligible for a reduction in the cost of tree preservation credits of up to 50 percent (*i.e. \$100.00 per inch*).

Based on these choices, the applicant could purchase 20% of the total replacement inches (*i.e. 505" = \$50,580.00*), which would leave a mitigation balance of 2,023-inches. The remaining mitigation balance would translate to 674, three (3)-caliper inch trees, which would need to be provided to the Parks and Receptions Department for off-site planting. In lieu of providing the trees the applicant has submitted an offer indicating they would like to settle the mitigation balance through an alternative tree mitigation settlement agreement.

Section 5.7, *Alternative Tree Mitigation Settlement Agreements*, of Article IX, *Tree Preservation*, of the Unified Development Code (UDC), this gives the City Council the ability to approve an alternative tree mitigation plans on a case-by-case basis pending a recommendation from the Planning and Zoning Commission. Should this request be approved, the applicant is proposing to satisfy the mitigation balance by providing a check in the amount of \$125,000. These funds will be deposited in the City's tree mitigation fund and will be used for planting trees in the city's parks, medians, and other similar areas. If the City Council does not approve an alternative tree mitigation settlement agreement, the applicant intends to provide the full balance to the Parks Department to be used in other areas of the City.

Should the Planning and Zoning Commission have any questions staff will be available at the November 26, 2019 meeting.



October 28, 2019

FLORANCE - ROCKWALL TREE MITIGATION

Take Off Date: NA

Per Landscape Plans Dated: NA

<i>Quantity</i>	<i>UOM</i>	<i>Description</i>	<i>Size</i>	<i>Price</i>	<i>Total</i>
<u>TREE MITIGATION</u>					
596		CEDAR ELM	3" CAL	\$160.00	\$95,360.00
247		EASTERN RED CEDAR	3" CAL	\$120.00	\$29,640.00
PROJECT TOTAL					<u>\$125,000.00</u>

GENERAL NOTES:

- * ALL TREES PROPOSED AS B&B UNLESS OTHERWISE NOTED ABOVE
- * PRICING INCLUDES 2,529 CALIPER INCHES OF TREES FOR MITIGATION PURPOSES
- * PRICING IS FOR DELIVERY ONLY, NO GUARANTEE, NO INSTALLATION.
- * ALL TAXES ASSOCIATED WITH NEW CONSTRUCTION
- * PRICE GUARANTEED FOR 30 DAYS FROM DATE OF PROPOSAL

FLORANCE - ROCKWALL TREE MITIGATION

AUSTIN OFFICE
1901 FLEISCHER DRIVE
AUSTIN, TX 78728

CORPORATE OFFICE
1437 HALSEY WAY
CARROLLTON, TX 75007

DENVER OFFICE
8501 QUEBEC STREET
COMMERCE CITY, CO 80022



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Korey Brooks; Senior Planner
DATE: November 26, 2019
SUBJECT: Z2019-025; *Amendment to Article IV, Permissible Uses, of the UDC to amend Rental, Sales, and Service of Heavy Machinery*

On November 4, 2019, the City Council directed staff to amend the *Land Use Standards* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) to allow the *Rental, Sales, and Service of Heavy Machinery* land use with a Specific Use Permit (SUP) in a Commercial (C) District. This direction came in response to a request submitted by Scott Mommer of Lars Anderson & Associates, Inc. to amend the code to allow a *Tool Rental Center* and in conjunction with an existing hardware store (*i.e. Home Depot*). The proposed facility will operate as a tool rental center (*i.e. power drills, saws, electric sanders*), which is permitted by-right in a Commercial (C) District. In addition to the rental of tools, the facility will also offer the rental of heavy equipment. Currently, the Unified Development Code (UDC) only permits *Rental, Sales, and Service of Heavy Machinery* in a Heavy Commercial (HC) or Heavy Industrial (HI) District by-right and in a Light Industrial (LI) District with a Specific Use Permit (SUP).

In accordance, with Section 4.2 of Article XI, *Zoning Related Applications*, of the UDC staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

Planning and Zoning Work Session: November 26, 2019
Planning and Zoning Public Hearing: December 10, 2019
City Council Public Hearing/First Reading: December 16, 2019
City Council Second Reading: January 6, 2020

Staff will send out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 6.1 of Article II, *Authority and Administrative Procedures*, of the UDC. Should the Planning and Zoning Commission have any questions staff will be available at the meeting on November 26, 2019.



LARS ANDERSEN & ASSOCIATES, INC.

CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS
ADA COMPLIANCE • LEED ACCREDITED • STORM WATER QUALITY
4694 W JACQUELYN AVENUE
FRESNO, CA 93722
PH (559) 276-2790 FX (559) 276-0850
TEXAS REGISTERED ENGINEERING FIRM F-18450

SCOTT A. MOMMER, PE, QSD
PRESIDENT

DANIEL J. ZOLDAK, PE, PLS
CASp, LEED AP, QSD/P
VICE PRESIDENT

September 10, 2019

Korey Brooks, AICP
Senior Planner
City of Rockwall
385 S. Goliad
Rockwall, TX 75087
O: 972-772-6434
E: kbrooks@rockwall.com

RE: Home Depot – Amended Site Plan – Tool Rental Center (TRC) & THD Rental Equipment
765 E-130, Rockwall, TX 75087

Korey,

On behalf of Home Depot, our Firm is submitting for an Amended Site Plan to Permit a proposed Tool Rental Center (TRC) and THD Rental Equipment Display. The general operations for the TRC is the rental of tools associated with general construction, which could range from a drill to a larger power equipment. This operation is utilized by both our general customers and contractors. In conjunction with the TRC, Home Depot is requesting to utilize approximately 10 parking stalls identified on the proposed Site Plan to store and display compact power rental equipment that can be rented through the TRC. Such equipment are items like small trailers, see the attached file for a list of example compact power equipment. It should be noted that the HD Rental equipment is owned and operated by Home Depot and there are no Third-Party Entities involved with this accessory use. In addition, no service, repairs, or maintenance or done on THD Rental equipment at the store, as Home Depot owns various locations where they are serviced by Home Depot at their maintenance facility throughout the region.

Attached you will find the following submittal items:

- Application signed by Home Depot
- Four (4) full size (24" x 36") proposed Site Plan
- Four (4) full size (24" x 36") proposed Building Elevation/Colored Rendering
- Check # 1238 for \$100.00

In advance, we greatly appreciate the City's review of the proposed project and feel free to contact me with any questions by email at smommer@larsandersen.com or by cell at 559-978-7060.

Sincerely,
LARS ANDERSEN & ASSOCIATES, INC.

Scott A. Mommer

Scott A. Mommer, PE
President



VICINITY MAP
 NOT TO SCALE

PROJECT INFORMATION

ZONING INFORMATION	47567
APN:	C COMMERCIAL
ZONING:	COMMERCIAL
LAND USE:	



BUILDING ELEVATION & COLOR RENDERING

DATE: 9/10/2019
 REVISION DATES:

SITE PLANNER	LUIS REBELO
SITE DEV. COORDINATOR	SCOTT MOMMER
R. E. MARKET	
R. E. AGENDA NAME	
R. E. MANAGER	



**TX - ROCKWALL
 STORE #0531**

ADDRESS: 765 E I-30
 ROCKWALL, TX 75087

LA PROJECT NUMBER 18085.00



VICINITY MAP
 NOT TO SCALE

PROJECT INFORMATION

ZONING INFORMATION	
APN:	47567
ZONING:	C COMMERCIAL
LAND USE:	COMMERCIAL
HOME DEPOT SITE DATA	
HOME DEPOT AREA	11.39 AC
HOME DEPOT BUILDING AREAS	
EXISTING HOME DEPOT BUILDING	111,847 SF
PROPOSED TOOL RENTAL CENTER	2,236 SF
EXISTING GARDEN CENTER	+ 17,955 SF
TOTAL HD BUILDING AREA	132,038 SF
PARKING REQUIRED PER CITY CODE	
HOME DEPOT (@ 1/250 SF) GFA (INCLUDING GARDEN CENTER)	528 STALLS
PARKING PROVIDED	
CUSTOMER	504 STALLS
OVERFLOW	+ 89 STALLS
TOTAL PROVIDED	593 STALLS
INCLUDED WITHIN PARKING PROVIDED	
ACCESSIBLE PARKING	18 STALLS
NOT INCLUDED WITHIN PROVIDED PARKING	
EQUIPMENT RENTAL	10 STALLS

TRC SITE PLAN

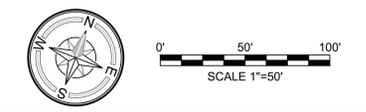
DATE:	8/20/2019
REVISION DATES:	
SITE PLANNER:	LUIS REBELO
SITE DEV. COORDINATOR:	SCOTT MOMMER
R. E. MARKET:	
R. E. AGENDA NAME:	
R. E. MANAGER:	



**TX - ROCKWALL
 STORE #0531**

ADDRESS: 765 E I-30
 ROCKWALL, TX 75087

LA PROJECT NUMBER 18085.00



INTERSTATE HIGHWAY 30

ACCESS ROAD

N.A.P.

EXISTING
 GARDEN CENTER
 (17,995 SF)

TRUCK
 WELL

EXISTING OUTSIDE
 SALES & DISPLAY

CUSTOMER PICK-UP
 LANE

EXISTING
 HOME DEPOT
 (111, 847 SF)

PROPOSED TOOL RENTAL
 CENTER (2,236 SF)

PROPOSED TRC
 ENCLOSURE (962 SF)

PROPOSED THD EQUIPMENT
 RENTAL (10 STALLS)

SEE SHEET 2

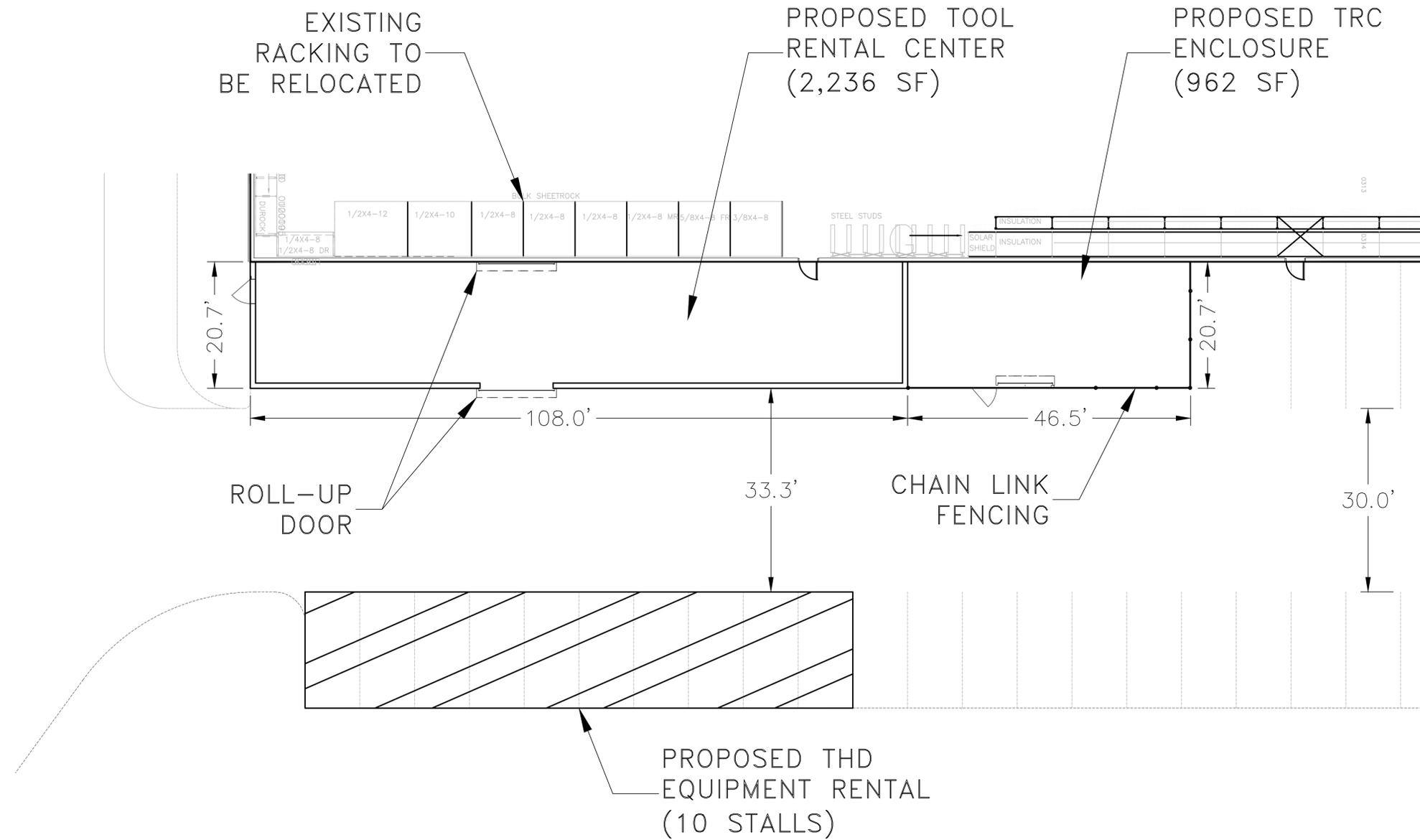
ROCHELL CT.





VICINITY MAP
 NOT TO SCALE

PROJECT INFORMATION



TRC SITE PLAN

DATE: 8/20/2019

REVISION DATES:

SITE PLANNER: LUIS REBELO
 SITE DEV. COORDINATOR: SCOTT MOMMER

R. E. MARKET
 R. E. AGENDA NAME
 R. E. MANAGER



**TX - ROCKWALL
 STORE #0531**

ADDRESS: 765 E I-30
 ROCKWALL, TX 75087

LA PROJECT NUMBER: 18085.00



Compact Power Rental Equipment

Tractor Loader Backhoe

- Used for loading, carrying, and transporting materials
- Electrical, plumbing, and irrigation installation or repairs
- Grading and leveling



Skid Steer

- Grading and leveling
- Load, carry and spread materials
- Landscaping, construction and property improvement
- Light demolition work



Mini Excavator

- Property improvement and landscape projects
- Irrigation installation and drainage projects
- Plumbing and electrical installation or repairs



Aerial Equipment

- Tree care and maintenance
- Facility maintenance, painting, HVAC, electrical
- Sign and lighting repair



Light Tower

- Job site illumination
- Sports activities
- Event setups



Material Handling

- Transport concrete, stone, materials and aggregate
- Construction and demo site clean up



Dump Trailer

- Demolition removal and yard maintenance
- Carrying landscape materials
- Hauling aggregate



Tree Care (Chipper Rental/Stump Grinder)

- Tree care and maintenance
- Landscaping and property improvements



Mini Skid Steer

- Load, carry and spread materials
- Landscape and property improvement
- Grading and leveling



Trencher

- Installing irrigation and drainage projects
- Landscape and property improvement



Tractor Loader Backhoe

- Load, carry and transport materials
- Electrical, plumbing, and irrigation installation or repairs
- Grading and leveling



Skid Steer

- Grading and leveling
- Load, carry and spread materials
- Landscaping, construction and property improvement
- Light demolition work



City of Rockwall Project Plan Review History



Project Number P2019-043	Owner Saddle Star South Holdings, LLC	Applied 11/15/2019 LM
Project Name Saddle Star South	Applicant	Approved
Type PLAT		Closed
Subtype MASTER PLAT		Expired
Status P&Z HEARING		Status 11/22/2019 DG

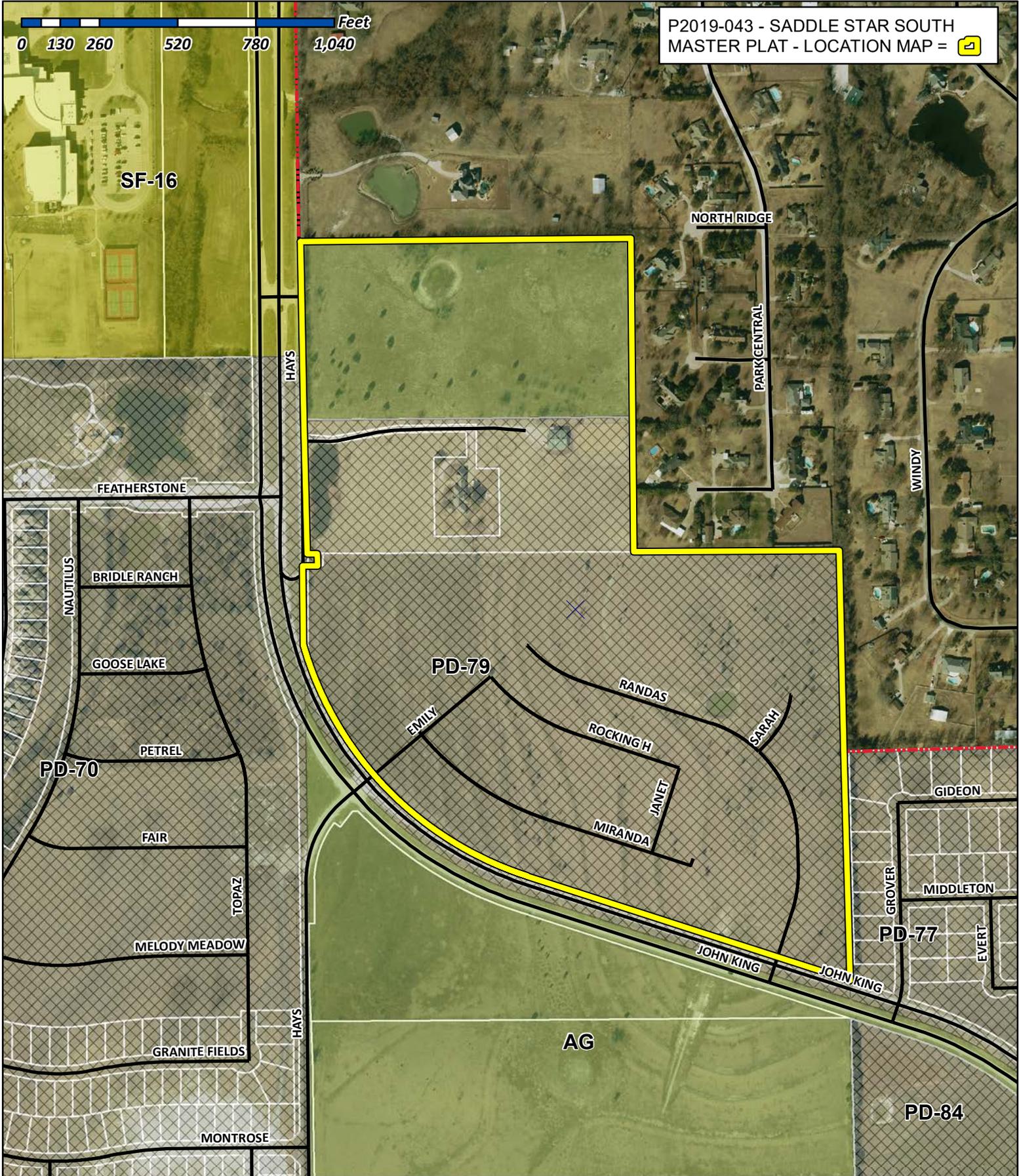
Site Address JOHN KING BLVD	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision GIDEON GROVE	Tract 2-03	Block	Lot No 2-03	Parcel No 0097-0000-0002-03-0R	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	11/15/2019	11/22/2019	11/18/2019	3	APPROVED	
ENGINEERING (11/22/2019 8:32 AM SJ) I - Must preliminary plat the property. M - Remove the street cross sections and the statement of service notes.	Sarah Johnston	11/15/2019	11/22/2019	11/22/2019	7	COMMENTS	
FIRE	Ariana Hargrove	11/15/2019	11/22/2019	11/20/2019	5	APPROVED	
GIS (11/20/2019 4:40 PM LS) Will need a new street name in place of Laurel (Dr.) There is already one in 75087 and another in Royse City.	Lance Singleton	11/15/2019	11/22/2019	11/20/2019	5	COMMENTS	See comments
Parks Department (11/20/2019 3:53 PM DG) Parks are Recreation Department Comments from Travis Sales, Director of Parks and Recreation and Animal Services: Park District 6 1. Cash in lieu of Land: 176 lots x \$493.00 = \$86,768.00 2. Pro rata equipment fees: 176 lots x \$509.00 = \$89,584 **Pro rata equipment fees will be utilized to install amenities in the HOA park adhering to City of Rockwall, Parks and Recreation specifications) Con. nue trail system along John King as required **Please note that the Parks and Recreation Board will meet on December 3, 2019 at 6:00 p.m. in the City's Council Chambers.	David Gonzales	11/20/2019	11/27/2019	11/20/2019		COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING (11/21/2019 6:43 PM DG) P2019-043: Master Plat – Saddle Star South Addion Please address the following comments (M= Mandatory Comments; I = Informaonal Commen ts).	David Gonzales	11/15/2019	11/22/2019	11/21/2019	6 COMMENTS	See comments
I.1 This is a request for the approval of a master plat/open space plan for the Saddle Star South Subdivision containing 176 single-family residenal lots on a 70.408-acre tract of land idenfied as Tracts 1, 1-03, 1-5 & 2-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District, located on the north side of John King Boulevard east of the intersection of Featherstone Drive John King Boulevard.						
I.2 For questions or comments concerning this case, please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 Please change the case number to P2019-043 in the lower right hand corner when subming the revised master plat.						
M.4 The final plat shall conform to all standards and requirements of Planned Development District 79 (PD-79) [i.e. Ordinance No. 19-40], the Unified Development Code (UDC), and staff comments provided by the Planning, Engineering, Building Inspecons , and Fire Department as indicated in the Project Plan Review document.						
I.5 Street names must be approved prior to the filing of the final plat (i.e. Jennifer Lane and Judith Drive). Contact Lance Singleton, GIS Supervisor – lsingleton@rockwall.com for approval.						
I.6 Correct/include the following data under the Land Use Data Table as follows: a) Remove “Typical” from the lot size designaon . b) Add: Lot Type A - 70’ x 125’ c) Add: Lot Type B – 80’ x 125’ d) Add: Zoned Planned Development District No. 79 (PD-79)						
M.7 Indicate and label the drainage areas and proposed storm drains from preliminary drainage exhibit onto the Master Plat without the calculations. Donot use heavy line drawing.						
M.8 Trail rest area to be indicated at the intersection of Randas Way and John King Boulevard.						
I. 9 Provide a hatch to the 10-foot hike and bike trail to better delineate. Addionally , the 10-foot hike and bike trail is to be within a Pedestrian Access Easement.						
I.10 Provide a label indicang th e SF/Acres for all open space areas.						
M.11 The street cross secons ar e to be indicav e of the Engineering Departments Standards of Design Manual. Correct detail.						
I.12 Do you have a detail of the proposed amenity center for the Parks and Recreaons Boar d to review? If so, please provide prior to the December 3, 2019 meeng.						
I.13 Staff has identified the aforemenoned it ems necessary to continue the submi al process. Please make these revisions and correcons , and provide any additional inf ormation that is requested. Revisions for this case will be due on December 3, 2019; however, it is encouraged for the applicants to submit revisions as						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						soon as possible to give staff ample time to review the case prior to the December 10, 2019 Planning and Zoning Meeting.
						**The Planning and Zoning Work Session will be held on November 26, 2019. **
						I.14 The City Council meeting for this case is scheduled to be held on December 16, 2019.
						I.15 The Parks and Recreation Board Meeting for this case is scheduled to be held on December 3, 2019.
						I.16 Please provide one (1) large copy [24" X 36" FOLDED] and one PDF version for a subsequent/final review by staff.
						I.17 Please note that failure to address all comments provided by staff by 3:00 PM on December 3, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.
						I.18 Staff recommends that a representative be present for the meetings as scheduled above. The meetings will be held in the City's Council Chambers and begin at 6:00 p.m.



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

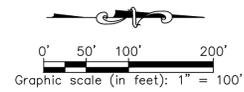


NO.	DIRECTION	DISTANCE
L1	N 89°38'44" E	50.00'
L2	N 0°38'27" W	40.00'
L3	S 89°38'05" W	34.29'

STONE CREEK SF, LTD
VOLUME 5011, PAGE 9

CITY OF ROCKWALL
STONE CREEK PHASE VI
CABINET 1, PAGE 161

JOHN KING BOULEVARD
(APPARENT 120' RIGHT-OF-WAY)



NOTE:
DETENTION TO BE PROVIDED PER CITY OF ROCKWALL
DRAINAGE SPECIFICATIONS AND STANDARDS

PHASING DATA

- PHASE ONE ~ 66 LOTS
- PHASE TWO ~ 77 LOTS
- PHASE THREE ~ 33 LOTS
- COMMON AREA/H.O.A. ~ 7 LOTS

**SADDLE STAR SOUTH STATEMENT OF SERVICE
MASTER PLAT
11/14/2019**

-A 16 INCH CITY OF ROCKWALL WATER LINE IS AVAILABLE FOR CONNECTION AT THE EAST PROPERTY LINE OF THE PROPOSED DEVELOPMENT NEAR THE EXISTING JOHN KING BOULEVARD. AN 20 INCH CITY OF ROCKWALL WATER LINE IS AVAILABLE FOR CONNECTION AT THE WEST PROPERTY LINE OF THE PROPOSED DEVELOPMENT AT THE EXISTING JOHN KING BOULEVARD. THE FIRST PHASE OF THIS DEVELOPMENT IS UNDER CONSTRUCTION AND ENGINEERING PLANS FOR THESE CONNECTIONS HAVE BEEN APPROVED.

-THE STONEY HOLLOW LIFT STATION IS APPROXIMATELY 2,000 FEET FROM THE PROPOSED DEVELOPMENT. THE FIRST PHASE OF THIS DEVELOPMENT IS UNDER CONSTRUCTION AND WILL BE PROVIDING UPGRADED LIFT STATION AND THE OFFSITE SANITARY SEWER. THESE IMPROVEMENTS HAVE BEEN APPROVED.

-THE SITE CURRENTLY DRAINS OVERLAND TO THE THOMPSON BRANCH TO THE NORTH OF THE PROPOSED DEVELOPMENT NEAR WHERE IT CROSSES UNDER JOHN KING BOULEVARD. DETENTION AND/OR RETENTION WILL BE UTILIZED TO CONTROL THE FLOW.

-THE STREET SYSTEM OF THE PROPOSED DEVELOPMENT WILL HAVE THREE CONNECTIONS TO JOHN KING BOULEVARD TO THE SOUTH AND WEST. TWO OF THESE CONNECTIONS HAVE BEEN APPROVED AND ARE CURRENTLY UNDER CONSTRUCTION.

LAND USE DATA

TOTAL AREA ~ 70.408 ACRES / 3,066,972 SQ. FT.
TOTAL OPEN SPACE ~ 14,220 ACRE / 619,436 SQ. FT.
TYPICAL LOT SIZE ~ 70' x 125'
TOTAL LOTS ~ 176
DENSITY ~ 2.49 DWELLING UNITS / ACRE

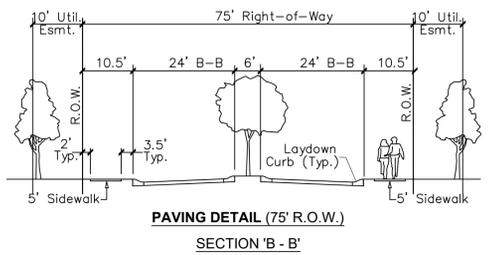
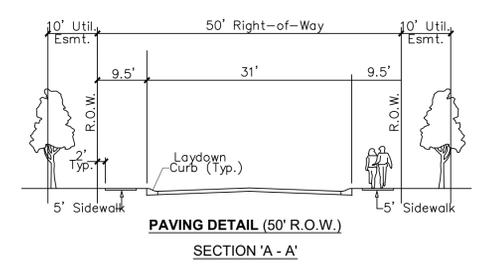
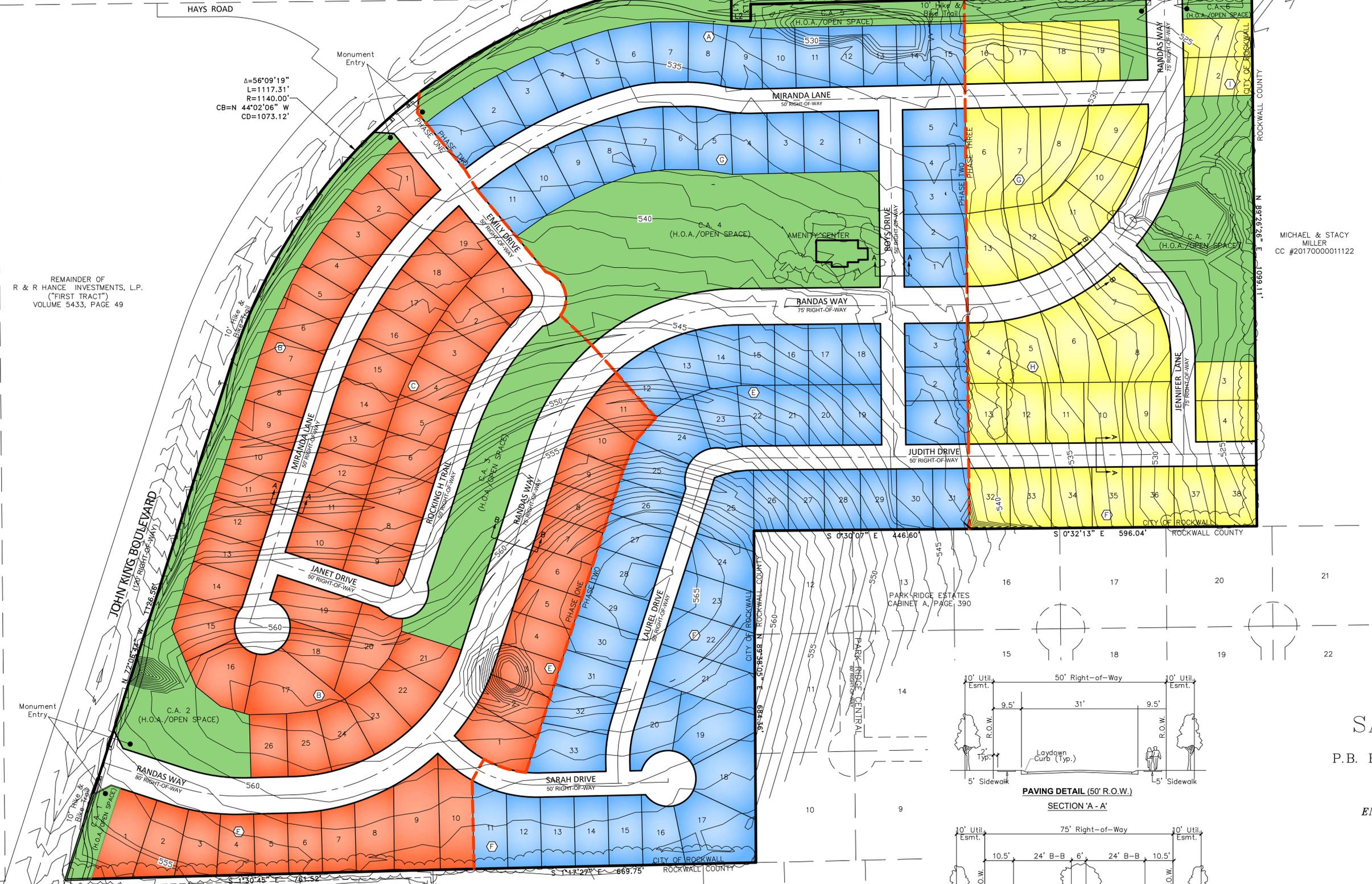
MASTER PLAT/OPEN SPACE PLAN
SADDLE STAR SOUTH
70.408 ACRES SITUATED IN THE
P.B. HARRISON SURVEY, ABSTRACT No. 97
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN L.P.
ENGINEERING / SURVEYING / PROJECT MANAGEMENT
201 WINDCO CIRCLE, SUITE 200 WYLIE, TX 75098
(972) 941-8400

DEVELOPER
K P A CONSULTING, INC.
3076 HAYS LANE ROCKWALL, TEXAS 75087
PAT ATKINS: 972-388-6383

OWNERS

SADDLE STAR SOUTH HOLDINGS LLC 2200 ROSS AVENUE SUITE 4200W DALLAS, TEXAS 75201	CDT ROCKWALL/2017 LLC 6925 F.M. 2515 KAUFMAN, TEXAS 75142	GWENDOLYN REED 3076 HAYS LANE ROCKWALL, TEXAS 75087
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Δ=56°09'19"
L=1117.31'
R=1140.00'
CB=N 44°02'06" W
CD=1073.12'

REMAINDER OF
R & R HANCE INVESTMENTS, L.P.
("FIRST TRACT")
VOLUME 5433, PAGE 49

MICHAEL & STACY
MILLER
CC #20170000011122

GIDEON GROVE LTD
CC #20150000014609
Proposed GIDEON GROVE NORTH

BLOCK A
WINDMILL VALLEY
SUBDIVISION
CABINET A, PAGE 157

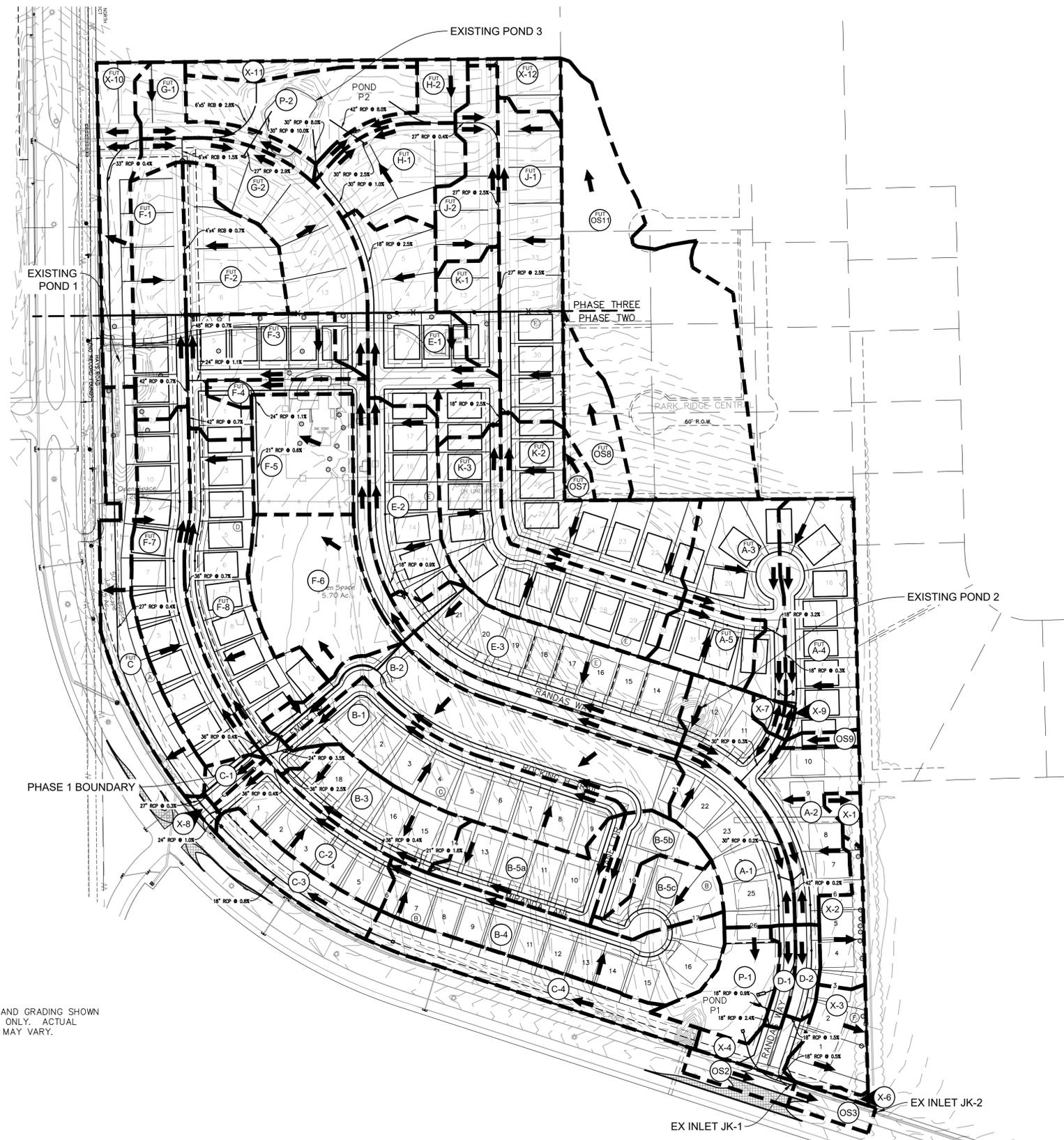
PARK RIDGE ESTATES
CABINET A, PAGE 390

PARK RIDGE CENTRAL
CABINET A, PAGE 390

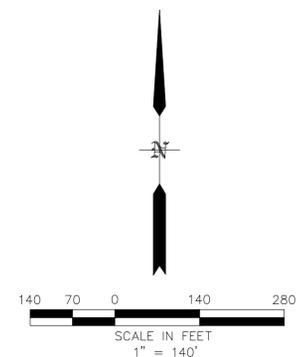
CITY OF ROCKWALL

CITY OF ROCKWALL

CITY OF ROCKWALL

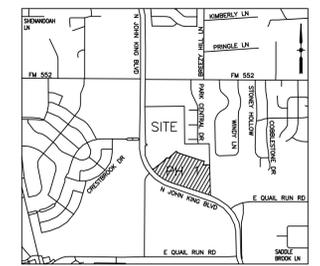


*FUTURE POND AND GRADING SHOWN FOR REFERENCE ONLY. ACTUAL FUTURE DESIGN MAY VARY.



LEGEND

- DRAINAGE AREA BOUNDARY
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING DRAINAGE AREA



VICINITY MAP
N.T.S.

Ultimate Drainage Area Calculations							
Drainage Area	Area (AC)	Tc (min)	C	K	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Description
A-1	1.63	10.00	0.50	1.00	9.80	7.96	TO POND 1
A-2	2.36	10.00	0.50	1.00	9.80	11.57	TO POND 1
FUT A-3	1.64	10.00	0.50	1.00	9.80	8.04	TO POND 1
FUT A-4	2.16	10.00	0.50	1.00	9.80	10.56	TO POND 1
FUT A-5	0.83	10.00	0.50	1.00	9.80	4.06	TO POND 1
B-1	2.55	10.00	0.50	1.00	9.80	12.49	TO POND 2
B-2	2.73	10.00	0.50	1.00	9.80	13.38	TO POND 2
B-3	1.37	10.00	0.50	1.00	9.80	6.73	TO POND 2
B-4	2.57	10.00	0.50	1.00	9.80	12.61	TO POND 2
B-5a	1.41	10.00	0.50	1.00	9.80	6.91	TO POND 2
B-5b	0.66	10.00	0.50	1.00	9.80	3.22	TO POND 2
B-5c	0.82	10.00	0.50	1.00	9.80	4.01	TO POND 2
FUT C	1.80	10.00	0.50	1.00	9.80	8.82	TO JOHN KING
C-1	0.20	10.00	0.50	1.00	9.80	0.98	POND 2 BYPASS
C-2	1.26	10.00	0.50	1.00	9.80	6.15	POND 2 BYPASS
C-3	0.80	10.00	0.50	1.00	9.80	3.91	POND 2 BYPASS
C-4	1.33	10.00	0.50	1.00	9.80	6.50	POND 2 BYPASS
D-1	0.23	10.00	0.50	1.00	9.80	1.15	TO POND 1
D-2	0.30	10.00	0.50	1.00	9.80	1.47	TO POND 1
FUT E-1	2.44	10.00	0.50	1.00	9.80	11.96	TO POND 2
E-2	1.70	10.00	0.50	1.00	9.80	8.33	TO POND 2
E-3	2.62	10.00	0.50	1.00	9.80	12.82	TO POND 2
FUT F-1	1.66	10.00	0.50	1.00	9.80	8.12	TO POND 2
FUT F-2	1.40	10.00	0.50	1.00	9.80	6.86	TO POND 2
FUT F-3	1.63	10.00	0.50	1.00	9.80	7.96	TO POND 2
FUT F-4	0.05	10.00	0.50	1.00	9.80	0.25	TO POND 2
F-5	1.60	10.00	0.50	1.00	9.80	7.84	TO POND 2
F-6	2.14	10.00	0.50	1.00	9.80	10.49	TO POND 2
FUT F-7	2.46	10.00	0.50	1.00	9.80	12.04	TO POND 2
FUT F-8	2.78	10.00	0.50	1.00	9.80	13.62	TO POND 2
FUT G-1	0.55	10.00	0.50	1.00	9.80	2.70	TO POND 2
FUT G-2	2.36	10.00	0.50	1.00	9.80	11.56	TO POND 2
FUT H-1	1.42	10.00	0.50	1.00	9.80	6.96	TO POND 2
FUT H-2	0.55	10.00	0.50	1.00	9.80	2.70	TO POND 2
FUT J-1	2.52	10.00	0.50	1.00	9.80	12.35	TO NORTH BYPASS
FUT J-2	1.13	10.00	0.50	1.00	9.80	5.54	TO NORTH BYPASS
FUT K-1	0.68	10.00	0.50	1.00	9.80	3.33	TO POND 2
FUT K-2	2.37	10.00	0.50	1.00	9.80	11.61	TO POND 2
FUT K-3	2.70	10.00	0.50	1.00	9.80	13.23	TO POND 2
P-1	0.99	10.00	0.50	1.00	9.80	4.87	TO POND 1
P-2	1.73	10.00	0.50	1.00	9.80	8.48	TO POND 2
X-1	0.16	10.00	0.50	1.00	9.80	0.80	TO GIDEON
X-2	0.61	10.00	0.50	1.00	9.80	3.00	TO GIDEON
X-3	0.84	10.00	0.50	1.00	9.80	4.12	TO GIDEON
X-4	0.44	10.00	0.50	1.00	9.80	2.18	TO JOHN KING
X-6	0.05	10.00	0.50	1.00	9.80	0.23	TO JOHN KING
X-7	0.11	10.00	0.50	1.00	9.80	0.55	TO POND 1 (FUT A-3)
X-8	0.08	10.00	0.50	1.00	9.80	0.37	TO JOHN KING
X-9	0.05	10.00	0.50	1.00	9.80	0.22	TO POND 1 (FUT A-4)
FUT X-10	1.44	10.00	0.50	1.00	9.80	7.07	TO OFFSITE NORTH
X-11	0.37	10.00	0.50	1.00	9.80	1.81	TO OFFSITE NORTH
FUT X-12	0.44	10.00	0.50	1.00	9.80	2.16	TO OFFSITE NORTH
OS2	0.36	10.00	0.90	1.00	9.80	3.20	TO JOHN KING
OS3	0.28	10.00	0.90	1.00	9.80	2.50	TO JOHN KING
FUT OS7	0.18	10.00	0.50	1.00	9.80	0.86	TO POND 2
FUT OS8	0.84	10.00	0.50	1.00	9.80	4.13	TO POND 2
OS9	0.14	10.00	0.50	1.00	9.80	0.67	TO A-2
FUT OS11	5.93	10.00	0.50	1.00	9.80	29.06	TO POND 2

* ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER, THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CAUTION! EXISTING UTILITIES
CONTRACTOR SHOULD CALL 1-800-DIG-TESS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES FOR EXISTING UTILITY LOCATIONS. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION AND TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

BENCHMARK: BM#1 (#102)
CIRCS "ASC SURVEYING COMPANY" BEING IN THE NORTH MEDIAN OF JOHN KING BLVD. AND TO THE WEST OF THE MAIN ENTRANCE OF THE SUBJECT PROPERTY, AND BEING NORTH OF THE MEDIAN POINT 55'. ELEVATION = 531.58

BM#3 (#106)
CIRCS "ASC SURVEYING COMPANY" BEING IN THE MEDIAN OF JOHN KING BLVD. TO THE SOUTHEAST OF THE SUBJECT PROPERTY, AND BEING LOCATED 72.5' TO THE SOUTHEAST OF THE SOUTHEAST CORNER OF THE HEADWALL WITH AN 8'X8' BOX CULVERT. ELEVATION = 557.33'

ENGINEERINGCONCEPTS & DESIGN, L.P.
ENGINEERING / PROJECT MANAGEMENT / CONSTRUCTION SERVICES - FIRM REG. #F-001145
201 WINDCO CIR, STE 200, WYLIE, TX 75098
972-941-8400 FAX: 972-941-8401 WWW.ECDLP.COM

REVISIONS:
DRAWN: MJH DATE:
CHECKED: RCK DATE: 11/14/2019
PROJECT NO.: 06824
DWG FILE NAME: 2019-11-12 PRELIM 06824 DA.DWG

PRELIMINARY DRAINAGE EXHIBIT
SADDLE STAR SOUTH
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 1

City of Rockwall Project Plan Review History



Project Number P2019-045	Owner STONE, CREEK SF LTD	Applied 11/15/2019 LM
Project Name Stone Creek, Phase X	Applicant CORWIN ENGINEERING, INC.	Approved
Type PLAT		Closed
Subtype FINAL		Expired
Status P&Z HEARING		Status 11/22/2019 DG

Site Address HAYS RD	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision STONE CREEK PH 2A	Tract 3	Block	Lot No 3	Parcel No 0131-0000-0003-00-OR	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	11/15/2019	11/22/2019	11/18/2019	3	APPROVED	
ENGINEERING (11/22/2019 8:28 AM SJ) M - Place the labels for the IRF closer to the point. M - Add a 30'x30' ROW clip and a 10' utility easement along John King Blvd. Standards of Design and Construction Section 2.8	Sarah Johnston	11/15/2019	11/22/2019	11/22/2019	7	COMMENTS	
FIRE	Ariana Hargrove	11/15/2019	11/22/2019	11/20/2019	5	APPROVED	
GIS (11/20/2019 4:44 PM LS) Make sure latest revision containing Fair Dr in place of Albatross Dr is forwarded at time of Mylar submittal.	Lance Singleton	11/15/2019	11/22/2019	11/20/2019	5	APPROVED	See comments
Parks Department (11/20/2019 3:49 PM DG) Parks are Recreation Department Comments from Travis Sales, Director of Parks and Recreation and Animal Services: Park District 5 1. Cash in lieu of Land: 118 lots x \$688.00 = \$81,804.00 2. Pro rata equipment fees: 118 lots x \$711.00 = \$83,898.00 **Cash in lieu of land fees will not be collected in this process as they were collected previously to develop The Park at Stone Creek Continue 10" wide trail and landscape along John King rights-of-way as required **Please note that the Parks and Recreations Board will meet on December 3, 2019 at 6:00 p.m. in the City's Council Chambers.	David Gonzales	11/20/2019	11/27/2019	11/20/2019		COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING (11/20/2019 3:28 PM DG) P2019-045: Final Plat – Stone Creek, Phase X Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments).	David Gonzales	11/15/2019	11/22/2019	11/20/2019	5 COMMENTS	See comments
<p>I.1 This is a request for the approval of a final plat for Stone Creek, Phase X containing 118 single-family residential lots on a 36.428-acre tract of land identified as a portion of Tract 3 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for Single Family-10 (SF-10) District land uses, located at the southwest corner of John King Boulevard and Featherstone Drive.</p> <p>I.2 For questions or comments concerning this case, please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.</p> <p>M.3 Please change the case number to P2019-045 in the lower right hand corner of all pages for the revised plat submittal.</p> <p>I.4 The final plat shall conform to all standards and requirements of Planned Development District 70 (PD-70) [i.e. Ordinance No. 19-41], the Unified Development Code (UDC), and staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document.</p> <p>I.5 If there are any further street names changes prior to the plat being filed, contact Lance Singleton, GIS Supervisor – lsingleton@rockwall.com for approval.</p> <p>I.6 Provide a label for all open space areas to read as follows: ‘Open Space To Be Maintained by the Homeowner’s Association (HOA).’ Although line 5 under ‘Notes’ indicates HOA responsibility, the label as requested is to provide consistency throughout this development.</p> <p>I.7 Consider changing all year dates on pages 2 & 3 of the plat to a blank line in order to fill in the year or use 2020. This is for filing purposes as the plat may be filed in the year 2020.</p> <p>M.8 Correct the Owner’s Certificate by changing statement No. 6 and including the language in statement number 7 as found on the application package, which reads as follows:</p> <p>7. Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.</p> <p>(Section 38-10, of Chapter 38, of the Municipal Code of Ordinances)</p> <p>I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 3, 2019; however, it is encouraged for the applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December 10, 2019 Planning and Zoning Meeting.</p> <p>**The Planning and Zoning Work Session will be held on November 26, 2019. **</p> <p>I.10 The City Council meeting for this case is scheduled to be held on December 16, 2019.</p> <p>I.11 The Parks and Recreation Board Meeting for this case is scheduled to be held on December 3, 2019.</p> <p>I.12 Please provide one (1) large copy [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.</p>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.13 Please note that failure to address all comments provided by staff by 3:00 PM on December 3, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.14 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.						
I.15 Staff recommends that a representative be present for the meetings as scheduled above. The meetings will be held in the City's Council Chambers and begin at 6:00 p.m.						

STONE CREEK PHASE X

TOTAL LOTS 118 TOTAL ACRES 36.428

OUT OF THE
S. KING SURVEY, ABSTRACT NO. 131
W.T. DeWEESE SURVEY, ABSTRACT NO. 71
IN THE

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

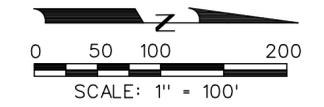
OWNER
STONE CREEK PHASE 10, LTD.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
TBPLS #10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

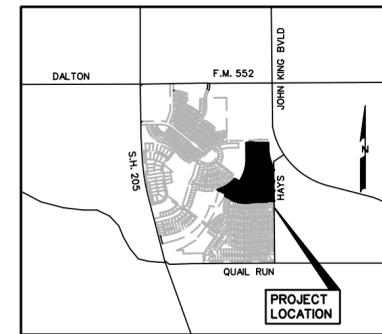
JULY 2019 SCALE 1" = 100'

CASE NO. P2019-035

SHEET 1 OF 3



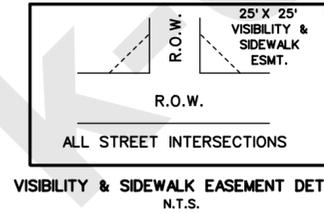
CITY OF ROCKWALL GRID SYSTEM COORDINATES	
X	Y
2565184.44	7036989.48
ELEV = 514.0	



LOCATION MAP N.T.S.

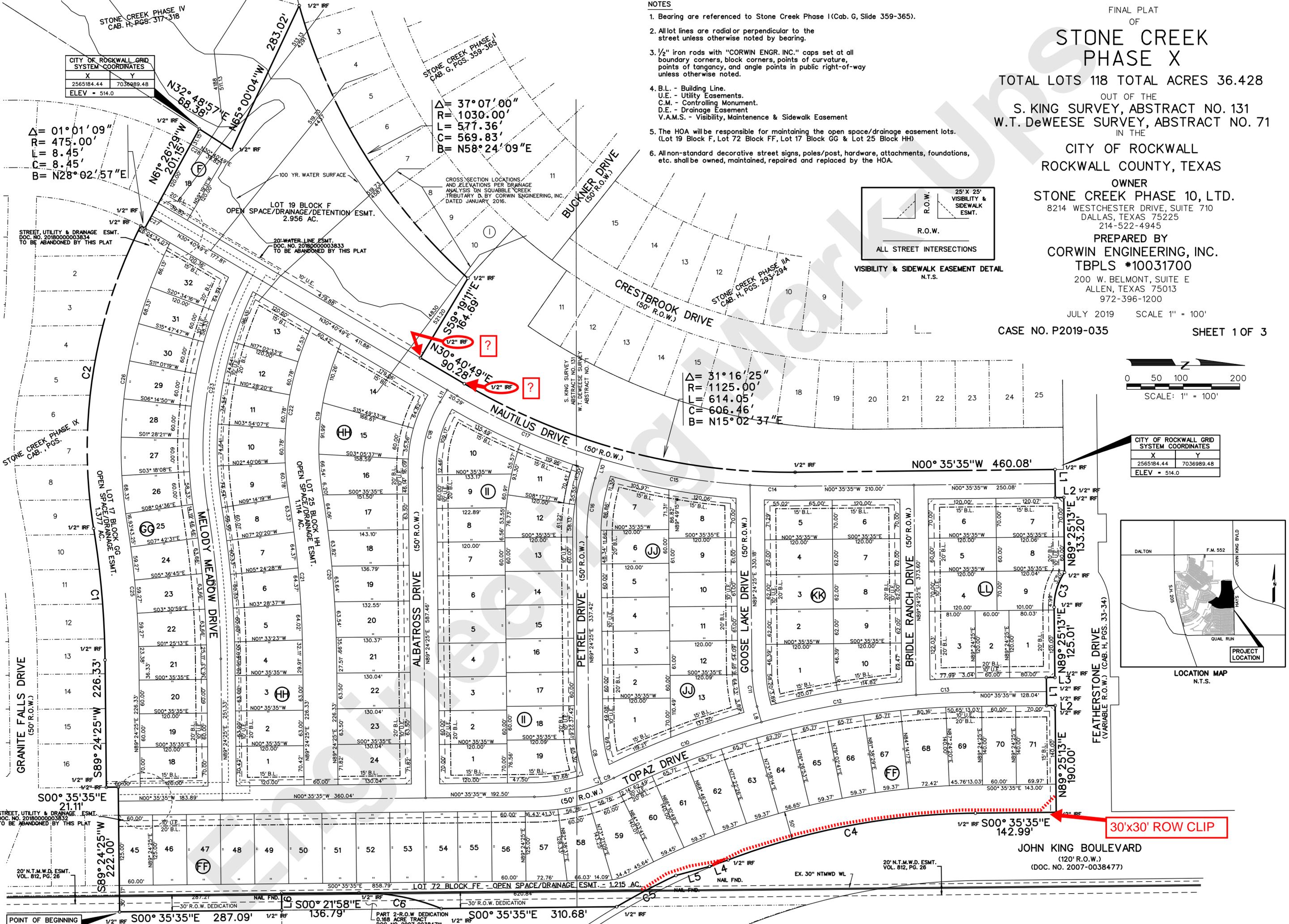
NOTES

- Bearing are referenced to Stone Creek Phase I (Cab. G, Slide 359-365).
- All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
- 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
- B.L. - Building Line.
U.E. - Utility Easements.
C.M. - Controlling Monument.
D.E. - Drainage Easement
V.A.M.S. - Visibility, Maintenance & Sidewalk Easement
- The HOA will be responsible for maintaining the open space/drainage easement lots. (Lot 19 Block F, Lot 72 Block FF, Lot 17 Block GG & Lot 25 Block HH)
- All non-standard decorative street signs, poles/post, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.



$\Delta = 37^{\circ}07'00''$
 $R = 1030.00'$
 $L = 577.36'$
 $C = 569.83'$
 $B = N58^{\circ}24'09''E$

$\Delta = 31^{\circ}16'25''$
 $R = 1125.00'$
 $L = 614.05'$
 $C = 606.46'$
 $B = N15^{\circ}02'37''E$



30'x30' ROW CLIP

JOHN KING BOULEVARD
(120' R.O.W.)
(DOC. NO. 2007-0038477)

CITY OF ROCKWALL GRID SYSTEM COORDINATES	
X	Y
2565184.44	7036989.48
ELEV = 514.0	

STREET, UTILITY & DRAINAGE ESMT.
DOC. NO. 2018000003833
TO BE ABANDONED BY THIS PLAT

20' N.T.M.W.D. ESMT.
VOL. 812, PG. 26

POINT OF BEGINNING

PART 2-R.O.W. DEDICATION
0.168 ACRE TRACT
DOC. NO. 2007-0038471

20' N.T.M.W.D. ESMT.
VOL. 812, PG. 26

OWNER'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as the STONE CREEK PHASE X, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the STONE CREEK PHASE X, subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. The detention drainage system is to be maintained, repaired and owned by the subdivision.

7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

Stone Creek Phase 10, Ltd.
an Texas limited partnership
By: Stone Creek Phase 10 GP Corporation,
a Texas corporation, its General Partner

John Arnold
Director

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared JOHN ARNOLD, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____, 2019.

Notary Public in and for the State of Texas My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Planning & Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2019.

Mayor, City of Rockwall

City Secretary

City Engineer

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 89°25'13" E	50.00'
2.	N 00°35'35" W	15.00'
3.	S 00°35'35" E	15.00'
4.	S 19°17'03" E	34.76'
5.	S 15°03'48" E	61.67'
6.	N 89°38'02" E	30.11'
7.	N 67°57'38" E	10.99'
8.	N 74°35'09" E	28.68'
9.	S 80°07'39" W	37.73'
10.	N 73°13'30" W	36.04'
11.	N 59°19'11" W	25.00'

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	08°38'43"	1560.00'	235.39'	235.16'	S85°05'03"W
2.	36°03'38"	880.00'	553.85'	544.75'	N81°12'30"W
3.	34°10'49"	110.00'	65.62'	64.65'	S73°29'23"E
4.	20°22'32"	1260.00'	448.08'	445.72'	S10°46'51"E
5.	05°21'14"	1271.00'	118.77'	118.72'	S27°58'51"E
6.	22°31'28"	380.00'	149.39'	148.43'	S10°53'46"W
7.	21°26'47"	325.00'	121.65'	120.94'	N11°18'59"W
8.	21°26'47"	250.00'	93.58'	93.03'	S78°41'01"W
9.	04°14'57"	325.00'	24.10'	24.10'	N24°09'51"W
10.	10°52'59"	1475.00'	279.95'	279.53'	N20°51'05"W
11.	14°49'15"	250.00'	64.67'	64.49'	S81°59'47"W
12.	10°49'06"	1475.00'	278.50'	278.09'	N10°00'18"W
13.	04°00'09"	1475.00'	103.04'	103.02'	N02°35'40"W
14.	03°59'21"	1150.00'	80.07'	80.05'	N01°24'05"E
15.	13°22'44"	1150.00'	268.53'	267.92'	N10°05'08"E
16.	17°22'05"	350.00'	106.10'	105.69'	N81°54'33"W
17.	13°54'19"	1150.00'	279.10'	278.41'	S23°43'40"W
18.	31°16'25"	225.00'	122.81'	121.29'	N74°57'23"W
19.	32°46'07"	470.00'	268.80'	265.15'	S82°51'15"E
20.	08°38'43"	1970.00'	297.25'	296.97'	N85°05'03"E
21.	08°38'43"	1910.00'	288.20'	287.93'	S85°05'03"W
22.	33°34'54"	530.00'	310.64'	306.21'	N82°26'52"W
23.	37°04'26"	675.00'	436.77'	429.19'	N80°42'05"W
24.	08°38'43"	1765.00'	266.32'	266.07'	S85°05'03"W
25.	08°38'43"	1620.00'	244.44'	244.21'	S85°05'03"W
26.	35°49'40"	820.00'	512.76'	504.44'	N81°19'29"W
27.	02°07'18"	500.00'	18.52'	18.51'	S29°37'10"W
28.	02°07'18"	645.00'	23.88'	23.88'	N29°37'10"E

FINAL PLAT
OF

STONE CREEK
PHASE X

TOTAL LOTS 118 TOTAL ACRES 36.428

OUT OF THE
S. KING SURVEY, ABSTRACT NO. 131
W.T. DeWEESE SURVEY, ABSTRACT NO. 71
IN THE

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

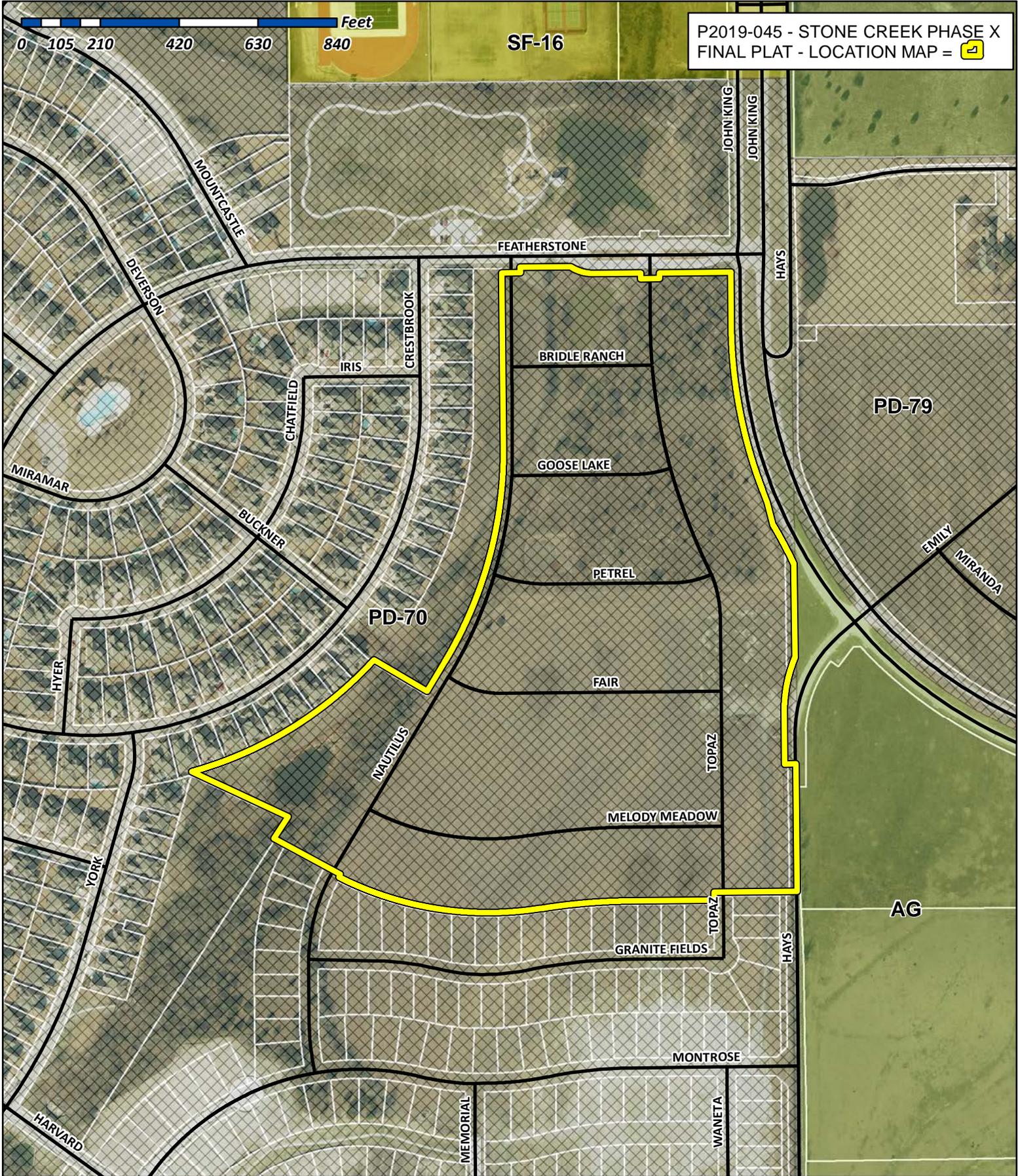
OWNER
STONE CREEK PHASE 10, LTD.

8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
TBPLS #10031700

200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

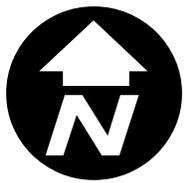
JULY 2019



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



FINAL PLAT
OF

STONE CREEK PHASE X

TOTAL LOTS 118 TOTAL ACRES 36.428
OUT OF THE
S. KING SURVEY, ABSTRACT NO. 131
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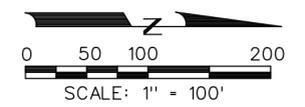
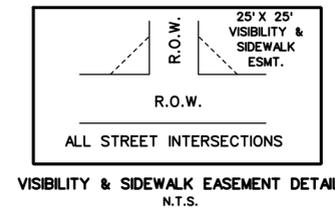
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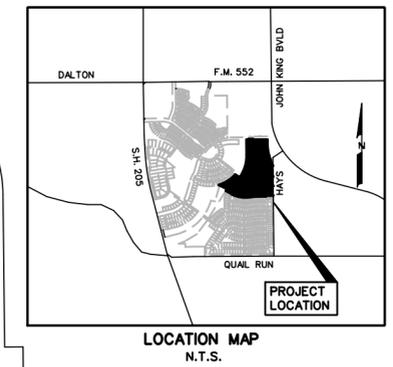
JULY 2019 SCALE 1" = 100'

CASE NO. P2019-035

SHEET 1 OF 3



CITY OF ROCKWALL GRID SYSTEM COORDINATES	
X	Y
2565184.44	7036989.48
ELEV = 514.0	



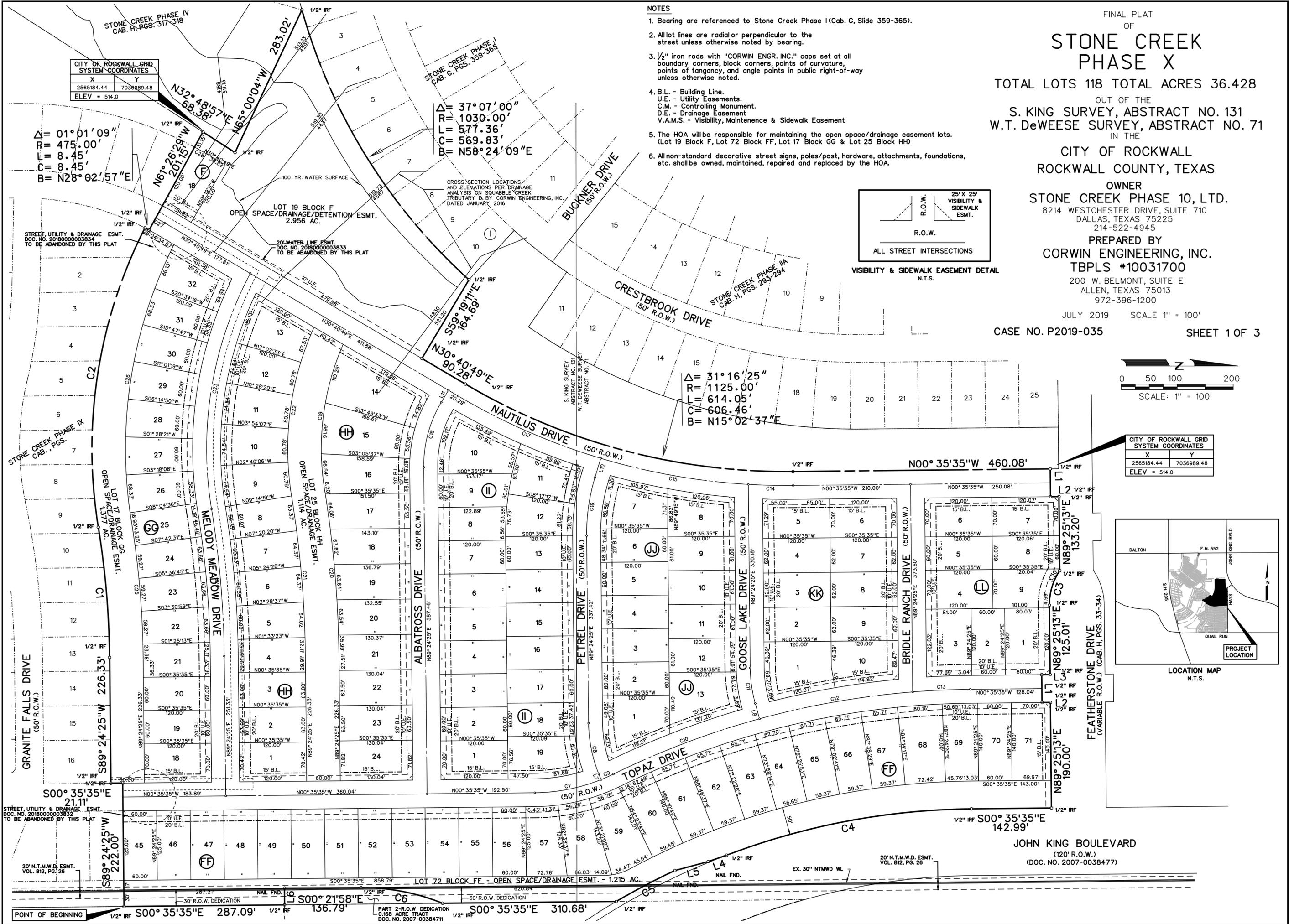
NOTES

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- 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
- B.L. - Building Line.
U.E. - Utility Easements.
C.M. - Controlling Monument.
D.E. - Drainage Easement
V.A.M.S. - Visibility, Maintenance & Sidewalk Easement
- The HOA will be responsible for maintaining the open space/drainage easement lots. (Lot 19 Block F, Lot 72 Block FF, Lot 17 Block GG & Lot 25 Block HH)
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$\Delta = 37^{\circ}07'00''$
 $R = 1030.00'$
 $L = 577.36'$
 $C = 569.83'$
 $B = N58^{\circ}24'09''E$

$\Delta = 01^{\circ}01'09''$
 $R = 475.00'$
 $L = 8.45'$
 $C = 8.45'$
 $B = N28^{\circ}02'57''E$

$\Delta = 31^{\circ}16'25''$
 $R = 1125.00'$
 $L = 614.05'$
 $C = 606.46'$
 $B = N15^{\circ}02'37''E$



CITY OF ROCKWALL GRID SYSTEM COORDINATES	
X	Y
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ELEV = 514.0	

STREET, UTILITY & DRAINAGE ESMT.
DOC. NO. 2018000003834
TO BE ABANDONED BY THIS PLAT

20' N.T.M.W.D. ESMT.
VOL. 812, PG. 28

POINT OF BEGINNING

CROSS SECTION LOCATIONS AND ELEVATIONS PER DRAINAGE ANALYSIS ON SQUABLE CREEK TRIBUTARY D BY CORWIN ENGINEERING, INC. DATED JANUARY 2016.

LOT 19 BLOCK F OPEN SPACE/DRAINAGE/DETENTION ESMT. 2.956 AC.

20' WATER LINE ESMT. DOC. NO. 2018000003833 TO BE ABANDONED BY THIS PLAT

BUCKNER DRIVE (50' R.O.W.)

CRESTBROOK DRIVE (50' R.O.W.)

NAUTILUS DRIVE (50' R.O.W.)

N00° 35'35"W 460.08'

BRIDLE RANCH DRIVE (50' R.O.W.)

FEATHERSTONE DRIVE (VARIABLE R.O.W.) (CAB. H, PGS. 33-34)

JOHN KING BOULEVARD (120' R.O.W.) (DOC. NO. 2007-0038477)

LOT 72 BLOCK FF - OPEN SPACE/DRAINAGE ESMT. - 1.215 AC.

S00° 35'35"E 287.09' S00° 21'58"E 136.79' S00° 35'35"E 310.68'

LEGAL DESCRIPTION

BEING, a tract of land situated in the W.T. DeWeese Survey, Abstract No. 71 and the S. King Survey, Abstract No. 131 in the City of Rockwall, Rockwall County, Texas, being part of a tract of land as described in Stone Creek Balance LTD., Clerks File No. 2007-00375394 and Stone Creek SF, LTD., Clerks File No. 2007-00375398 in said Deed Records, and being more particularly described as follows:

BEGINNING, at a 1/2 inch iron rod found at the northeast corner of Stone Creek Phase IX, an addition to the City of Rockwall, as described in Cab_Pg_in the Plat Records of Rockwall County, Texas, and being in Hays Road:

THENCE, South 89° 24'25" West, along the north line of said Stone Creek Phase IX, for a distance of 222.00 feet, to a 1/2 inch iron rod found;

THENCE, South 00° 35'35" East, continuing along said north line, for a distance of 21.11 feet, to a 1/2 inch iron rod found;

THENCE, South 89° 24'25" West, continuing along said north line, for a distance of 226.33 feet, to a 1/2 inch iron rod found at the point of curvature of a curve to the left, having a radius of 1560.00 feet, a central angle of 08° 38'43";

THENCE, continuing along said north line and with said curve to the left for an arc distance of 235.39 feet (Chord Bearing South 85° 05'03" West - 235.16 feet), to a 1/2 inch iron rod found at the point of reverse curvature of a curve to the right, having a radius of 880.00 feet, a central angle of 36° 03'38";

THENCE, continuing along said north line and with said curve to the right for an arc distance of 553.85 feet (Chord Bearing North 81° 12'30" West - 544.75 feet), to a 1/2 inch iron rod found on a non-tangent curve to the right, having a radius of 475.00 feet, a central angle of 01° 01'09";

THENCE, continuing along said north line and with said curve to the right for an arc distance of 8.45 feet (Chord Bearing North 28° 02'57" East - 8.45 feet), to a 1/2 inch iron rod found;

THENCE, North 61° 26'29" West, continuing along said north line, for a distance of 201.15 feet, to a 1/2 inch iron rod found in the east line of Stone Creek Phase IV, an addition to the City of Rockwall, as described in Cab. H, Pgs. 317-318, in said Plat Records and being the northwest corner of said Stone Creek Phase IX;

THENCE, North 32° 48'57" East, along the east line of said Stone Creek Phase IV, for a distance of 68.38 feet, to a 1/2 inch rod found at the most easterly northeast corner of said Stone Creek Phase IV;

THENCE, North 65° 00'04" West, along the north line of said Stone Creek Phase IV, for a distance of 283.02 feet, to a 1/2 inch iron rod found, being in a south line of Stone Creek Phase I, an addition to the City of Rockwall, as described in Cabinet G, Pages 359-365 in said Plat Records, being on a non-tangent curve to the left, having a radius of 1030.00 feet, a central angle of 37° 07'00";

THENCE, departing the north line of said Stone Creek Phase IV and along the south line of said Stone Creek Phase I and with said curve to the left for an arc distance of 577.36 feet (Chord Bearing North 58° 24'09" East - 569.83 feet), to a 1/2 inch iron rod found, being the southeast corner of Lot 10 Block I out of said Stone Creek Phase I, same being the south line of Stone Creek Phase IIA, an addition to the City of Rockwall, as described in Cabinet H, Pages 293-294 in said Plat Records;

THENCE, South 59° 19'11" East, departing the south line of said Stone Creek Phase I and along the south line of said Stone Creek Phase IIA, for a distance of 164.69 feet, to a 1/2 inch iron rod found being the southwest corner of said Stone Creek Phase IIA;

THENCE, North 30° 40'49" East, along the east line of said Stone Creek Phase IIA, for a distance of 90.28 feet, to a 1/2 inch iron rod found being the point of curvature of a curve to the left, having a radius of 1125.00 feet, a central angle of 24° 31'11";

THENCE, continuing along said east line and with said curve to the left for an arc distance of 481.44 feet (Chord Bearing North 11° 40'00" East 477.78 feet), to a 1/2 inch iron rod found at the point of tangency;

THENCE, North 00° 35'35" West, continuing along said east line, for a distance of 460.08 feet, to a 1/2 inch iron rod found being in the south line of Featherstone Drive, an addition to the City of Rockwall, as described in Cab. H, Pgs. 33-34, in said Plat Records;

THENCE, North 89° 25'13" East, departing said east line and with said south line, for a distance of 50.00 feet, to a 1/2 inch iron rod found;

THENCE, North 00° 35'35" West, continuing along said south line, for a distance of 15.00 feet, to a 1/2 inch iron rod found;

THENCE, North 89° 25'13" East, continuing along said south line, for a distance of 133.20 feet, to a 1/2 inch iron rod found, being on a curve to the left, having a radius of 110.00 feet, a central angle of 34° 10'49";

THENCE, continuing along said south line and with said curve to the left for an arc distance of 65.62 feet (Chord Bearing South 73° 29'23" East - 64.65 feet), to a 1/2 inch iron rod found, being the point of tangency;

THENCE, North 89° 25'13" East, continuing along said south line, for a distance of 125.01 feet, to a 1/2 inch iron rod found;

THENCE, South 00° 35'35" East, continuing along said south line, for a distance of 15.00 feet, to a 1/2 inch iron rod found;

THENCE, North 89° 25'13" East, continuing along said south line, for a distance of 50.00 feet, to a 1/2 inch iron rod found;

THENCE, North 00° 35'35" West, continuing along said south line, for a distance of 15.00 feet, to a 1/2 inch iron rod found;

THENCE, North 89° 25'13" East, continuing along said south line, for a distance of 190.00 feet, to a 1/2 inch iron rod found at the most easterly southeast corner of said Featherstone Drive and being in the west line of John King Boulevard (120' R.O.W.), as described in Doc. No. 2007-0038477 in said Deed Records;

THENCE, South 00° 35'35" East, along the west line of said John King Boulevard, for a distance of 142.99 feet, to a 1/2 inch iron rod found being the point of curvature of a curve to the left, having a radius of 1260.00 feet, a central angle of 20° 22'32";

THENCE, continuing along said west line and with said curve to the left for an arc distance of 448.08 feet (Chord Bearing South 10° 46'51" East - 445.72 feet), to a 1/2 inch iron rod found;

THENCE, South 19° 17'03" East, continuing along said west line, for a distance of 34.76 feet, to a nail found;

THENCE, South 15° 03'48" East, continuing along said west line, for a distance of 61.67 feet, to a nail found on a non-tangent curve to the left, having a radius of 1271.00 feet, a central angle of 05° 21'14";

THENCE, continuing along said west line and with said curve to the left for an arc distance of 118.77 feet (Chord Bearing South 27° 58'51" East - 118.72 feet), to a nail found in the east line of said Stone Creek Balance, being in said Hays Road;

THENCE, South 00° 35'35" East, departing said west line and along the east line of said Stone Creek Balance and with said Hays Road, for a distance of 191.20 feet, to a 1/2 inch iron rod found at the most northerly corner of Part 2, R.O.W. Dedication, as described in Doc. No. 2007-00384711, in said Deed Records being on a curve to the left, having a radius of 380.00 feet, a central angle of 22° 31'28"; THENCE, South 89° 24'25" West, along the north line of said Stone Creek Phase IX, for a distance of 222.00 feet, to a 1/2 inch iron rod found;

THENCE, departing the east line of said Stone Creek Balance Tract and continuing along Hays Road with the west line of said Part 2 tract and along said curve to the left having an arc distance of 149.39 feet (Chord Bearing South 10° 53'46" West 148.43 feet), to a 1/2 inch iron rod found;

THENCE, South 00° 21'58" East, continuing along said lines, for a distance of 136.79 feet, to a nail found at the southwest corner of said Part 2 tract;

THENCE, North 89° 38'02" East, along the south line of said Part 2 tract, for a distance of 30.11 feet, to a 1/2 inch iron rod found at the southeast corner of said Part 2 tract, being in east line of said Stone Creek Balance tract and said Hays Road;

THENCE, South 00° 35'35" East, along the east line of said Stone Creek Balance tract and with Hays Road, for a distance of 339.01 feet, to the POINT OF BEGINNING and containing 36.428 acres of land.

SURVEYOR CERTIFICATE

I, WARREN L. CORWIN, do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made under my direction and supervision and all corners are as shown thereon and there are no encroachments, conflicts, protrusions or visible utilities on the ground except as shown and said plat has been prepared in accordance with the platting rules and regulations of the City Plan Commission of the City of Rockwall, Texas.

DATED the this ____ day of _____, 2019.

WARREN L. CORWIN
R.P.L.S. No. 4621

FINAL PLAT
OF
**STONE CREEK
PHASE X**
TOTAL LOTS 118 TOTAL ACRES 36.428
OUT OF THE
S. KING SURVEY, ABSTRACT NO. 131
W.T. DeWEESE SURVEY, ABSTRACT NO. 71
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
STONE CREEK PHASE 10, LTD.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945
PREPARED BY
CORWIN ENGINEERING, INC.
TBPLS #10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
JULY 2019

OWNER'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as the STONE CREEK PHASE X, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the STONE CREEK PHASE X, subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. The detention drainage system is to be maintained, repaired and owned by the subdivision.

7. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

Stone Creek Phase 10, Ltd.
an Texas limited partnership
By: Stone Creek Phase 10 GP Corporation,
a Texas corporation, its General Partner

John Arnold
Director

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared JOHN ARNOLD, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____, 2019.

Notary Public in and for the State of Texas My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Planning & Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the Court Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2019.

Mayor, City of Rockwall City Secretary City Engineer

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 89°25'13" E	50.00'
2.	N 00°35'35" W	15.00'
3.	S 00°35'35" E	15.00'
4.	S 19°17'03" E	34.76'
5.	S 15°03'48" E	61.67'
6.	N 89°38'02" E	30.11'
7.	N 67°57'38" E	10.99'
8.	N 74°35'09" E	28.68'
9.	S 80°07'39" W	37.73'
10.	N 73°13'30" W	36.04'
11.	N 59°19'11" W	25.00'

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	08°38'43"	1560.00'	235.39'	235.16'	S85°05'03"W
2.	36°03'38"	880.00'	553.85'	544.75'	N81°12'30"W
3.	34°10'49"	110.00'	65.62'	64.65'	S73°29'23"E
4.	20°22'32"	1260.00'	448.08'	445.72'	S10°46'51"E
5.	05°21'14"	1271.00'	118.77'	118.72'	S27°58'51"E
6.	22°31'28"	380.00'	149.39'	148.43'	S10°53'46"W
7.	21°26'47"	325.00'	121.65'	120.94'	N11°18'59"W
8.	21°26'47"	250.00'	93.58'	93.03'	S78°41'01"W
9.	04°14'57"	325.00'	24.10'	24.10'	N24°09'51"W
10.	10°52'59"	1475.00'	279.95'	279.53'	N20°51'05"W
11.	14°49'15"	250.00'	64.67'	64.49'	S81°59'47"W
12.	10°49'06"	1475.00'	278.50'	278.09'	N10°00'18"W
13.	04°00'09"	1475.00'	103.04'	103.02'	N02°35'40"W
14.	03°59'21"	1150.00'	80.07'	80.05'	N01°24'05"E
15.	13°22'44"	1150.00'	268.53'	267.92'	N10°05'08"E
16.	17°22'05"	350.00'	106.10'	105.69'	N81°54'33"W
17.	13°54'19"	1150.00'	279.10'	278.41'	S23°43'40"W
18.	31°16'25"	225.00'	122.81'	121.29'	N74°57'23"W
19.	32°46'07"	470.00'	268.80'	265.15'	S82°51'15"E
20.	08°38'43"	1970.00'	297.25'	296.97'	N85°05'03"E
21.	08°38'43"	1910.00'	288.20'	287.93'	S85°05'03"W
22.	33°34'54"	530.00'	310.64'	306.21'	N82°26'52"W
23.	37°04'26"	675.00'	436.77'	429.19'	N80°42'05"W
24.	08°38'43"	1765.00'	266.32'	266.07'	S85°05'03"W
25.	08°38'43"	1620.00'	244.44'	244.21'	S85°05'03"W
26.	35°49'40"	820.00'	512.76'	504.44'	N81°19'29"W
27.	02°07'18"	500.00'	18.52'	18.51'	S29°37'10"W
28.	02°07'18"	645.00'	23.88'	23.88'	N29°37'10"E

FINAL PLAT
OF
**STONE CREEK
PHASE X**
TOTAL LOTS 118 TOTAL ACRES 36.428
OUT OF THE
S. KING SURVEY, ABSTRACT NO. 131
W.T. DeWEESE SURVEY, ABSTRACT NO. 71
IN THE

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

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STONE CREEK PHASE 10, LTD.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
TBPLS #10031700

200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

JULY 2019

City of Rockwall
Project Plan Review History



Project Number P2019-046	Owner BH Phase 11, Ltd.	Applied 11/18/2019 DG
Project Name Breezy Hill Phase XI	Applicant CORWIN ENGINEERING, INC.	Approved
Type PLAT		Closed
Subtype FINAL		Expired
Status Staff Review		Status
 Site Address BREEZY HILLS RD		City, State Zip ROCKWALL, TX 75087
		Zoning
Subdivision BREEZY HILL, PHASE XI	Tract 7-6	Block NULL
		Lot No 7-6
		Parcel No 0187-0000-0007-06-0R
		General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	11/18/2019	11/25/2019	11/18/2019		APPROVED	
ENGINEERING	Sarah Johnston	11/18/2019	11/25/2019	11/22/2019	4	COMMENTS	
FIRE	Ariana Hargrove	11/18/2019	11/25/2019	11/20/2019	2	APPROVED	
GIS	Lance Singleton	11/18/2019	11/25/2019				
PLANNING	Korey Brooks	11/18/2019	11/25/2019	11/22/2019	4	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
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P2019-046; Breezy Hill, Phase XI Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Phase 11, LTD for the approval of a preliminary plat for the Breezy Hill, Phase XI containing 78 single-family lots on a 23.849-acre tract of land identified as a portion of Tract 7 and all of Tract 7-06 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses, generally located adjacent to Breezy Hill Road north of the intersection of Breezy Hill Road and FM-552.

I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.

M.3 For reference, include the case number (P2019-046) in the lower right-hand corner of all pages on future submittals.

I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).

M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:

- (1) Please label the Point of Beginning
- (2) Please show and label landscape buffer adjacent to BH Road.
- (3) Please provide signature line for Chuck Sink
- (4) Please review and confirm lot count

Lot Types	A	B	C	D	E	F	G	TOTAL
Phase I			27				27	
Phase IIA and IIB	49		78					127
Phase III	23	48					71	
Phase IV			51				51	
Phase V		79					79	
Phase VI	42	17	20				79	
Phase VII				10				10
Phase IXA	53							53
Phase X	39			40			79	
Phase VIII			3			32	26	61
Phase XI					1	77	78	
TOTAL	141	143	147	108	40	33	103	715
ORDINANCE	164	131	137	140	40	44	94	750
REMAINING	23	-12	-10	32	0	11	-9	35

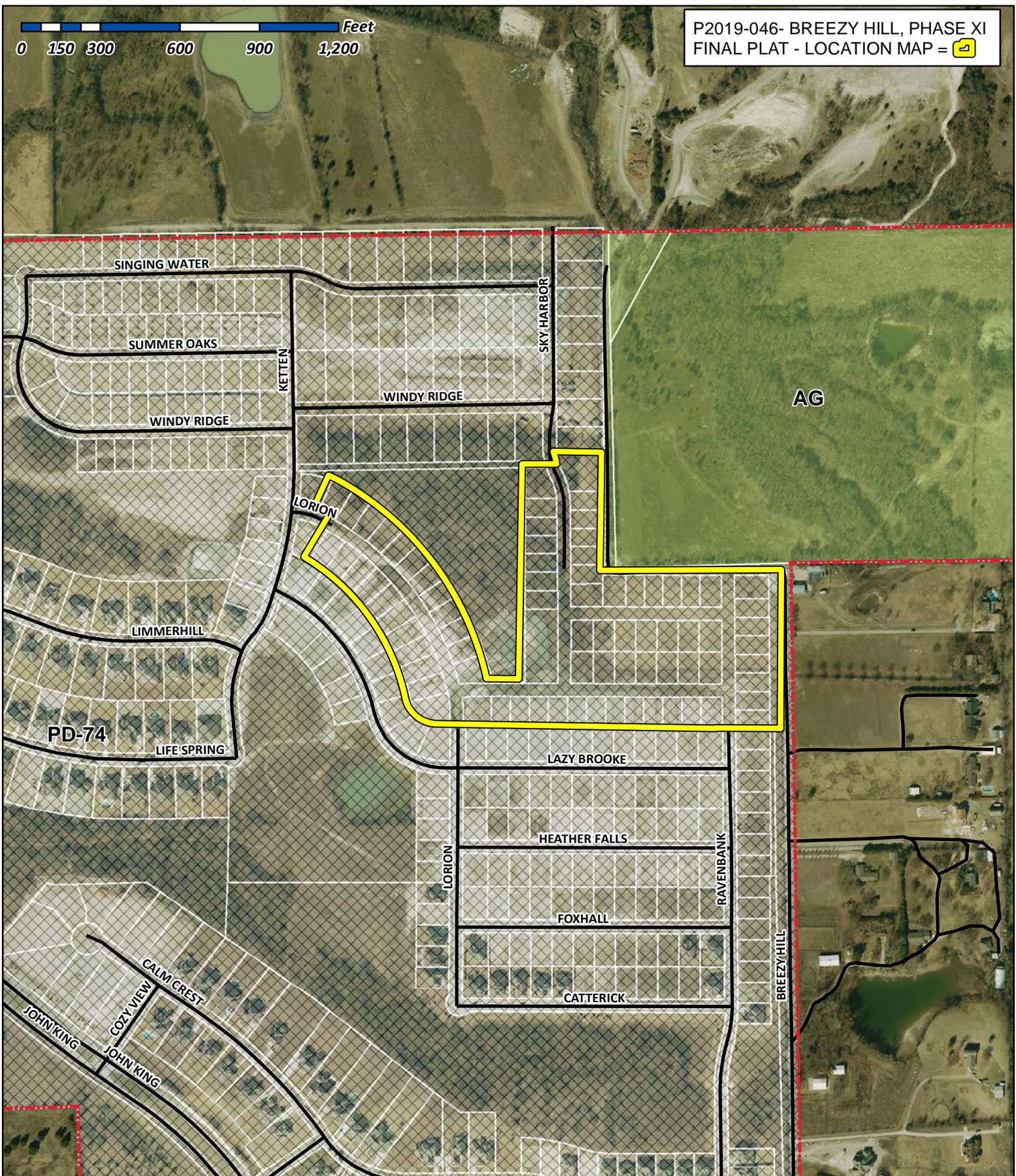
I.6 Please note that failure to address all comments provided by staff by 5:00 PM on December 3, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested.

- o Revisions for this case will be due on December 3, 2019;
- o The Planning & Zoning Worksession is November 26, 2019.
- o The Park Board Meeting for this case is December 3, 2019
- o The Planning and Zoning Commission Meeting for this case is December 10, 2019
- o The City Council Meeting for this case is December 16, 2019.

0 150 300 600 900 1,200 Feet

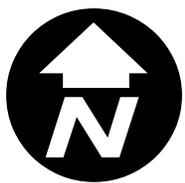
P2019-046- BREEZY HILL, PHASE XI
FINAL PLAT - LOCATION MAP = 

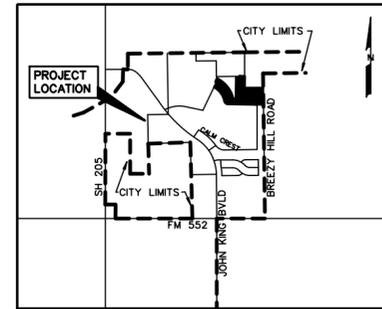


City of Rockwall

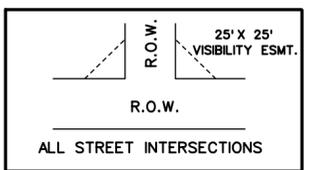
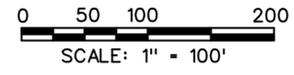
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	12°08'07"	275.00'	58.25'	58.14'	N05°06'58"W
2.	00°59'43"	991.00'	17.21'	17.21'	N11°40'53"W
3.	13°07'50"	295.00'	67.61'	67.46'	S84°23'11"W
4.	46°53'50"	991.00'	811.14'	788.69'	N35°37'39"W
5.	01°19'11"	1025.00'	23.61'	23.61'	N00°17'31"E
6.	00°14'22"	1025.00'	4.28'	4.28'	N00°29'15"E
7.	01°33'49"	1025.00'	27.97'	27.97'	N00°10'28"E
8.	27°07'36"	250.00'	118.36'	117.26'	N12°36'25"W
9.	08°03'59"	250.00'	35.20'	35.17'	N22°08'14"W
10.	179°32'14"	50.00'	157.48'	100.00'	S44°23'24"E
11.	63°13'48"	320.00'	353.14'	335.49'	N31°19'31"W
12.	24°13'20"	380.00'	160.65'	159.45'	N36°36'19"W
13.	40°20'34"	300.00'	211.23'	206.90'	S40°55'16"E

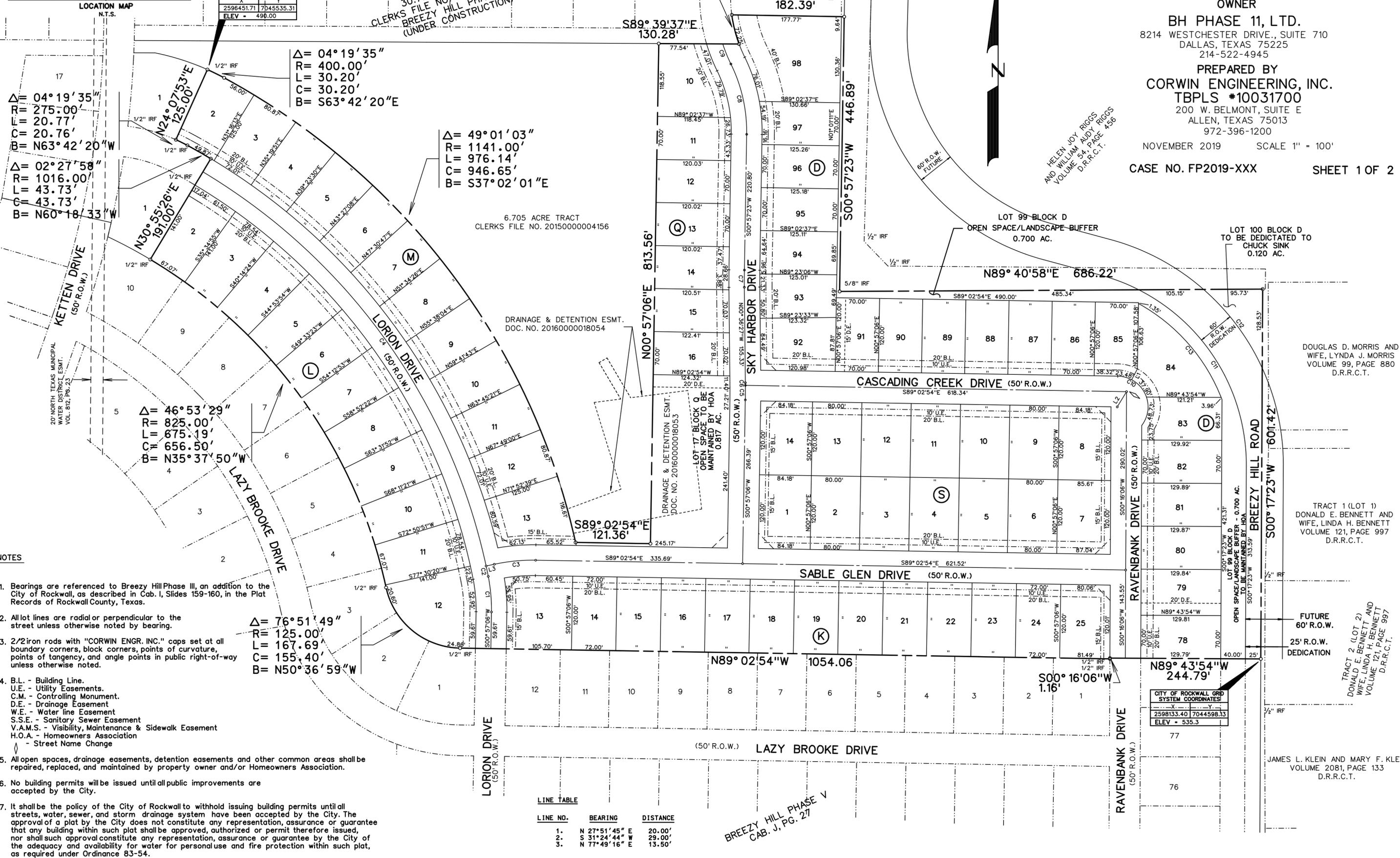


FINAL PLAT
OF
BREEZY HILL PHASE XI
78 LOTS, BEING 23.849 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
BH PHASE 11, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
TBPLS #10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

NOVEMBER 2019 SCALE 1" = 100'
CASE NO. FP2019-XXX SHEET 1 OF 2



NOTES

- Bearings are referenced to Breezy Hill Phase III, an addition to the City of Rockwall, as described in Cab. I, Slides 159-160, in the Plat Records of Rockwall County, Texas.
- All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
- 2/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
- B.L. - Building Line.
U.E. - Utility Easements.
C.M. - Controlling Monument.
D.E. - Drainage Easement
W.E. - Water line Easement
S.S.E. - Sanitary Sewer Easement
V.A.M.S. - Visibility, Maintenance & Sidewalk Easement
H.O.A. - Homeowners Association
- Street Name Change
- All open spaces, drainage easements, detention easements and other common areas shall be repaired, replaced, and maintained by property owner and/or Homeowners Association.
- No building permits will be issued until all public improvements are accepted by the City.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer, and storm drainage system have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 27°51'45" E	20.00'
2.	S 31°24'44" W	29.00'
3.	N 77°49'16" E	13.50'

BREEZY HILL PHASE V
CAB. J, PG. 27

CITY OF ROCKWALL GRID SYSTEM COORDINATES	X	Y
	2598133.40	7044598.33
ELEV =	535.3	

TRACT 1 (LOT 1)
DONALD E. BENNETT AND WIFE, LINDA H. BENNETT
VOLUME 121, PAGE 997
D.R.R.C.T.

TRACT 2 (LOT 2)
DONALD E. BENNETT AND WIFE, LINDA H. BENNETT
VOLUME 121, PAGE 997
D.R.R.C.T.

DOUGLAS D. MORRIS AND WIFE, LYNDA J. MORRIS
VOLUME 99, PAGE 880
D.R.R.C.T.

JAMES L. KLEIN AND MARY F. KLEIN
VOLUME 2081, PAGE 133
D.R.R.C.T.

LEGAL DESCRIPTION

BEING, a tract of land situated in the J. Strickland Survey, Abstract No. 187 in the City of Rockwall, Rockwall County, Texas, being out of a 39.298 acre tract, as described in Clerks File No. 20130000498882 in the Deed Records of Rockwall County, Texas and being all of a 2.944 acre tract, as described in Clerks File No. 20180000010717 and being more particularly described as follows:

BEGINNING, at a 1/2 inch iron rod found at the northeast corner of Breezy HillPhase V, as addition to the City of Rockwall, as described in a Cab. J, Pg. 27 in the Plat Records of Rockwall County, Texas and being in the east line of said 39.298 acre tract same being in Breezy Hill Road (Variable R.O.W.):

THENCE, North 89° 43'54" West, along the north line of said Breezy HillPhase V, for a distance of 244.79 feet, to a 1*2 inch iron rod found:

THENCE, South 00° 16'06" West, continuing along said north line, for a distance of 1.16 feet, to a 1*2 inch iron rod found:

THENCE, North 89° 02'54" West, continuing along said north line, for a distance of 1054.06 feet, to a 1/2 inch iron rod found at the point of curvature of a curve to the right, having a radius of 125.00 feet, a central angle of 76° 51'49":

THENCE, continuing along said north line and with said curve to the right for an arc distance of 167.69 feet (Chord Bearing North 50° 36'59" West 155.40 feet), to a 1/2 inch iron rod found at the point of reverse curvature of a curve to the left, having a radius of 825.00 feet, a central angle of 46° 53'29":

THENCE, continuing along said north line and said with curve to the left for an arc distance of 675.19 feet (Chord Bearing North 35° 37'50" West 656.50 feet), to a 1/2 inch iron rod found at the most southerly southeast corner of Breezy HillPhase VI, an addition to the City of Rockwall, as described in Cab. J Pg. 291 in said Plat Records:

THENCE, North 30° 55'26" East, departing said north line and along the east line of said Breezy HillPhase VI, for a distance of 191.00 feet, to a 1/2 inch iron rod found on a curve to the left, having a radius of 1016.00 feet, a central angle of 02° 27'58":

THENCE, continuing along said east line and with curve to the left for an arc distance of 43.73 feet (Chord Bearing North 60° 18'33" West 43.73 feet), to a 1/2 inch iron rod found at the point of compound curvature of a curve to the left, having a radius of 275.00 feet, a central angle of 04° 19'35":

THENCE, continuing along said east line and with said curve to the left for an arc distance of 20.77 feet (Chord Bearing North 63° 42'20" West 20.76 feet), to a 1/2 inch iron rod found:

THENCE, North 24° 07'53" East, continuing along said east line, for a distance of 125.00 feet, to a 1/2 inch iron rod found in the south line of a 6.705 acre tract, as described in Clerks File No. 20150000004156 in said Deed Records and being in the north line of said 39.298 acre tract being on a curve to the right, having a radius 400.00 feet, a central angle of 04° 19'35":

THENCE, along the south line of said 6.705 acre tract and north line of said 39.298 acre tract with said curve to the right for an arc distance of 30.20 feet (Chord Bearing South 63° 42'20" East 30.20 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of compound curvature of a curve to the right, having a radius of 1141.00 feet, a central angle of 49° 01'03":

THENCE, continuing along said lines and with said curve to the right for an arc distance of 976.14 feet (Chord Bearing South 37° 02'01" East 946.65 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the most southerly southwest corner of said 6.705 acre tract:

THENCE, South 89° 02'54" East, continuing along said lines, for an arc distance of 121.36 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the most southerly southeast corner of said 6.705 acre tract and being an interior ell corner of said 39.298 acre tract:

THENCE, North 00° 57'06" East, along the east line of said 6.705 acre tract and a west line of said 39.298 acre tract, at 390.00 feet, passing the southwest corner of said 2.944 acre tract and a northwest corner of said 39.298 acre tract, continuing for a total distance of 813.56 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the northeast corner of said 6.705 acre tract and being in the south line of a 30.728 acre tract, as described Clerks File No. 20170000023682, in said Deed Records same being the northwest corner of said 2.944 acre tract:

THENCE, South 89° 39'37" East, along the south line of said 30.728 acre tract and the north line of said 2.944 acre tract, for a distance of 130.28 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", on a non-tangent curve to the right, having a radius of 225.00 feet, a central angle of 12° 28'10":

THENCE, continuing along said north and south lines and with said curve to the right for an arc distance of 48.97 feet (Chord Bearing North 14° 00'23" West 48.87 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.":

THENCE, South 89° 02'37" East, continuing along said lines, for a distance of 182.39 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the northeast corner of said 2.944 acre tract and being an ell corner of said 30.728 acre tract being in the west line of a 2.64 acre tract, as described in Vol. 4341, Pg. 2426, in the Deed Records of Collin County, Texas:

THENCE, South 00° 57'23" West, along east line of said 2.944 acre tract, at 430.02 feet, passing the southeast corner of said 2.944 acre tract and an ell corner of said 39.298 acre tract and continuing with the west line of said 2.64 acre tract, for a total distance of 446.89 feet, to a 5/8 inch iron rod found at the southwest corner of said 2.64 acre tract:

THENCE, North 89° 40'58" East, along the south line of said 2.64 acre tract, for a distance of 686.22 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc." at the southeast corner of said 2.64 acre tract being in said Breezy HillRoad same being in the east line of said 39.298 acre tract:

THENCE, South 00° 17'23" West, along the east line of said 39.298 acre tract and Breezy Hill Road, for a distance of 601.42 feet, to the POINT OF BEGINNING and containing 23.849 acres of land.

OWNER'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL
We the undersigned owner"s" of the land shown on this plat, and designated herein as the BREEZY HILL PHASE XI, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration thereinexpressed. We further certify that all other parties who have a mortgage or lien interest in the BREEZY HILL PHASE XI, subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. The Homeowners Association is responsible for maintaining all non-standard decorative signs, poles/post, hardware or other non standard items. The City of Rockwall has no maintenance or other responsibility related to these items. The City of Rockwall and the Homeowners Association agree the association will bear any and all maintenance cost related the said improvements. The City has the statutory authority to install and maintain Traffic Control Devices for Vehicular traffic on public Streets/Roads within the public right-of-way. This agreement in no way constitutes a change in that authority and does not constitute any delegation of that authority of the Association.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exaction's made herein.

Breezy Hill Phase 11
a Texas limited partnership
By: Breezy Hill Phase 11 GP Corporation,
a Texas corporation, its General Partner

John Arnold Director Mortgage or Lien Interest

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared JOHN ARNOLD, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____, 2019.

Notary Public in and for the State of Texas My Commission Expires: _____

STATE OF TEXAS
COUNTY OF DALLAS
Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this _____ day of _____, 2019.

Notary Public in and for the State of Texas My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Recommended for Final Approval:

Planning & Zoning Commission Date

APPROVED
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2019.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the Court Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2019.

Mayor, City of Rockwall City Secretary City Engineer

SURVEYOR CERTIFICATE

I, WARREN L. CORWIN, do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made under my direction and supervision and all corners are as shown thereon and there are no encroachments, conflicts, protrusions or visible utilities on the ground except as shown and said plat has been prepared in accordance with the platting rules and regulations of the City Plan Commission of the City of Rockwall, Texas.

DATED the this _____ day of _____, 2019.

WARREN L. CORWIN
R.P.L.S. No. 4621

THE STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared WARREN L. CORWIN, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2019.

Notary Public in and for the State of Texas

FINAL PLAT
OF
BREEZY HILL PHASE XI

78 LOTS, BEING 23.849 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
BH PHASE 11, LTD.

8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
TBPLS #10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

NOVEMBER 2019 SCALE 1" = 100'

City of Rockwall Project Plan Review History



Project Number SP2019-043	Owner MILESTONE ELECTRIC, INC.	Applied 11/15/2019	LM
Project Name 405 Ranch Trail	Applicant CLAYMOORE ENGINEERING	Approved	
Type SITE PLAN		Closed	
Subtype AMENDING		Expired	
Status Staff Review		Status	
 Site Address 405 RANCH TRAIL		City, State Zip ROCKWALL, TX 75032	
		Zoning	
Subdivision RAINBOW ACRES	Tract 18 & PT OF 19	Block	Lot No 18 & PT OF
			Parcel No 4720-0000-0018-01-0R
			General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	11/15/2019	11/22/2019				
ENGINEERING	Sarah Johnston	11/15/2019	11/22/2019	11/22/2019	7	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(11/22/2019 10:43 AM SJ)						
M - Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4						
M - No structures in easements. This includes retaining walls and footings. Standards of Design 5.1.3						
M - All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30' min. Standards of Design 2.20						
M - Driveway radii to be 30' min. Standards of Design 2.20						
M - No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 5.1.3						
M - All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.2.11						
M - Minimum easement width is 20' for proposed easements. Standards of Design 5.1.3						
M - Retaining walls in detention require a variance by Planning and Zoning Commission. Standards of Design 3.4.4						
M - All fire lanes or drive isles must be a minimum of 24' wide. Standards of Design and Construction 2.20						
M - Parking to be 20'x9' against the building or nose-to-nose. All other to be 18'x9' min with a 2' clear overhang. Standards of Design 2.19						
M - Must install 5' sidewalk along County Line. Standards of Design and Construction 2.14.						
M - Dumpster area to drain to oil/water separator or grease trap, depending on use. Standards of Design and Construction 3.2.2.12.						
M - Water line must be centered in a 20' easement. Standards of Design and Construction 5.1.3						
M - Must include a 10' utility easement along all street frontage. Standards of Design 5.1.3						
M - Must meet all standards of design and construction.						
I - 4% Engineering inspection fees						
I - Impact fees.						
I - Min 20' utility easements.						
I - Fire lane easement to be on plat.						
I - 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required.						
I - 8" sewer in Ranch Trl.						
I - Sewer pro-rata of \$432.74/acre.						
I - Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls.						
I - Must have detention. Manning's "c-value" is per zoning for the entire property.						
I - If using the pond for detention, it must be over the existing level.						
I - Must have a waters of the US study if touching the pond.						
I - Detention outfall must reach sheet flow conditions prior to crossing the property line.						
I - Engineering review fees apply						
I - Must replace full panels of concrete for the utility tie-ins on Ranch Trail.						
I - No grate inlets allowed.						
I - Include a 2' sawcut line (for the curb and gutter).						
FIRE	Ariana Hargrove	11/15/2019	11/22/2019	11/20/2019	5 COMMENTS	see notes

(11/20/2019 6:38 PM AA)

IFC 903.2 Approved automatic fire sprinkler systems shall be installed in all new buildings with a fire flow calculation area of 5,000 square feet or greater.

The fire-flow calculation area shall be the total floor area of all floor levels within the exterior walls including mezzanines, and under the horizontal projections of the roof of a building.

Note: Review IBC Chapter 6 Table 602 for fire rating requirements for the exterior walls based on fire separation distances.

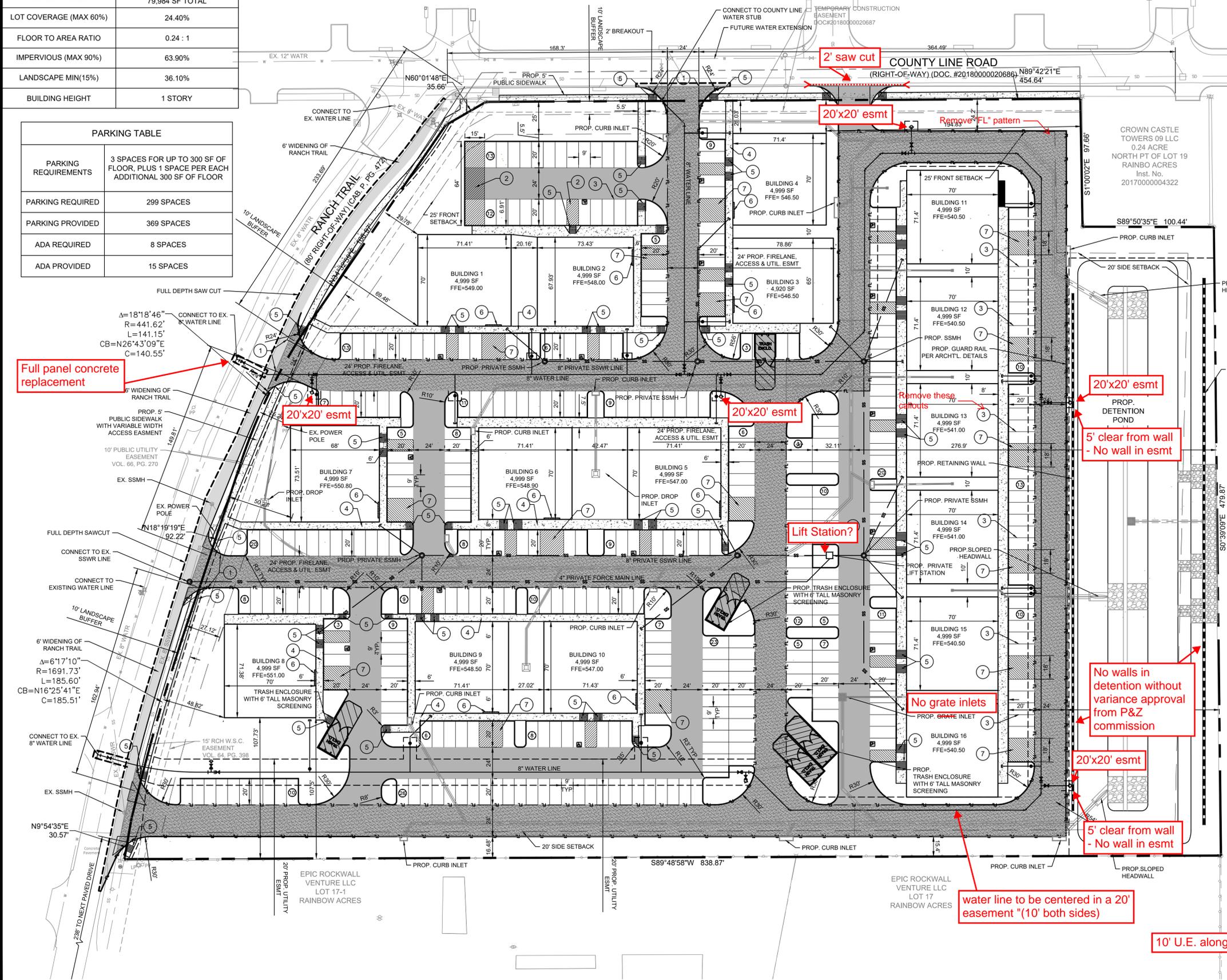
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
GIS	Lance Singleton	11/15/2019	11/22/2019	11/21/2019	6	APPROVED	
PLANNING	Korey Brooks	11/15/2019	11/22/2019	11/22/2019	7	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-043; 407 Ranch Trail						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This a request by Clay Cristy of ClayMoore Engineering, Inc. on behalf of Brian Berry of Milestone Electric, Inc. for the approval of an amended site plan for a multi-tenant office complex on a 9.52-acre tract of land identified as Lot 18 and the south portion of Lot 19, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 407 Ranch Trail.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2019-043) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 Please make the following clarifications on the replat to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
(1) Please note that walls in detention pond will require a variance.						
(2) Please note that the addition of Buildings 11-16 will require a variance to the articulation standards.						
(3) What is happening to the pond that was located on site?						
(4) Please note that each variance will require 2 compensatory measures. Please provide for each variance.						
(5) Please note that the lift station will need to be screened. Please show and label proposed screening.						
(6) Please note that 3-tier screening will be required adjacent to the property line.						
(7) Please show and label the landscape buffer adjacent to Ranch Trail and County Line Road.						
(8) Please show and label the front setback.						
(9) Please use a different hatch for the FL and remove the lines labeled "FL"						
(10) Please provide a different hatch for the areas between the buildings. Are these areas grass?						
(11) Please note that as shown, the driveways do not meet the min spacing requirements.						
(12) Please note, the min size requirement for trees is 4 caliper-inches.						
(13) Please note, the min size requirement for shrubs is 3 gallons.						
(14) Please note, a berm is required adjacent to the street. Please review LS standards.						
(15) Please note, since additional trees are being removed, another alternative tree mitigation plan will need to be approved by the City Council.						
(16) Please note, hydromulch is not allowed. Sod is required.						
(17) Please note that since the building above Buildings 1 & 2 was removed, a variance is required—no parking is allowed between the front of the building and the property line. With the building there, the parking was on the side of the building.						
(18) Please check interior radii. It appears that the radii along the southern drive aisle are below the min requirement.						
(19) Please provide topo on plans						
I.6 Please note that failure to address all comments provided by staff by 5:00 PM on December 3, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.						
I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested.						
o Revisions for this case will be due on December 3, 2019;						
o The Planning & Zoning Worksession is November 26, 2019.						
o The Planning and Zoning Commission Meeting for this case is December 10, 2019						
o The City Council Meeting for this case is December 16, 2019.						

SITE DATA TABLE	
SITE AREA	7.52 AC 327,554 SF
ZONING	C - COMMERCIAL
PROPOSED USE	COMMERCIAL
BUILDING SIZE	16 BLDG @ 4,999 SF 79,984 SF TOTAL
LOT COVERAGE (MAX 60%)	24.40%
FLOOR TO AREA RATIO	0.24 : 1
IMPERVIOUS (MAX 90%)	63.90%
LANDSCAPE MIN(15%)	36.10%
BUILDING HEIGHT	1 STORY

- NOTES
- DUMPSTERS SHALL HAVE AN OPAQUE, SELF-LATCHING GATE.
 - ROLL UP DOORS SHALL NOT BE VISIBLE FROM THE STREET.
 - A BASE SUB-GRADE PER THE GEOTECHNICAL REPORT IS REQUIRED BENEATH ALL PAVING.

PARKING TABLE	
PARKING REQUIREMENTS	3 SPACES FOR UP TO 300 SF OF FLOOR, PLUS 1 SPACE PER EACH ADDITIONAL 300 SF OF FLOOR
PARKING REQUIRED	299 SPACES
PARKING PROVIDED	369 SPACES
ADA REQUIRED	8 SPACES
ADA PROVIDED	15 SPACES



- 4% Engineering inspection fees (i)
- Impact fees. (i)
- Min 20' utility easements. (i)
- No structures in easements. (m)
- Fire lane easement to be on plat. (i)
- Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). (m)
- Parking to be 20'x9' (m)
- 8" water available across Ranch Trl. Must loop 8" waterline in site. Full panel concrete replacement required.
- 8" sewer in Ranch Trl. (i)
- Sewer pro-rata of \$432.74/acre. (i)
- Must install 5' sidewalk along County Line. (m)
- Dumpster area to drain to oil/water separator or grease trap, depending on use. (m)
- No trees within 5' of public utilities. (m)
- Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
- Must have detention. Manning's "c-value" is per zoning for the entire property. (i)
- If using the pond for detention, it must be over the existing level. (i)
- Must have a waters of the US study if touching the pond. (i)
- Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
- Must meet all city engineering standards. (m)
- Engineering review fees apply (i)
- Fire hydrants to have 5' clearance around (Even from parking spaces) (m)
- No walls in utility esmts (m)
- Must meet all Standards of Design and Construction

	PROPOSED RANCH TRAIL EXTENSION (8" CONCRETE)
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE
	FULL DEPTH SAWCUT
	PARKING COUNT

CONSTRUCTION SCHEDULE	
①	15' VISIBILITY TRIANGLES
②	PAVEMENT STRIPING
③	PARKING STALL STRIPING, 4" WIDE
④	SIDEWALK, 5FT MIN. WIDTH
⑤	ADA ACCESSIBLE RAMP
⑥	APPROXIMATE LOCATION OF OVERHEAD DOOR
⑦	LOADING ZONE
⊕	PROPOSED FIRE HYDRANT
Ⓜ	ADA PARKING SYMBOL

RANCH TRAIL OFFICE PARK
405 RANCH TRAIL
ROCKWALL, TX 75087

LEGAL DESCRIPTION AND OR ADDRESS:
RAINBOW ACRES,
LOT 18 & S PT OF 19,
ACRES 9.52

OWNER:
JT ALLIANCE, INC.
16 MEADOWLAKE DRIVE
HEATH, TX 75032

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

CASE NUMBER
SP2019-003

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

1105 CREEK SPARGER RD. SUITE #1
COLLEVILLE, TX 75006
PHONE: 817.281.0572
WWW.CLAYMOORE.COM

PRELIMINARY

FOR REVIEW ONLY
Not for construction purposes.

CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS

Engineer: CLAY CRISTY
P.E. No. 109800, Date 10/18/2019

RANCH TRAIL OFFICE PARK
405 RANCH TRAIL
ROCKWALL, TEXAS 75032

NO.	DATE	REVISION	BY

SITE PLAN

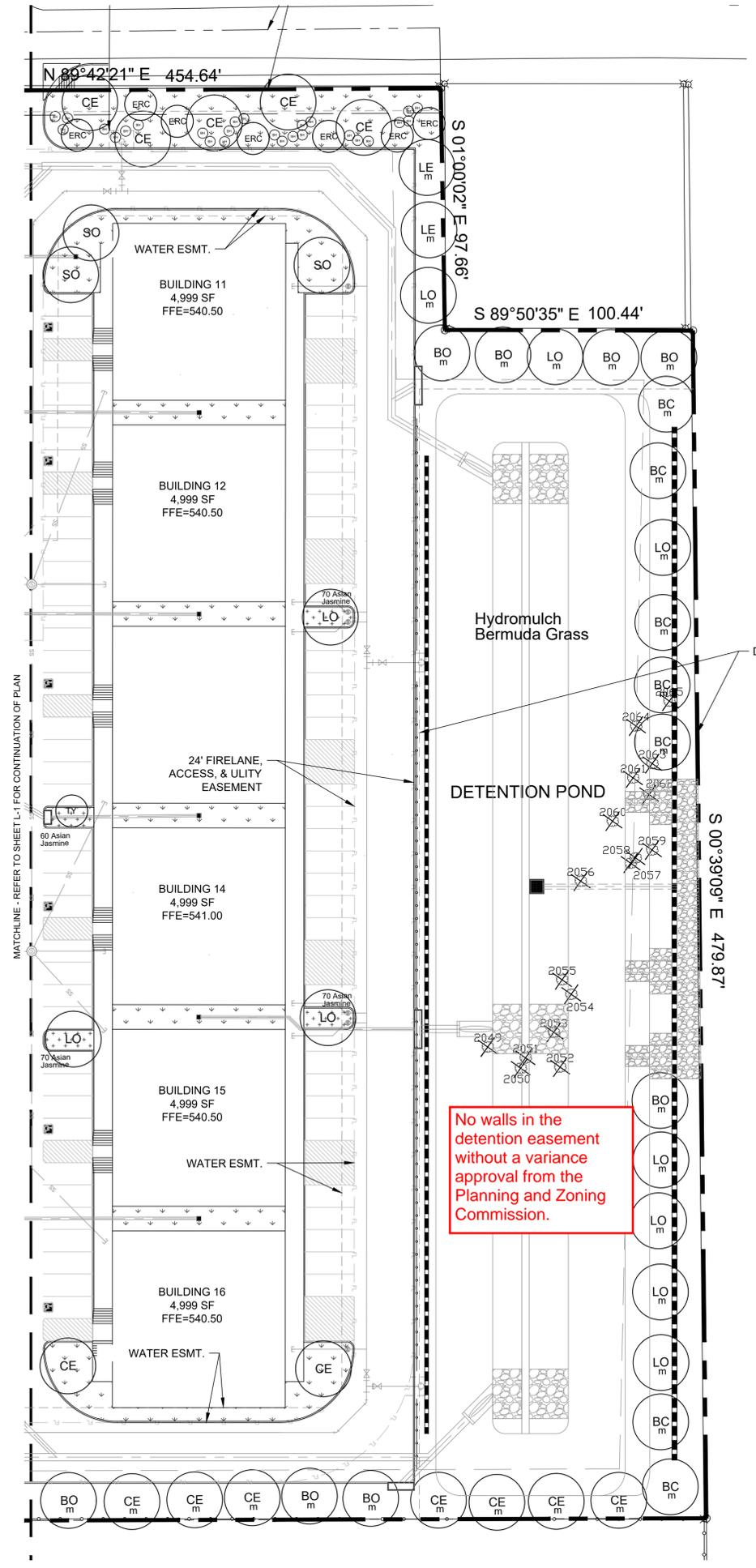
DESIGN: CLC
DRAWN: LRR
CHECKED: CLC
DATE: 10/18/2019

SHEET
SP-1

File No. 2019-003

MARK TORRES
PLOTTED BY: 10/18/2019 9:30 AM
PLOT DATE: 10/18/2019 9:30 AM
LOCATION: Z:\PROJECTS\PROJECTS\2019-001 RANCH TRAIL ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
LAST SAVED: 10/17/2019 5:36 PM

PLOTTED BY: SCOTT FULMILLER
 PLOT DATE: 10/23/2019 11:46 AM
 LOCATION: C:\USERS\SCOTT FULMILLER\DOCUMENTS\AUTOCAD\LRD\RANCH TRAIL\RANCH TRAIL_L15.DWG
 LAST SAVED: 10/21/2019 1:24 PM



No walls in the detention easement without a variance approval from the Planning and Zoning Commission.

TREE LEGEND

- Canopy Trees**
- SO Shumard Oak
 - BO Bur Oak
 - LE Bosque Elm
 - CO Chinquapin Oak
 - LO Live Oak
 - CE Cedar Elm
 - BC Bald Cypress
 - ERC Eastern Red Cedar
 - + Mitigation trees
 - X Existing trees to be removed
- Ornamental Trees**
- CR Crapemyrtle
 - TY Tree Yaupon
 - DW Desert Willow

SHRUB LEGEND

- BH Burford Holly
- WM Dwarf Wax Myrtle
- AJ Asian Jasmine
- BBL Big Blue Liriope

HATCH LEGEND

- Asian Jasmine
- Big Blue Liriope
- Solid Sod Bermuda Grass

LANDSCAPE NOTES

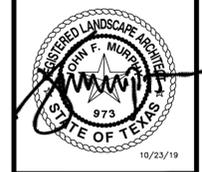
1. The project will have an underground automatic irrigation system to water all new plantings.
2. Install 4" layer of shredded hardwood mulch to all planting beds.
3. Install 4" steel edging between all shrub beds and grass areas.
4. Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand)
5. Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
6. Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
7. Solid sod all areas disturbed by construction activities.
8. No trees within 5' of utilities.
9. No parking space shall be more than 80 feet from a tree.

10. All ROW to be sodded.
 11. Must have 75-80% of all disturbed areas must have a 1" stand of grass, not weeds or winter rye, prior to City Acceptance or C.O./T.C.O.

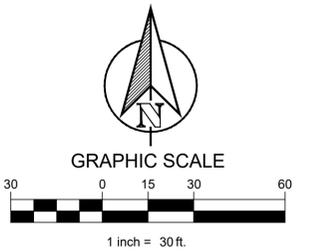
Landscape Architecture - Sustainable Site Planning - Natural Resource Design
John F. Murphy, ASLA
 7529 Cross Gate Way
 Tyler, TX 75703
 john@siteint.com
 scott@siteint.com

TEXAS REGISTRATION #14199

 PHONE: 817.281.0872
 1705 CREEK SPARGER RD. SUITE #1
 COLLEVILLE, TX 75841
 WWW.GLAYMOORE.COM



RANCH TRAIL OFFICE PARK
 405 RANCH TRAIL
 ROCKWALL, TEXAS 75032



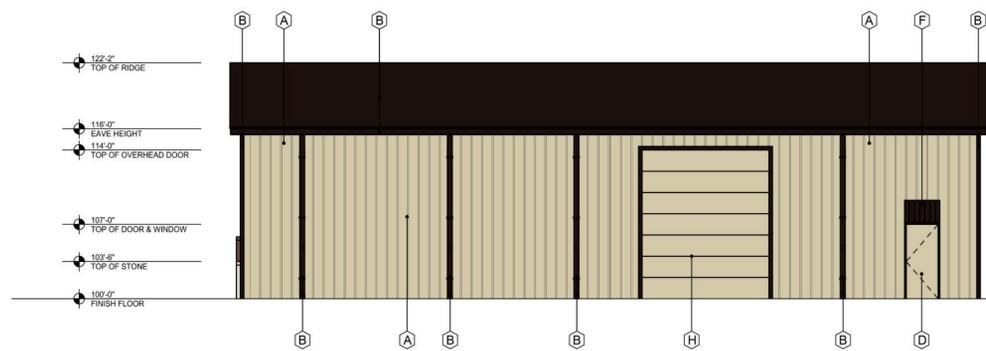
RANCH TRAIL OFFICE PARK 405 RANCH TRAIL ROCKWALL, TX 75087	
LEGAL DESCRIPTION AND OR ADDRESS: RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.52	
OWNER: JT ALLIANCE, INC. 16 MEADOWLAKE DRIVE HEATH, TX 75032	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER SP2019-003	

DESIGN:	CLC
DRAWN:	LRR
CHECKED:	CLC
DATE:	10/23/2019

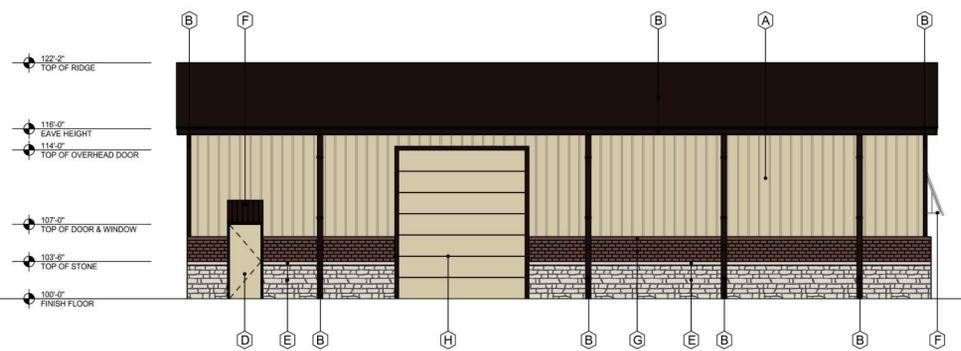
LANDSCAPE PLAN
 SHEET
L-1
 File No. 2019-001

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SITE DATA TABLE	
SITE AREA	7.52 ACRES (327,554 SF)
ZONING	C - COMMERCIAL
PROPOSED USE	COMMERCIAL
BUILDING SIZE	11 BUILDINGS @ 4,900 SF 54,989 SF TOTAL
LOT COVERAGE	36.9%
FLOOR TO AREA RATIO	0.17 : 1
BUILDING HEIGHT	1 STORY

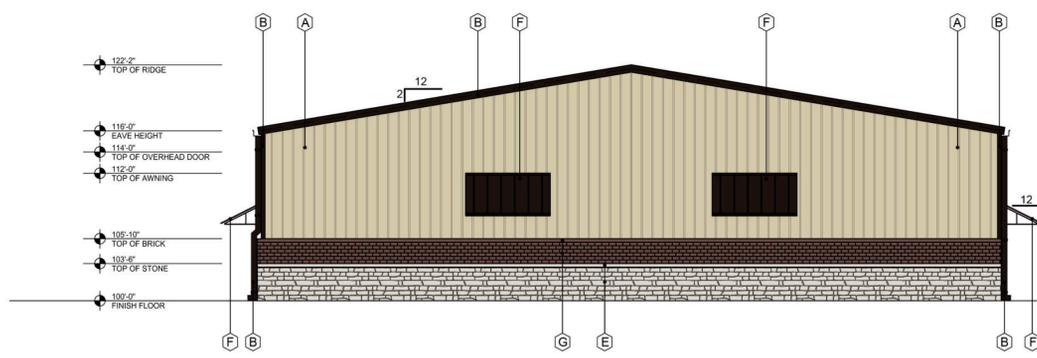


4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"
MASONRY - 0%

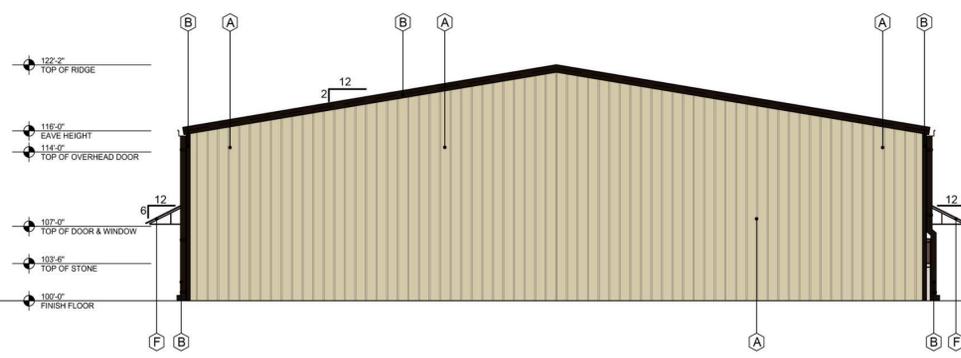


3 NORTH ELEVATION - STREET SIDE
SCALE: 3/16"=1'-0"
MASONRY -
BRICK: 12 %
STONE: 19 %
TOTAL: 31 %

EXTERIOR FINISH SCHEDULE	
A	PREFINISHED METAL WALL PANELS; COLOR: STONE
B	ROOF, PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM; COLOR: BURNISH SLATE
C	ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED
D	EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT; COLOR: MATCH - A
E	STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP
F	PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE
G	BRICK VENEER COLOR: ACME, OXFORD PLACE
H	OVERHEAD DOOR - 12x14 COLOR: MATCH - A



2 WEST ELEVATION - STREET SIDE
SCALE: 1/8"=1'-0"
MASONRY -
BRICK: 14 %
STONE: 21 %
TOTAL: 35 %



1 EAST ELEVATION
SCALE: 1/8"=1'-0"
MASONRY - 0%

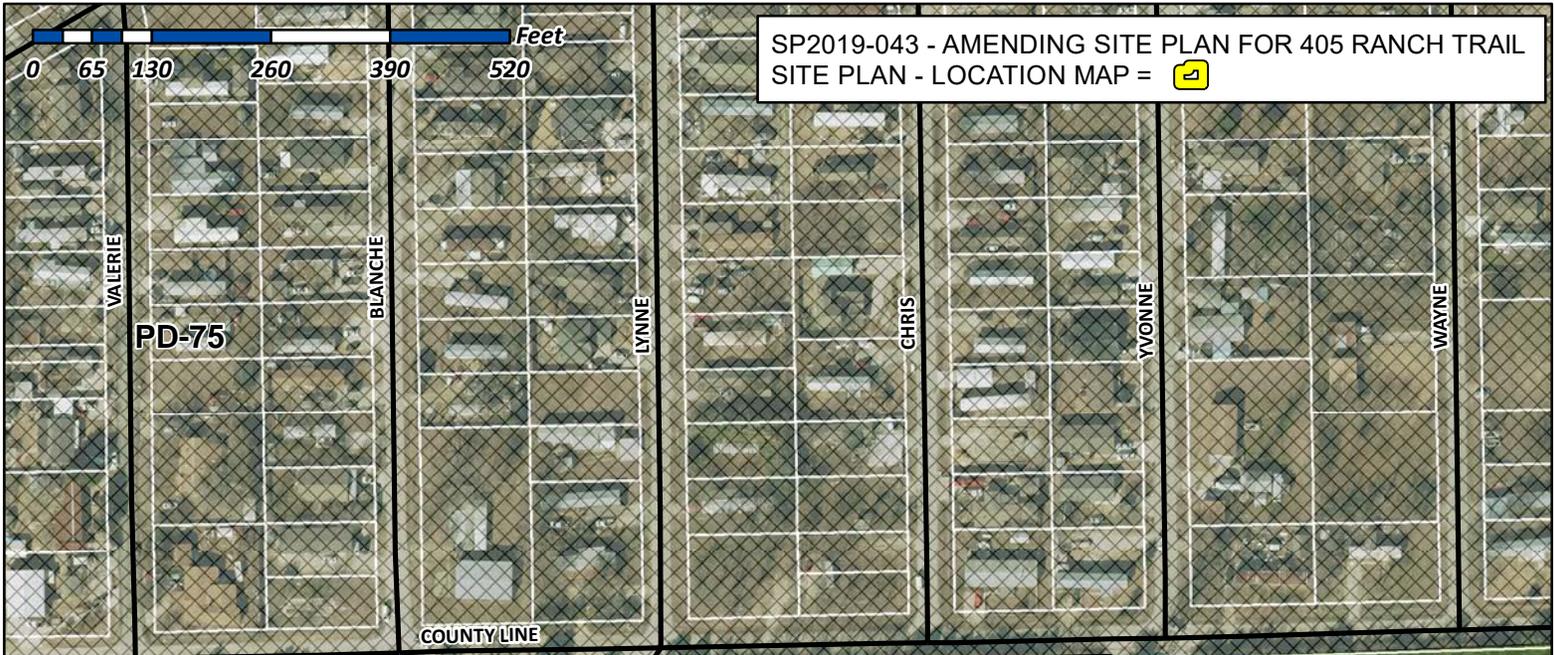
RANCH TRAIL ROCKWALL, TX 75087	
<small>LEGAL DESCRIPTION AND OR ADDRESS:</small>	
RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES	
<small>OWNER</small>	
JT Alliance, Inc. 16 Meadowlake Drive Heath, TX 75032	
<small>APPLICANT</small>	
Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 Email: jc@carrollarch.com	
<small>CASE NUMBER</small> SP2019-003	

OFFICEWAREHOUSE PROJECT
for
RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

RANCH TRAIL DEVELOPMENT
2. ESSEX COURT
HEATH, TX 75032

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
T: 972-732-6085
F: 972-732-8058

EXTERIOR ELEVATIONS



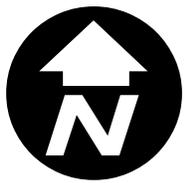
SP2019-043 - AMENDING SITE PLAN FOR 405 RANCH TRAIL
 SITE PLAN - LOCATION MAP =



City of Rockwall

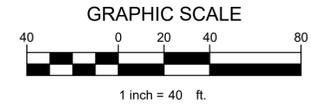
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



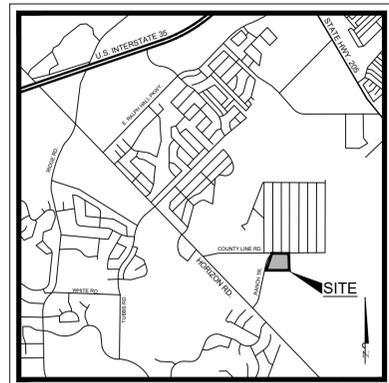
SITE DATA TABLE	
SITE AREA	7.52 AC 327,554 SF
ZONING	C - COMMERCIAL
PROPOSED USE	COMMERCIAL
BUILDING SIZE	16 BLDG @ 4,999 SF 79,984 SF TOTAL
LOT COVERAGE (MAX 60%)	24.40%
FLOOR TO AREA RATIO	0.24 : 1
IMPERVIOUS (MAX 90%)	63.90%
LANDSCAPE MIN(15%)	36.10%
BUILDING HEIGHT	1 STORY

- NOTES
- DUMPSTERS SHALL HAVE AN OPAQUE, SELF-LATCHING GATE.
 - ROLL UP DOORS SHALL NOT BE VISIBLE FROM THE STREET.
 - A BASE SUB-GRADE PER THE GEOTECHNICAL REPORT IS REQUIRED BENEATH ALL PAVING.



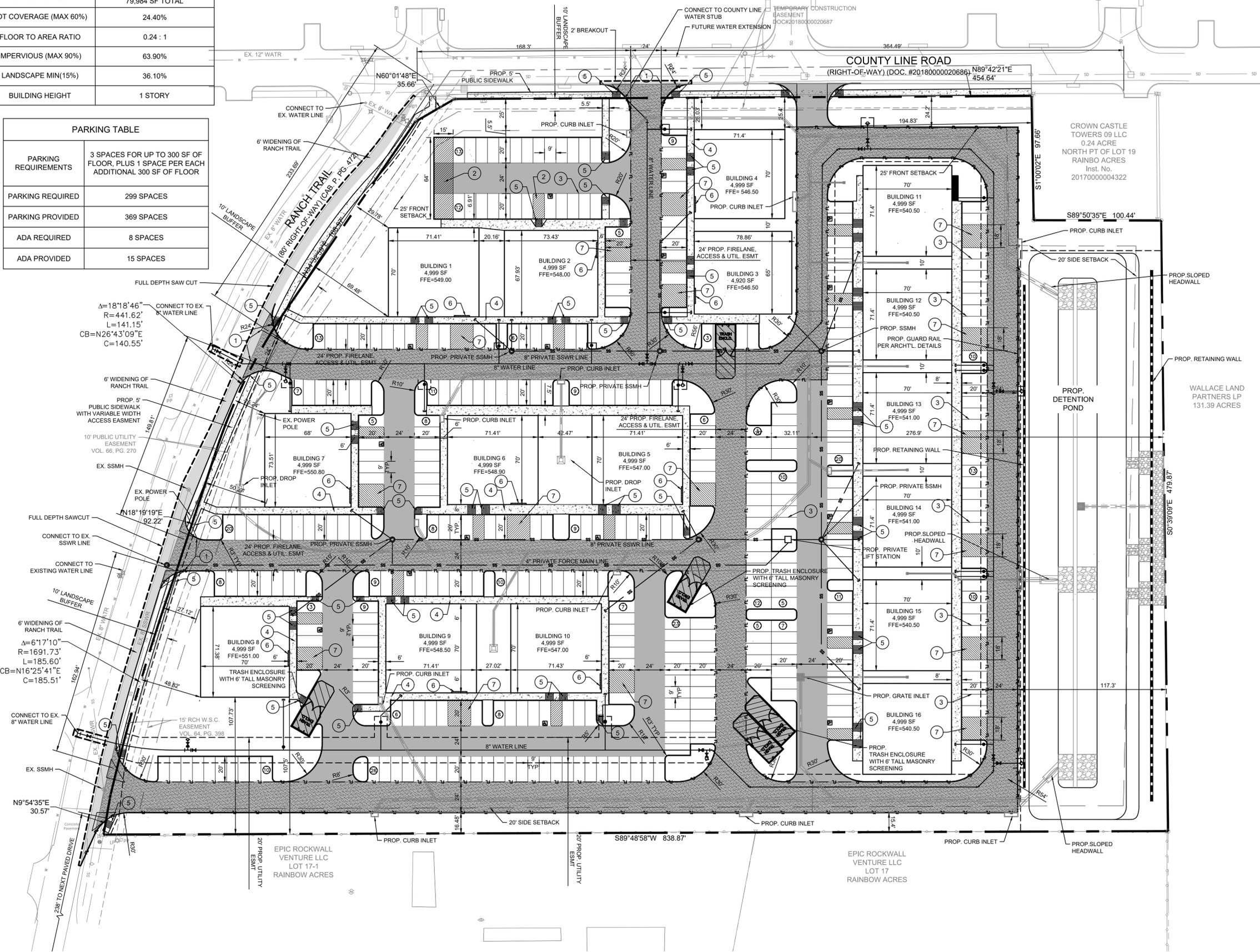
TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
 1105 CREEK SPARGER RD. SUITE #1
 COLLEVILLE, TX 75046
 PHONE: 817.281.0572
 WWW.CLAYMOORE.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 Engineer: CLAY CRISTY
 P.E. No. 109800, Date 10/18/2019



VICINITY MAP
N.T.S.

PARKING TABLE	
PARKING REQUIREMENTS	3 SPACES FOR UP TO 300 SF OF FLOOR, PLUS 1 SPACE PER EACH ADDITIONAL 300 SF OF FLOOR
PARKING REQUIRED	299 SPACES
PARKING PROVIDED	369 SPACES
ADA REQUIRED	8 SPACES
ADA PROVIDED	15 SPACES



CONSTRUCTION SCHEDULE	
[Symbol]	STANDARD DUTY (5" CONCRETE)
[Symbol]	HEAVY DUTY (6" CONCRETE)
[Symbol]	DUMPSTER PAD (7" CONCRETE)
[Symbol]	PROPOSED SIDEWALK CONCRETE
[Symbol]	PROPOSED RANCH TRAIL EXTENSION (8" CONCRETE)
[Symbol]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PROPOSED FIRE LANE
[Symbol]	FULL DEPTH SAWCUT
[Symbol]	PARKING COUNT

CONSTRUCTION SCHEDULE	
[Symbol]	15' VISIBILITY TRIANGLES
[Symbol]	PAVEMENT STRIPING
[Symbol]	PARKING STALL STRIPING, 4" WIDE
[Symbol]	SIDEWALK, 5FT MIN. WIDTH
[Symbol]	ADA ACCESSIBLE RAMP
[Symbol]	APPROXIMATE LOCATION OF OVERHEAD DOOR
[Symbol]	LOADING ZONE
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	ADA PARKING SYMBOL

RANCH TRAIL OFFICE PARK
 405 RANCH TRAIL
 ROCKWALL, TX 75087

LEGAL DESCRIPTION AND OR ADDRESS:
 RAINBOW ACRES,
 LOT 18 & S PT OF 19,
 ACRES 9.52

OWNER:
 JT ALLIANCE, INC.
 16 MEADOWLAKE DRIVE
 HEATH, TX 75032

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PH: 817.281.0572

CASE NUMBER
 SP2019-003

RANCH TRAIL OFFICE PARK
 405 RANCH TRAIL
 ROCKWALL, TEXAS 75032

No.	DATE	REVISION	BY

SITE PLAN

DESIGN: CLC
 DRAWN: LRR
 CHECKED: CLC
 DATE: 10/18/2019

SHEET
SP-1

File No. 2019-003

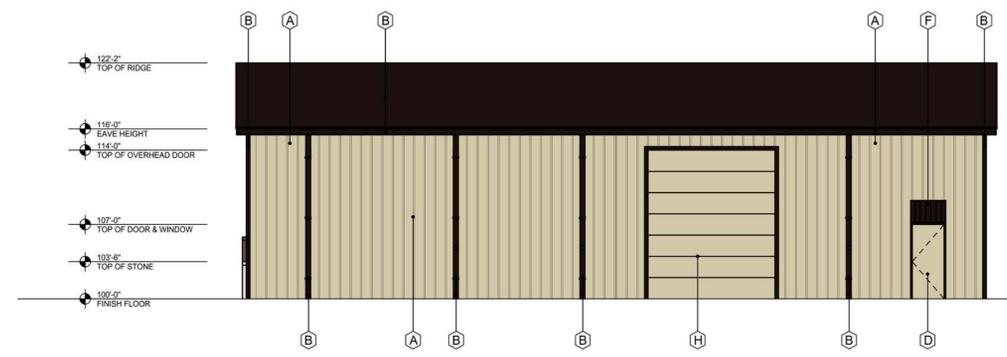
MARK TORRES
 10/18/2019 9:30 AM
 PLOTTED BY:
 PLOT DATE:
 LOCATION:
 Z: \PROJECTS\PROJECTS\2019-001 RANCH TRAIL ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN.DWG
 LAST SAVED: 10/17/2019 5:36 PM

ISSUE: OWNER REVIEW: 01-18-2018

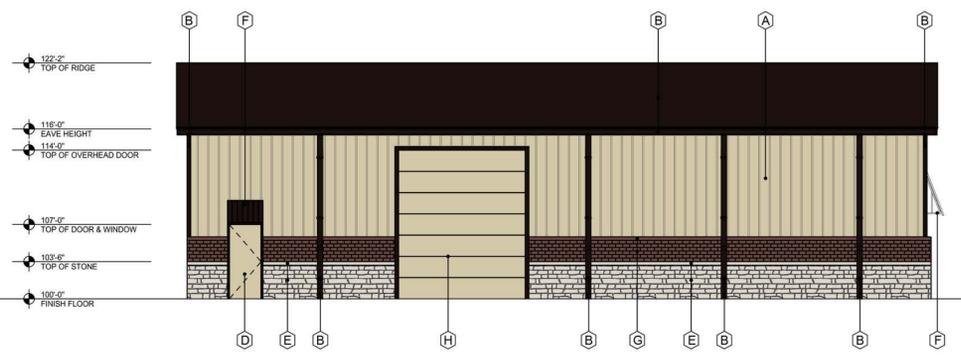
COPYRIGHT NOTICE: This drawing and its contents are the property of Carroll Architects, Inc. and are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Carroll Architects, Inc. Under such protection, unauthorized use may result in cessation of construction, building seizure, and/or monetary liability.

SITE DATA TABLE	
SITE AREA	7.52 ACRES (327,554 SF)
ZONING	C - COMMERCIAL
PROPOSED USE	COMMERCIAL
BUILDING SIZE	11 BUILDINGS @ 4,900 SF 54,989 SF TOTAL
LOT COVERAGE	36.9%
FLOOR TO AREA RATIO	0.17 : 1
BUILDING HEIGHT	1 STORY

OFFICEWAREHOUSE PROJECT
for
RANCH TRAIL DEVELOPMENT
407 RANCH TRAIL
ROCKWALL, TX 75032

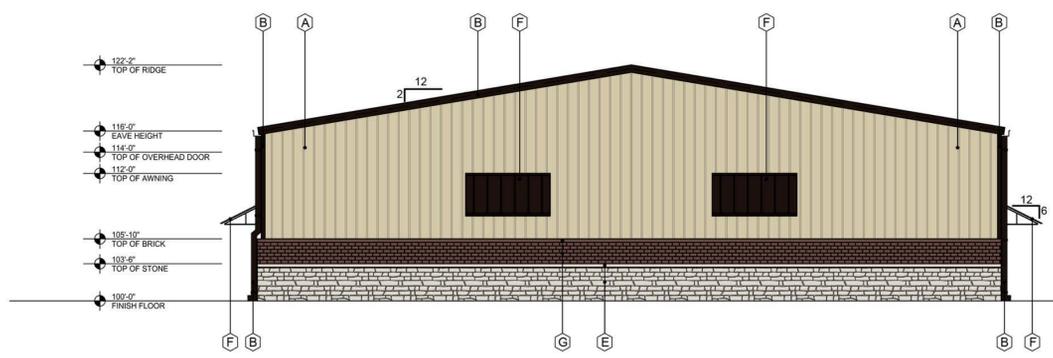


4 SOUTH ELEVATION
SCALE: 1/8"=1'-0"
MASONRY - 0%

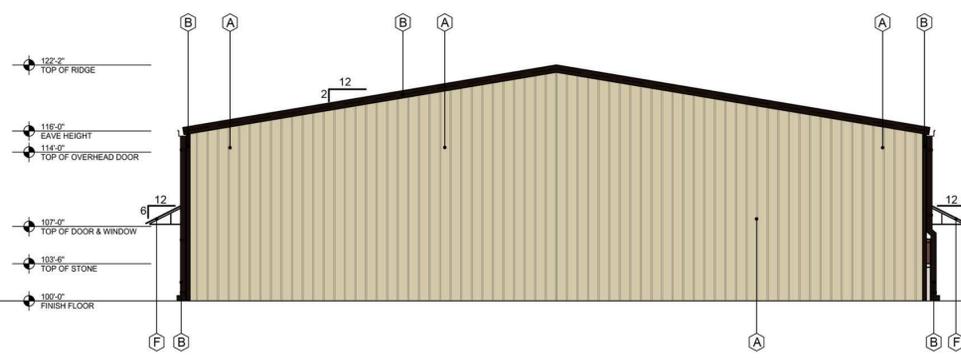


3 NORTH ELEVATION - STREET SIDE
SCALE: 3/16"=1'-0"
MASONRY -
BRICK: 12 %
STONE: 19 %
TOTAL: 31 %

EXTERIOR FINISH SCHEDULE	
A	PREFINISHED METAL WALL PANELS; COLOR: STONE
B	ROOF, PREFINISHED GUTTER, DOWNSPOUTS, AND TRIM; COLOR: BURNISH SLATE
C	ALUM. STOREFRONT SYSTEM COLOR: MED. BRONZE - NOT USED
D	EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT; COLOR: MATCH - A
E	STONE VENEER COLOR: BLANCO, SIZE: 8"-12" WITH 4" PRECAST CAP
F	PREFINISHED METAL AWNING BY METAL BUILDING CO. COLOR: BURNISH SLATE
G	BRICK VENEER COLOR: ACME, OXFORD PLACE
H	OVERHEAD DOOR - 12x14 COLOR: MATCH - A



2 WEST ELEVATION - STREET SIDE
SCALE: 1/8"=1'-0"
MASONRY -
BRICK: 14 %
STONE: 21 %
TOTAL: 35 %



1 EAST ELEVATION
SCALE: 1/8"=1'-0"
MASONRY - 0%

RANCH TRAIL ROCKWALL, TX 75087	
LEGAL DESCRIPTION AND OR ADDRESS:	
RAINBOW ACRES, LOT 18 & S PT OF 19, 9.76 ACRES	
OWNER	
JT Alliance, Inc. 16 Meadowlake Drive Heath, TX 75032	
APPLICANT	
Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 Email: jc@carrollarch.com	
CASE NUMBER SP2019-003	

RANCH TRAIL DEVELOPMENT

2. ESSEX COURT
HEATH, TX 75032

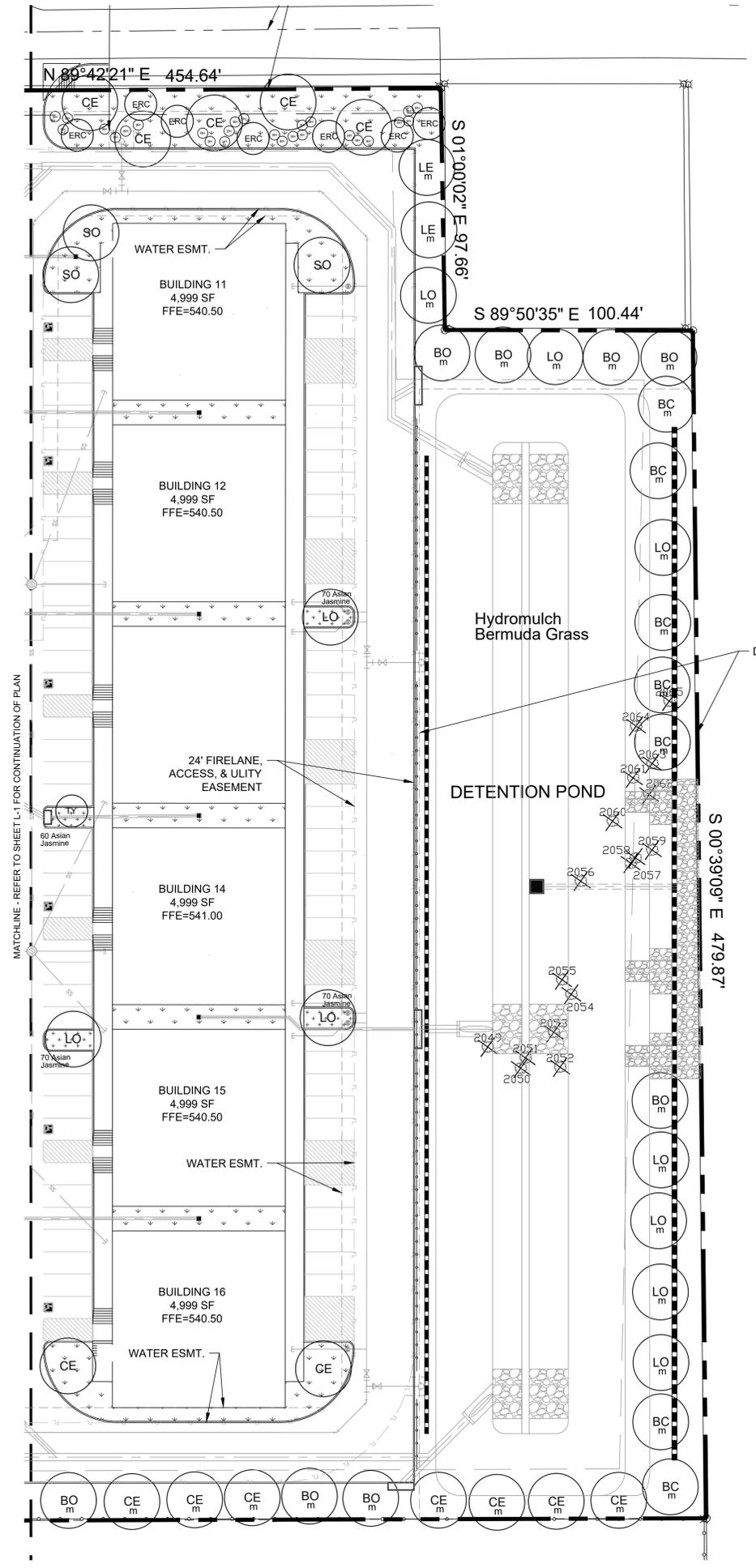


750 E. Interstate 30
Suite 110
Rockwall, TX 75087
T: 972-732-6085
F: 972-732-8058

EXTERIOR ELEVATIONS

DATE: SHEET NO:
JAN 2019
PROJECT NO:
2019001
DRAWN BY:
A501
CHECKED BY:

PLOTTED BY: SCOTT FULMILLER
 PLOT DATE: 10/23/2019 11:46 AM
 LOCATION: C:\USERS\SCOTT.FULMILLER\DOCUMENTS\AUTOCAD_LRD\RANCH TRAIL\RANCH TRAIL_L15.DWG
 LAST SAVED: 10/21/2019 1:24 PM



TREE LEGEND

- Canopy Trees**
- SO Shumard Oak
 - LE Bosque Elm
 - LO Live Oak
 - BC Bald Cypress
 - BO Bur Oak
 - CO Chinquapin Oak
 - CE Cedar Elm
 - ERC Eastern Red Cedar
 - TY Tree Yaupon
 - DW Desert Willow
 - CR Crapemyrtle
- Ornamental Trees**
- TY Tree Yaupon
 - ERC Eastern Red Cedar
- Mitigation trees** (Symbol: +)
- Existing trees to be removed** (Symbol: X)

SHRUB LEGEND

- BH Burford Holly
- WM Dwarf Wax Myrtle
- AJ Asian Jasmine
- BBL Big Blue Liriope

HATCH LEGEND

- Asian Jasmine
- Solid Sod Bermuda Grass
- Big Blue Liriope

LANDSCAPE NOTES

- The project will have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 12 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand)
- Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- Solid sod all areas disturbed by construction activities.
- No trees within 5' of utilities.
- No parking space shall be more than 80 feet from a tree.

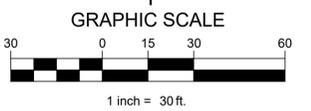
site integration studio
 Landscape Architecture - Sustainable Site Planning - Natural Resource Design
John F. Murphy, ASLA
 7529 Cross Gate Way
 Tyler, TX 75703
 john@siteint.com
 scout@siteint.com

TEXAS REGISTRATION #14199

 PHONE: 817.281.0872
 1705 CREEK SPARGER RD. SUITE #1
 COLLEVILLE, TX 75004
 WWW.GLAYMOORE.COM



RANCH TRAIL OFFICE PARK
405 RANCH TRAIL
ROCKWALL, TEXAS 75032



RANCH TRAIL OFFICE PARK 405 RANCH TRAIL ROCKWALL, TX 75087	
LEGAL DESCRIPTION AND OR ADDRESS: RAINBOW ACRES, LOT 18 & S PT OF 19, ACRES 9.52	
OWNER: JT ALLIANCE, INC. 16 MEADOWLAKE DRIVE HEATH, TX 75032	
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572	
CASE NUMBER SP2019-003	

DESIGN:	CLC
DRAWN:	LRR
CHECKED:	CLC
DATE:	10/23/2019

LANDSCAPE PLAN
 SHEET
L-2
 File No. 2019-001

City of Rockwall Project Plan Review History



Project Number SP2019-044	Owner MCCLINTOSH, JIMMY	Applied 11/18/2019	DG
Project Name Office Complex	Applicant Ramsay & Reyes, LLC	Approved	
Type SITE PLAN		Closed	
Subtype		Expired	
Status Staff Review		Status	
Site Address 409 W WASHINGTON ST		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision WASHINGTON PLACE	Tract	Block W/2 OF 14	Lot No
		Parcel No 4180-0014-0000-B0-OR	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	11/18/2019	11/25/2019	11/18/2019		APPROVED	
ENGINEERING	Sarah Johnston	11/18/2019	11/25/2019	11/22/2019	4	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(11/22/2019 9:26 AM SJ)						
M - Add note, "No trees within 5' of utilities" to the landscape plan. Standards of Design and Construction Sect. 4.4						
M - Must dimension the distance from the driveways to the nearest driveway on either side. Standards of Design 2.6						
M - Parking near the building or head to head parking to be 20'x9'. All other parking to be 18'x9'. Standards of Design 2.20						
M - No structures in easements. This includes retaining walls and footings. Standards of Design 5.1.3						
M - All fire lane radii to be 20' min. If the building is 36' or taller, the fire lane radius must be 30' min. Standards of Design 2.20						
M - No structures in easements. This includes retaining walls and footings, dumpster and screening wall must be out of easements. Standards of Design 5.1.3						
M - All fire hydrants must have a 20'x20' easement established. Fire hydrants to have 5' of clearance around all sides. Standards of Design 5.2.11						
M - Minimum easement width is 20' for proposed easements. Standards of Design 5.1.3						
M - Retaining walls in detention require a variance Standards of Design 3.4.4						
M - Must stub out the 8" water and 8" sewer to the northern property for future expansion. Standards of Design 5.1.2						
M - All fire lanes or drive isles must be a minimum of 24' wide. Standards of Design and Construction 2.20						
M - Must install a 6' sidewalk along the street frontage. Standards of Design 2.14.						
M - Proposed & existing water and sewer to be shown on site plan (Not separate sheet)						
M - 10' U.E required along ROW						
M - Water line must be looped on-site place water line in fire lane instead of TXDOT ROW. Standards of Design 5.2.2						
M - Must meet all standards of design and construction.						
I - Landscape plan shows walls in detention. Not allowed without variance approval. from P&Z Commission						
I - Was the ROW for Second St. purchased?						
I - 4% Engineering Fees						
I - Impact Fees						
I - Must have detention on-site. Manning's C-value is per zoning						
I - Water and sewer lines must have 10' of easement on both sides						
I - No utilities in detention easements						
I - No grate utilities allowed						
I - Fire Lane paving to be 8" 3600 psi (6.5 sack mix)						
I - No sand allowed under paving.						
I - Walls 3' and over must be engineered						
I - All retaining walls to be rock or stone face. No smooth concrete walls.						
I - If using the pond for detention, it must be over the existing level.						
I - Detention outfall must reach sheet flow conditions prior to crossing the property line.						
I - Will need TxDOT driveway and utility permits.						
I - TIA required w/ fees.						
I - Engineering review fees apply						
FIRE	Ariana Hargrove	11/18/2019	11/25/2019	11/20/2019	2 COMMENTS	See notes
(11/20/2019 6:55 PM AA)						
Additional fire hydrant may be required based on needed fire flow.						
A turning radius of 30-feet for buildings 30-feet or above in height and/or 3 or more stories in height.						
Fire lane cannot exceed 10% in grade change, with cross slope not exceeding 5%. The angles of approach and departure for fire apparatus access roads shall be within the limits established by the fire code official based on the fire department's apparatus.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
GIS (11/20/2019 4:48 PM LS) Address assignment will be: 409 W. Washington St, Rockwall, TX 75087	Lance Singleton	11/18/2019	11/25/2019	11/20/2019	2	APPROVED	See comments
PLANNING	Korey Brooks	11/18/2019	11/25/2019	11/22/2019	4	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-044; 409 W Washington Street						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This a request by Steven Reyes of Ramsay & Reyes, LLC on behalf of Jimmy McClintock of LMGC, LLC for the approval of a site plan for an office building on a 0.739-acre tract of land identified as a portion of Lot 14 of the Lowe & Allen Addition [0.4590-acres] and Lot 2-R, Block A, Washington Place Addition [0.28-acres] , City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, addressed as 409 W. Washington Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (SP2019-044) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC).						
M.5 Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
(1) Please do not provide a separate page for utilities. Please show on site plan and landscape plan.						
(2) Please show topo on site plan and landscape plan.						
(3) Please remove labels for Lots 1R and 2R and provide existing lot and block information on site plan.						
(4) Please correct address on plans. Some plans indicate 409 W Washington and some indicate 411 W. Washington.						
(5) Please provide site data table on site plan.						
(6) Please show centerlines of adjacent roadways.						
(7) Please note that all plans need to match (i.e. currently the utility plan does not match site plan.						
(8) Please note that the water line will need to be looped through the site.						
(9) Please check the orientation of the stairs on the site plan.						
(10) Please remove the concrete planter from the parking space						
(11) Please remove signage from the site plan.						
(12) Please utilize a variety of line types and line weights. It is difficult to determine what the lines are (i.e. there are several lines running N/S adjacent to the concrete planter)						
(13) Please note that the dumpster enclosure cannot face the street. Also, a detail has been provided.						
(14) Please dimension a typical parking space.						
(15) Please check radii at drive aisles to ensure conformance to the engineering standards of design.						
(16) Please show and label the property line.						
(17) Please show FL with a hatch pattern, stipple, shade of gray, etc.						
(18) Please provide pavement type and depth.						
(19) Please show proposed sidewalks as a hatch pattern.						
(20) Please dimension distance of building from property lines.						
(21) Please note, the site plan, building elevations, rendering do not seem to match. (i.e. the site plan shows projections/recesses adjacent to Washington Street that do not appear in the rendering and building elevations.						
(22) Please provide all engineering information on site plan.						
(23) Please provide treescape plan						
(24) Please note that walls in the detention area will require a variance.						
(25) Please label detention pond and show on all plans.						
(26) Please show and label property line on LS Plan.						
LANDSCAPE PLAN						
(27) Please remove the cross slope % and show topo on landscape plan.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(28)						Please check tree mitigation requirements. The ratio is not correct.
(29)						Please show utilities and engineering information on LS Plan.
(30)						Please note, the LS adjacent to Washington appears to be in the ROW and does not match the rendering.
(31)						Please label and greyscale existing drives/curb cuts that will be modified (i.e. show existing vs proposed).
(32)						Please show centerline of ROW.
(33)						Please note, that the dumpster enclosure cannot face public ROW. Detail has been provided.
PHOTOMETRIC PLAN						
(34)						Please show and label property line.
(35)						Please note, it is difficult to see location of fixtures. Please greyscale FC and bold the fixtures
BUILDING ELEVATIONS						
(36)						Please note, that the one-story building is required to be two-stories min
(37)						What is the material below the stairs? Retaining wall? Please show and label.
I.6						Please note that failure to address all comments provided by staff by 5:00 PM on December 3, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.
I.7						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested.
						o Revisions for this case will be due on December 3, 2019;
						o The Planning & Zoning Worksession is November 26, 2019.
						o The Planning and Zoning Commission Meeting for this case is December 10, 2019
						o The City Council Meeting for this case is December 16, 2019.



RAMSAY & REYES, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200
ROCKWALL, TEXAS 75087



DATE	REVISIONS / DESCRIPTIONS / ISSUE

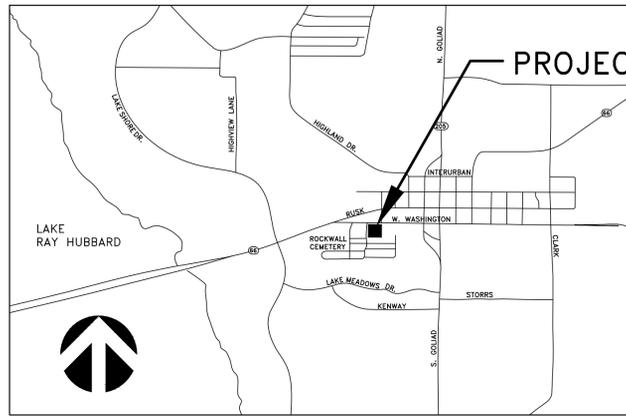
PROJECT NAME AND ADDRESS:
BUSINESS PARK
411 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	11/12/2019
SCALE	1" = 20'
SHEET NO.	of

DRAWING NAME:
SITE PLAN

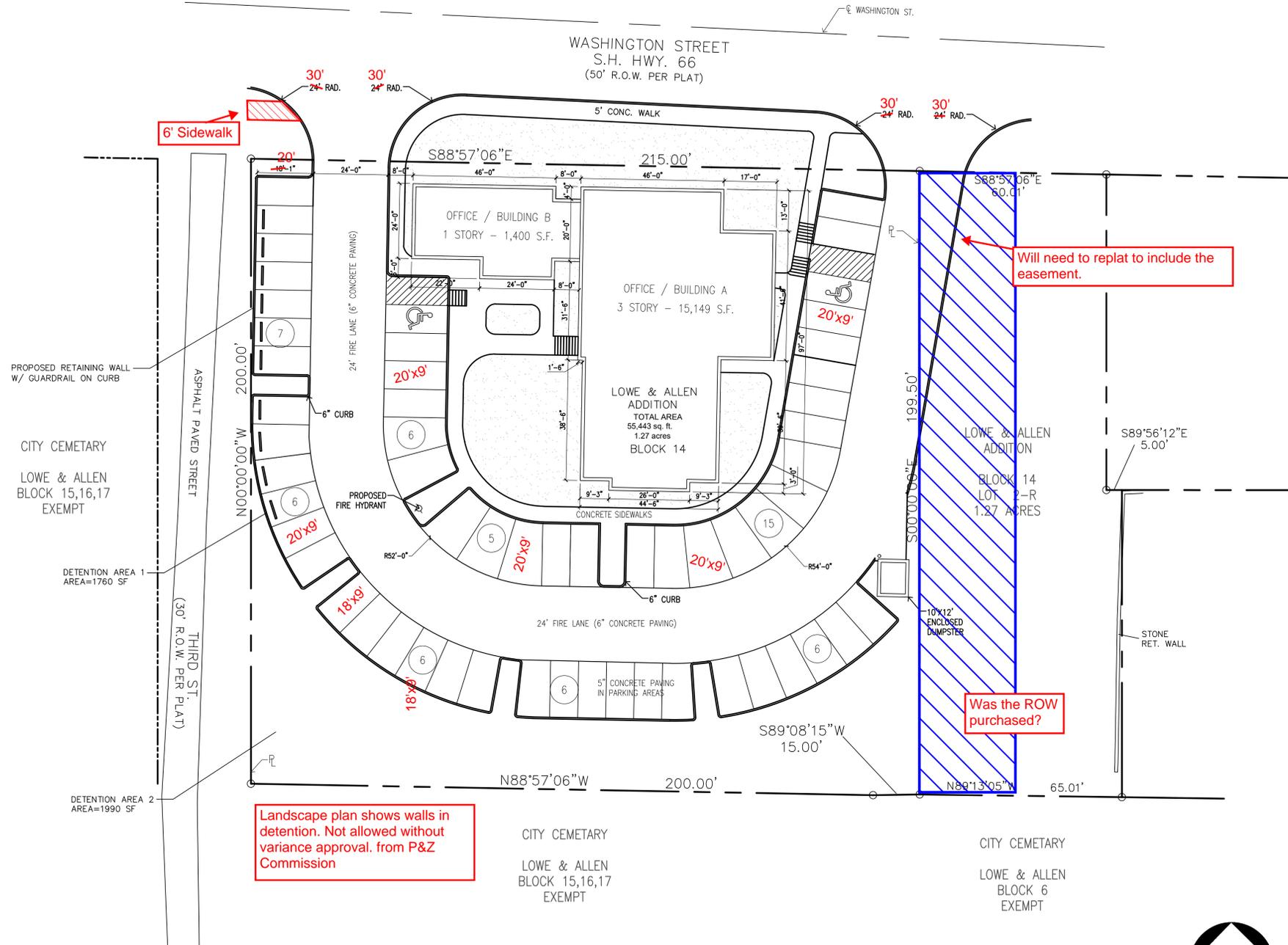
S1.0

SITE SUMMARY		
DESCRIPTION		LOT PERCENTAGE
LOT	42,989 S.F.	100 %
IMPERVIOUS	29,141 S.F.	67.8 %
BLDG. A / 3 STORY SURFACE AREA	5,049 S.F.	11.7%
BLDG. B / 1 STORY SURFACE AREA	1,400 S.F.	3.2%
PAVEMENT AREA	19,891 S.F.	46.3 %
PERVIOUS	13,859 S.F.	32.2 %
SIDEWALK AREA	2,433 S.F.	5.7 %
MAX. BUILDING HEIGHT PROPOSED	41 FT 8 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,549 S.F.	
PARKING PROVIDED	57	
PARKING REQ'D	57	



VICINITY MAP

- 4% Engineering inspection fees (i)
- Impact fees. (i)
- Min 20' utility easements. (i)
- No structures in easements. (m)
- Fire lane to be 24' wide with 20' radii (or 30' rad. depending on height). (m)
- Parking to be 20'x9' (m)
- Dumpster area to drain to oil/water separator or grease trap, depending on use. (m)
- No trees within 5' of public utilities. (m)
- Retaining walls 3' and over must be designed by a licensed engineer. All walks to be rock or stone. No smooth concrete walls. (i)
- Must have detention. Manning's "c-value" is per zoning for the entire property. (i)
- If using the pond for detention, it must be over the existing level. (i)
- Water line must be looped on-site place water line in fire lane instead of TXDOT ROW. (m)
- Detention outfall must reach sheet flow conditions prior to crossing the property line. (i)
- Must meet all city engineering standards. (m)
- Engineering review fees apply (i)
- No walls in utility esmts (m)
- 10' U.E Required along ROW (m)
- Will need TxDOT driveway and utility permits. (i)
- TIA required w/ fees (i)
- Prop & existing water and sewer to be shown on site plan (Not separate sheet) (M)



Landscape plan shows walls in detention. Not allowed without variance approval. from P&Z Commission

Will need to replat to include the easement.

Was the ROW purchased?



SITE PLAN
SCALE: 1"=20'
0 20' 40'

OWNER/DEVELOPER:
LMGC, LLC
JIMMY McCLINTOCK
(972)983-2222
3021 RIDGE RD.
ROCKWALL, TEXAS 75087

ARCHITECT/PLANNER:
RAMSAY & REYES, LLC
ROSS RAMSAY
(214)536-5306
2235 RIDGE RD. STE 201
ROCKWALL, TEXAS 75087



ERIC L. DAVIS ENGINEERING, INC.
 F-3987
 120 East Main Street
 Forney, Texas 75126
 972/564-0592 Fax 972/564-6523
 E-Mail ericdavis@edengineering.com

PRELIMINARY UTILITY PLAN
 ENGINEERED FOR:
RAMSAY & REYES, LLC

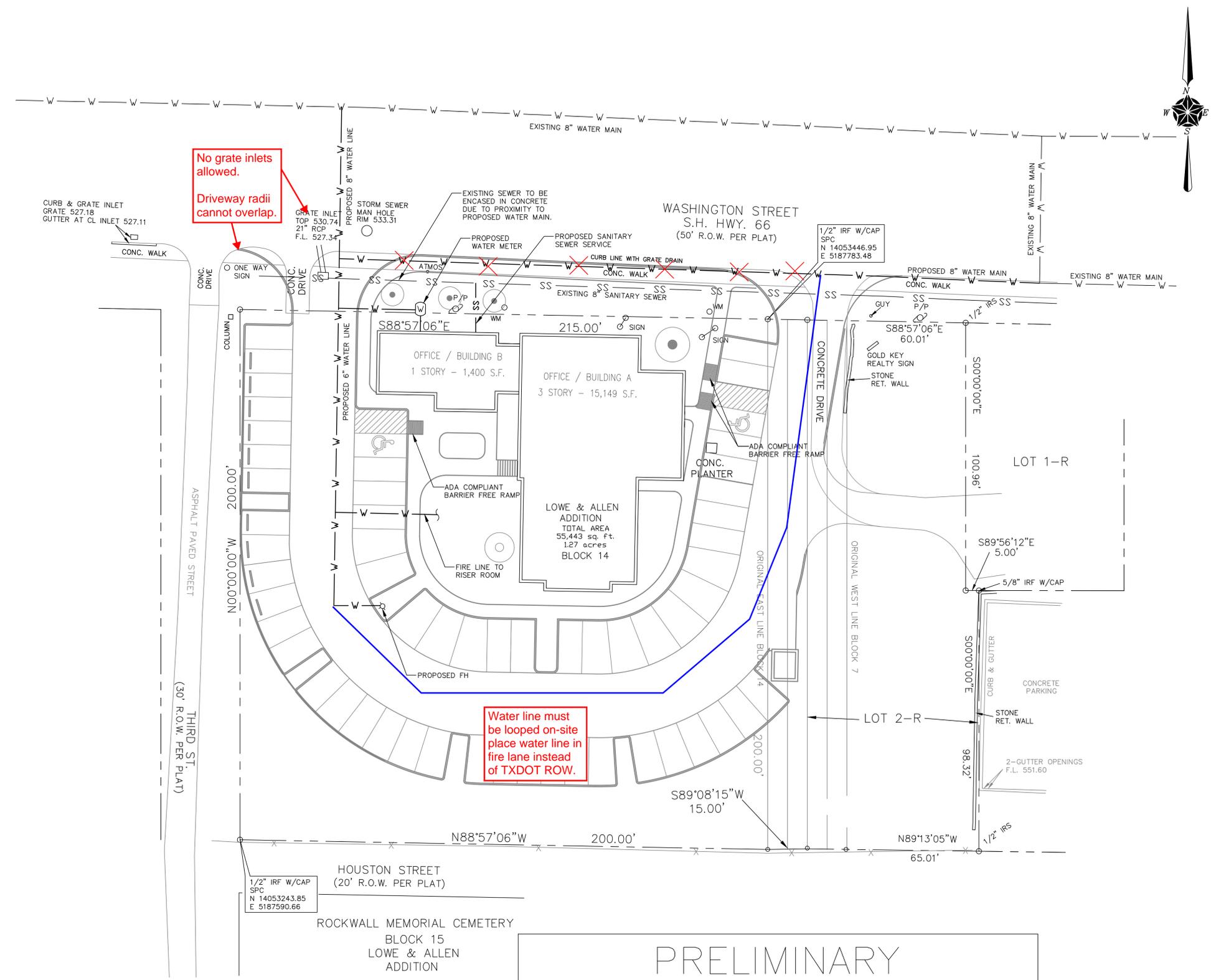
BUILDER: RAMSAY & REYES, LLC.	PLAN: PRELIMINARY UTILITY
ADDITION: LOWE & ALLEN	ELD JOB NO.: 2091
ADDRESS: 409 W. WASHINGTON ST.	DRAWN BY: JL
LOT: BLOCK: 14	FIRM REGISTRATION #: 3987
CITY: ROCKWALL, TX	

SCALE: 1"=30'

SHEET 01

CAUTION!!!
 CALL: TEXAS ONE CALL ©
 1-800-245-4545
 48 HRS PRIOR TO CONSTRUCTION

!!! CAUTION !!!
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION, AND DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE.



PRELIMINARY
 NOT FOR CONSTRUCTION

LEGEND

---	EASEMENT
W W	WATER LINE
SS SS	SANITARY SEWER LINE

REVISIONS	DATE	BY

PLANTING PLAN

JOB:
BUSINESS PARK
409 W WASHINGTON ST
ROCKWALL, TX 75087

19-20-03
NOVEMBER 4, 2019

L2.1

SHEET:

TREE DESIGNATION KEY

SYMBOL	DESCRIPTION	MITIGATION RATIO
P	PROTECTED TREE	(1 : 1)
SP	SECONDARY PROTECTED TREE	(.5 : 1)
F	FEATURE TREE	(1 : 2)

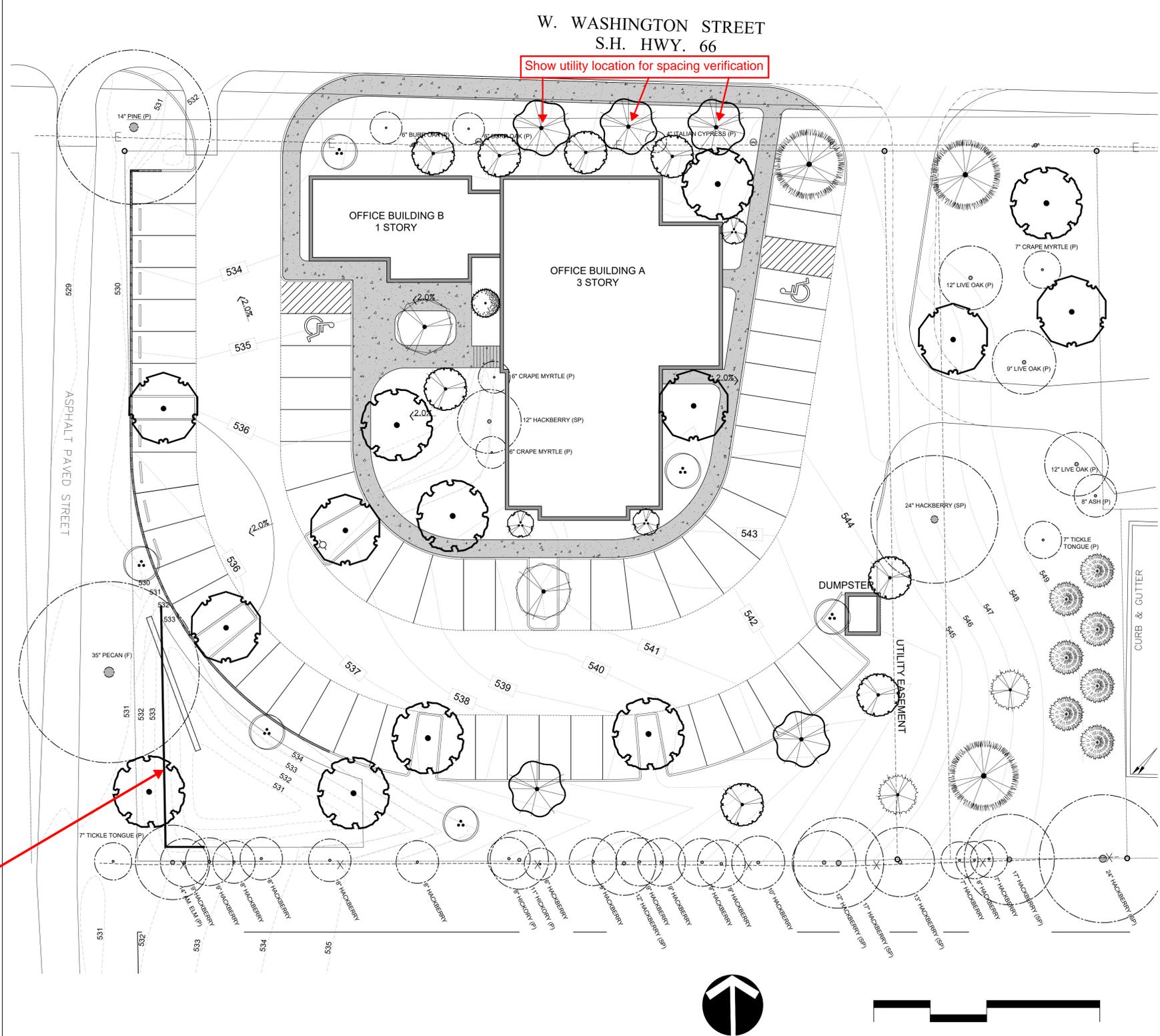
PLANT SCHEDULE

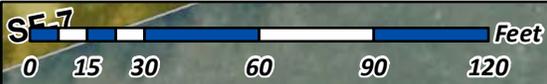
TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	Ao	Acer rubrum 'October Glory' / October Glory Red Maple 4" cal.	B & B	6
	Cl	Chilopsis linearis 'Lucretia Hamilton' / Desert Willow 3" cal.	B & B	6
	Cp	Cornus florida 'Cherokee Princess' / White Dogwood 3" cal.	B & B	1
	Jb	Juniperus virginiana 'Brodie' / Brodie Columnar Cedar 3" cal.	B & B	7
	Mdd	Magnolia grandiflora 'D.D. Blanchard' / Dwarf Magnolia 3" cal.	45 gal	2
	Pe	Pinus eiderica / Afghan Pine 6" cal.	B & B	3
	Qm	Quercus macrocarpa / Burr Oak 6" cal.	B & B	5
	Qv	Quercus virginiana / Southern Live Oak 6" cal.	B & B	8
	Ss	Sophora secundiflora / Texas Mountain Laurel 2" cal.	20" Box	3
	Tax	Taxodium distichum / Bald Cypress 4" cal.	B & B	2
	Vc	Vitex agnus-castus / Chaste Tree 3" cal.	B & B	8

No trees within 10' of non-steel encased utilities.
- Need to show ex & prop wtr & sewer

No walls in detention

Show utility location for spacing verification





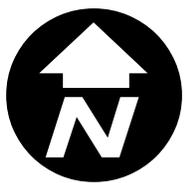
SP2019-044 - 409 W. WASHINGTON STREET
SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





RAMSAY & REYES, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200
ROCKWALL, TEXAS 75087



NO.	REVISIONS / DESCRIPTIONS / ISSUE	DATE

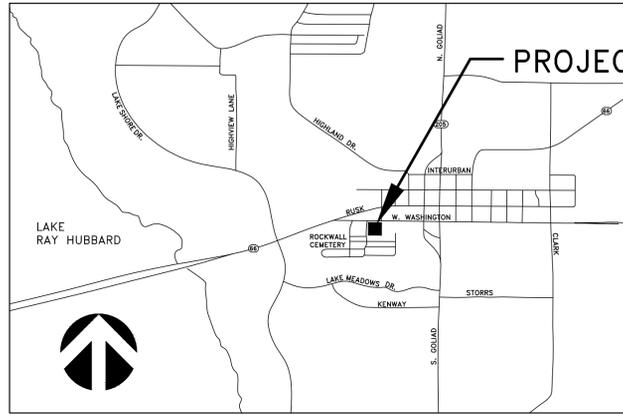
PROJECT NAME AND ADDRESS:
BUSINESS PARK
411 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT NO.	
DRAWN BY	SR
CHECKED BY	RR
DATE	11/12/2019
SCALE	1" = 20'
SHEET NO.	of

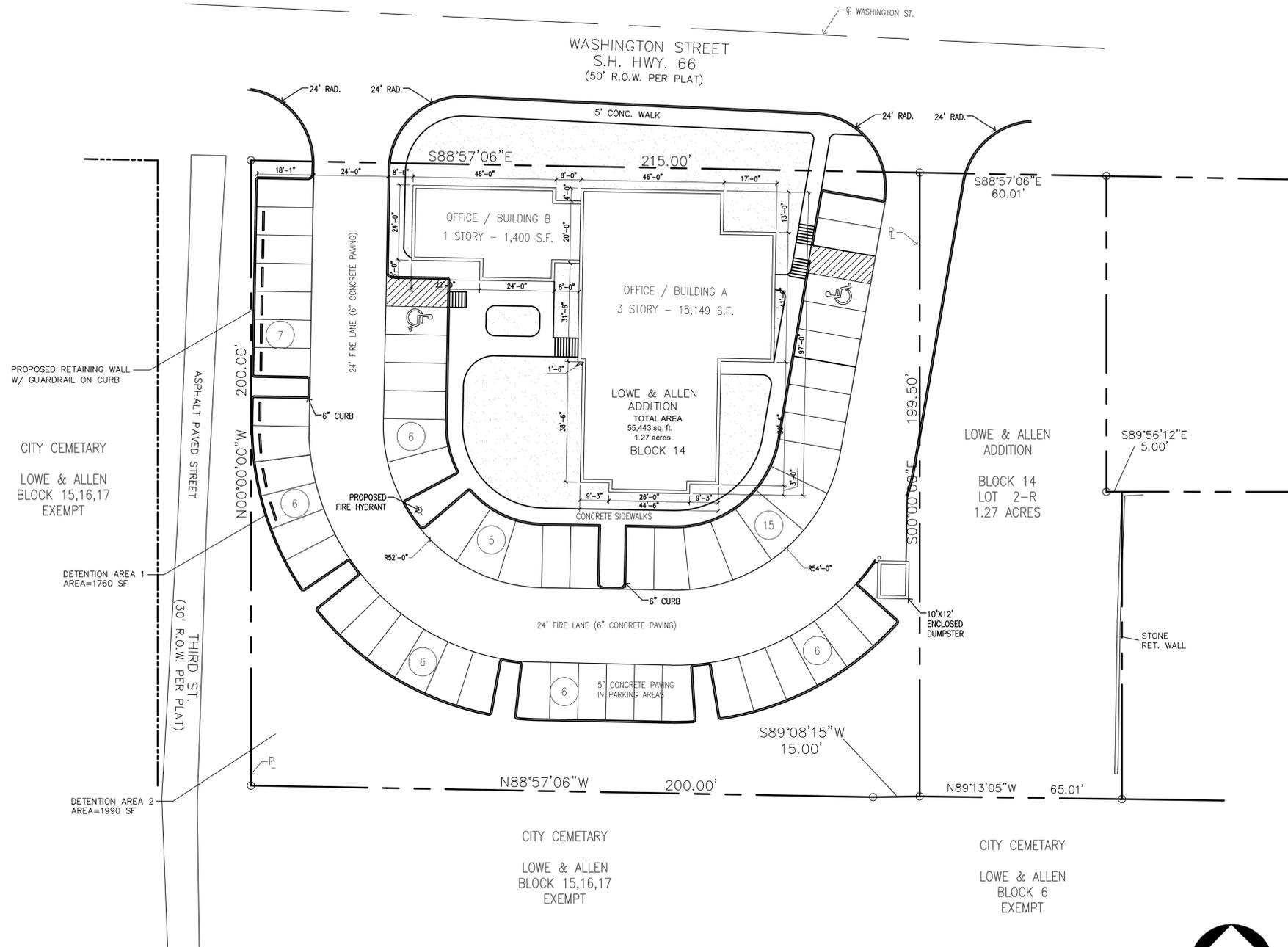
DRAWING NAME:
SITE PLAN

S1.0

SITE SUMMARY		
DESCRIPTION		LOT PERCENTAGE
LOT	42,989 S.F.	100 %
IMPERVIOUS	29,141 S.F.	67.8 %
BLDG. A / 3 STORY SURFACE AREA	5,049 S.F.	11.7%
BLDG. B / 1 STORY SURFACE AREA	1,400 S.F.	3.2%
PAVEMENT AREA	19,891 S.F.	46.3 %
PERVIOUS	13,859 S.F.	32.2 %
SIDEWALK AREA	2,433 S.F.	5.7 %
MAX. BUILDING HEIGHT PROPOSED	41 FT 8 IN	
PARKING REQUIREMENTS		
OFFICE (1:300 S.F.)	16,549 S.F.	
PARKING PROVIDED	57	
PARKING REQ'D	57	



VICINITY MAP



SITE PLAN
SCALE: 1"=20'
0 20' 40'

OWNER/DEVELOPER:
LMGC, LLC
JIMMY MCCLINTOCK
(972)983-2222
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ROCKWALL, TEXAS 75087

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 E-Mail ericdavis@edengineering.com

PRELIMINARY UTILITY PLAN
 ENGINEERED FOR:
RAMSAY & REYES, LLC

BUILDER: RAMSAY & REYES, LLC.
 ADDITION: LOWE & ALLEN
 ADDRESS: 409 W. WASHINGTON ST.
 LOT: BLOCK: 14
 CITY: ROCKWALL, TX

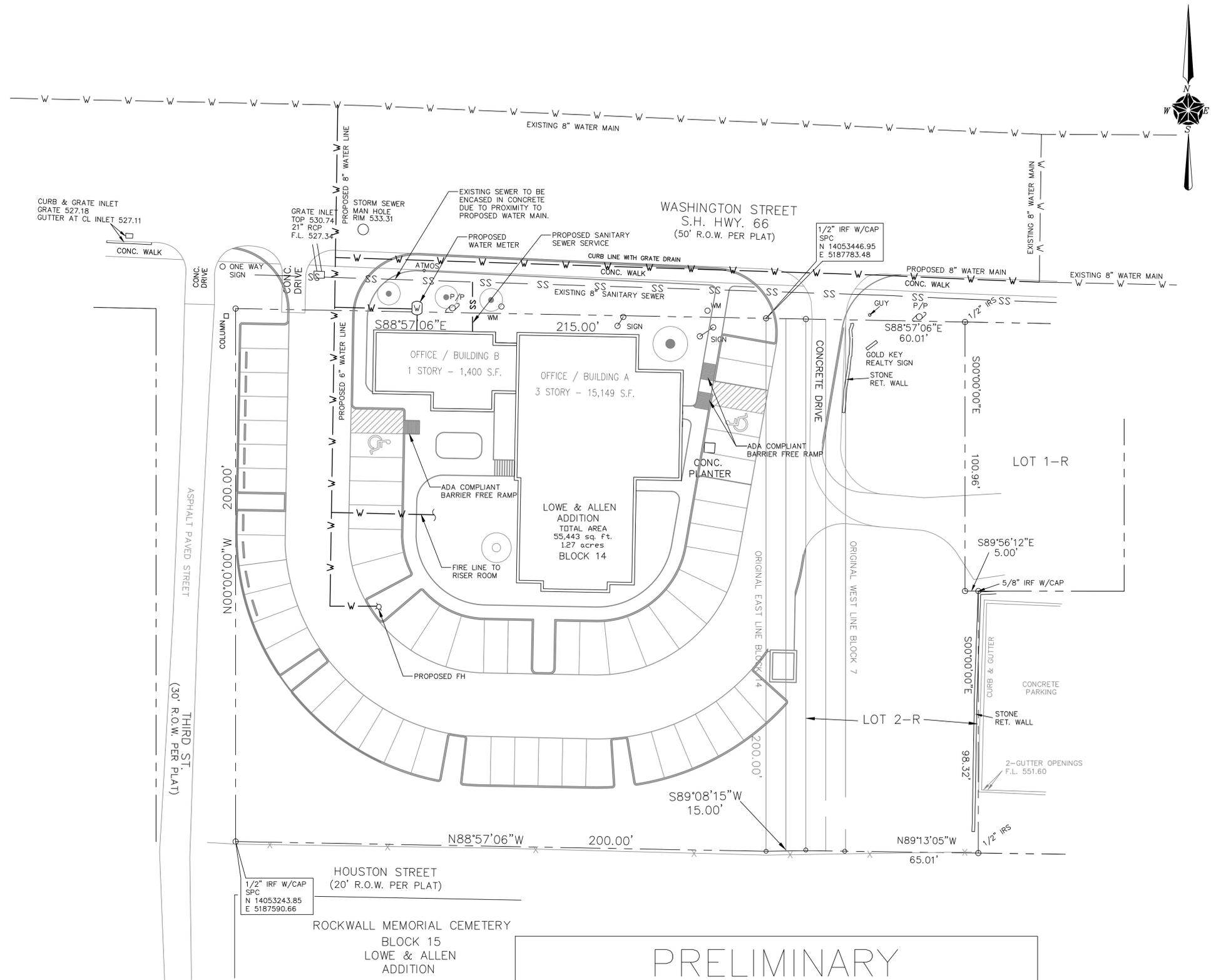
PLAN: PRELIMINARY UTILITY
 ELD JOB NO.: 2091
 DRAWN BY: JL
 FIRM REGISTRATION #: 3987

SCALE: 1"=30'

SHEET 01

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LEGEND

---	EASEMENT
W	WATER LINE
SS	SANITARY SEWER LINE



RAMSAY & REYES, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD. STE. 200
ROCKWALL, TEXAS 75087



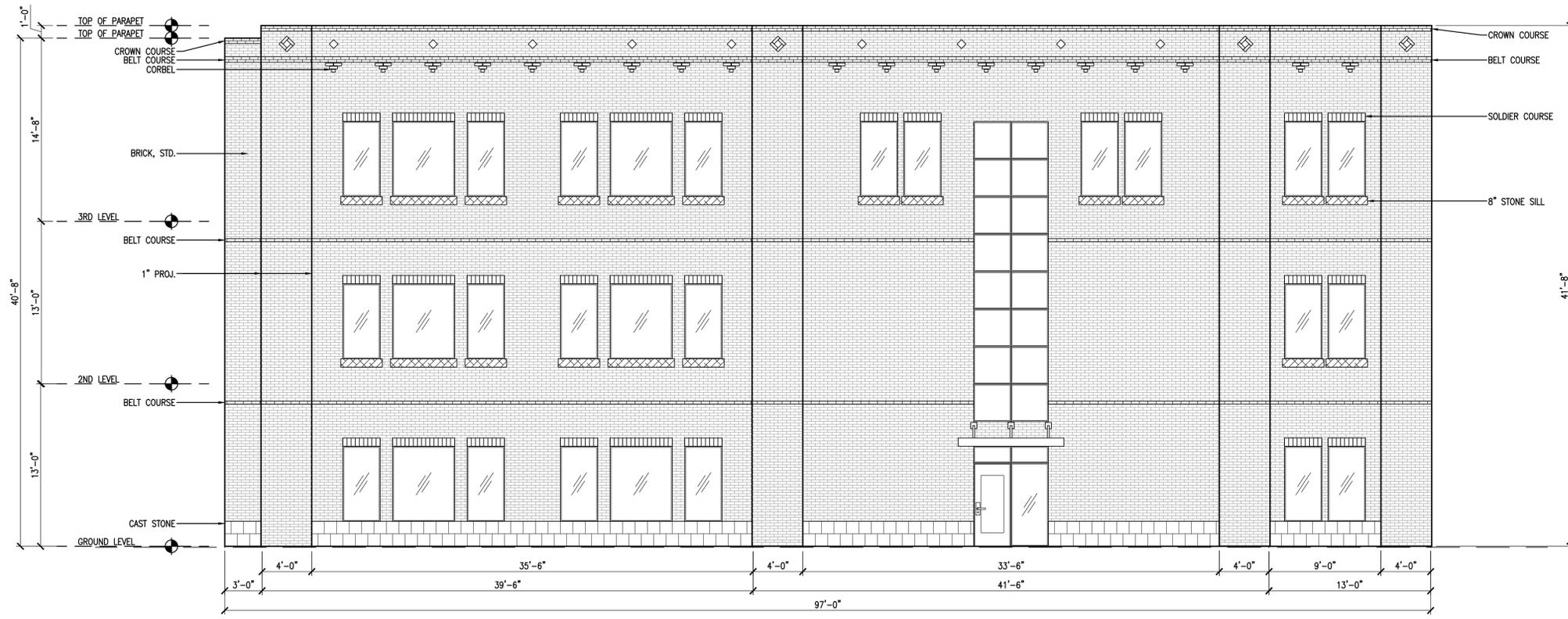
DATE	REVISIONS
	DESCRIPTION/ISSUE

PROJECT NAME AND ADDRESS:
BUSINESS PARK
411 W. WASHINGTON
ROCKWALL, TEXAS 75087

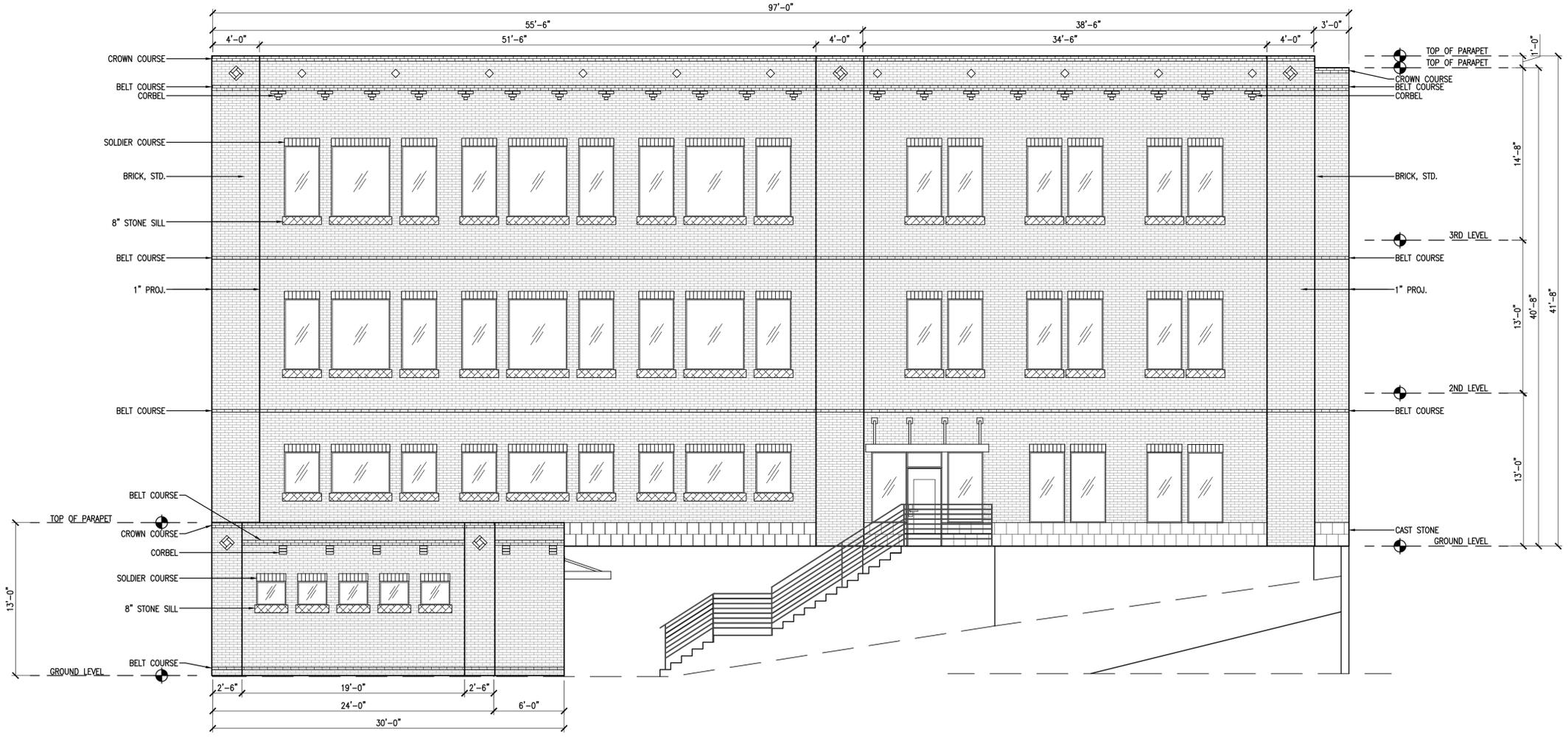
PROJECT No.	---
DRAWN BY	SR
CHECKED BY	RR
DATE	11/15/2019
SCALE	3/16" = 1'
SHEET NO.	####

DRAWING NAME:
**ELEVATION
EAST & WEST**

#####



1 EAST ELEVATION
SCALE: 3/16" = 1'



2 WEST ELEVATION
SCALE: 3/16" = 1'

MATERIAL USAGE (%) - BLDG 'A' EAST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		4,042	
DOORS & WINDOWS (DEDUCTED)		768	
ACCOUNTABLE AREA		3,274	100%
MASONRY (BRICK 'A')		3,074	94%
CAST STONE		200	6%

MATERIAL USAGE (%) - BLDG 'A' WEST

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		4,042	
DOORS & WINDOWS (DEDUCTED)		859	
ACCOUNTABLE AREA		3,183	100%
MASONRY (BRICK 'A')		2,920	92%
CAST STONE		262	8%

MATERIAL USAGE (%) - BLDG 'B' NORTH

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		391	
DOORS & WINDOWS (DEDUCTED)		25	
ACCOUNTABLE AREA		366	100%
MASONRY (BRICK 'A')		357	98%
CAST STONE		9	2%



RAMSAY & REYES, LLC
ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200
ROCKWALL, TEXAS 75087



NO.	DATE	REVISIONS / ISSUES

PROJECT NAME AND ADDRESS:
BUSINESS PARK
411 W. WASHINGTON
ROCKWALL, TEXAS 75087

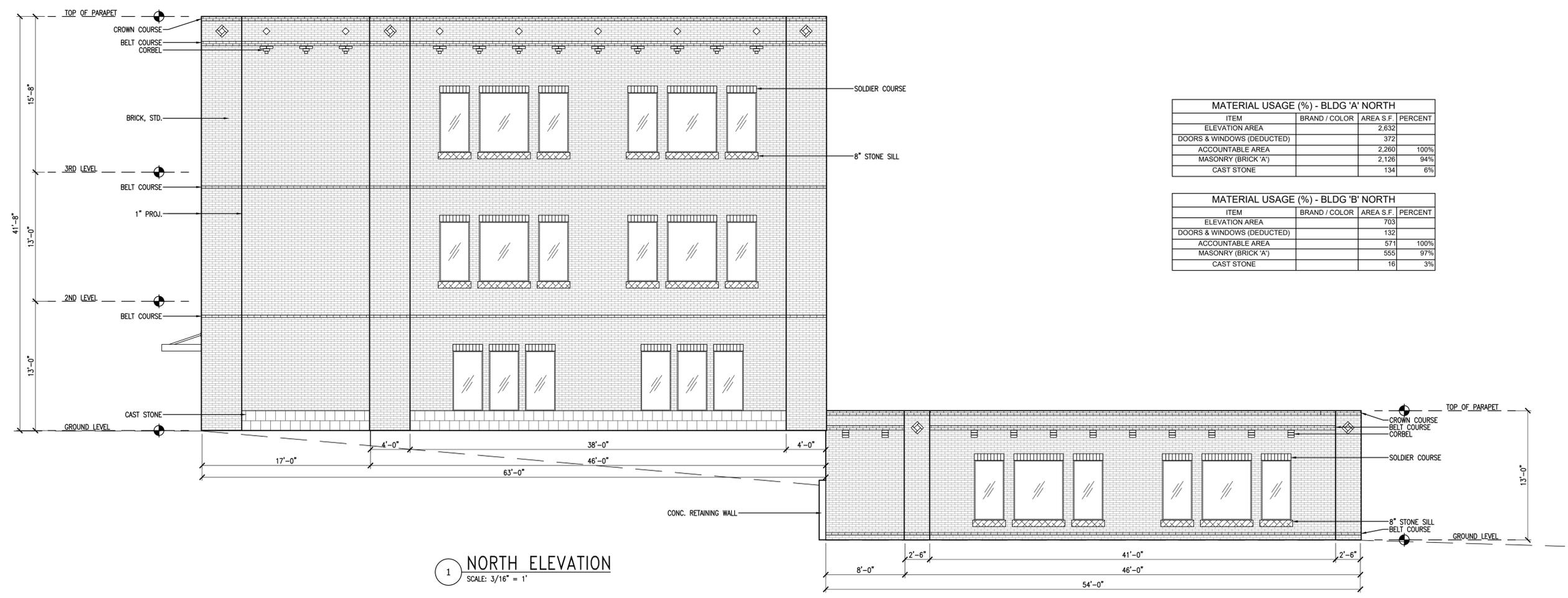
PROJECT No.	---
DRAWN BY	SR
CHECKED BY	RR
DATE	11/15/2019
SCALE	3/16" = 1'
SHEET NO.	#### / ####

DRAWING NAME:
ELEVATION NORTH & SOUTH

#####

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,632	
DOORS & WINDOWS (DEDUCTED)		372	
ACCOUNTABLE AREA		2,260	100%
MASONRY (BRICK 'A')		2,126	94%
CAST STONE		134	6%

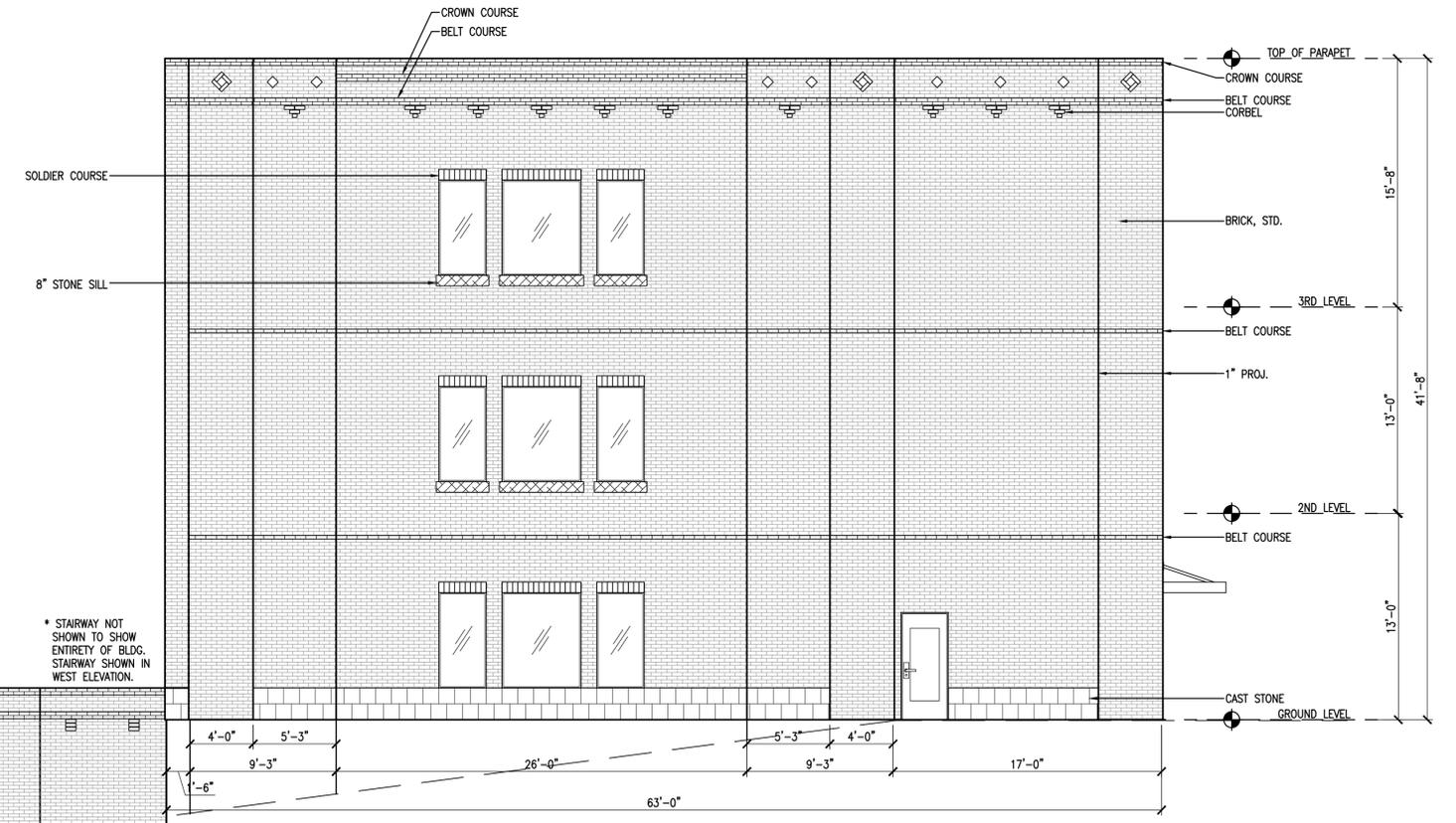
ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		703	
DOORS & WINDOWS (DEDUCTED)		132	
ACCOUNTABLE AREA		571	100%
MASONRY (BRICK 'A')		555	97%
CAST STONE		16	3%



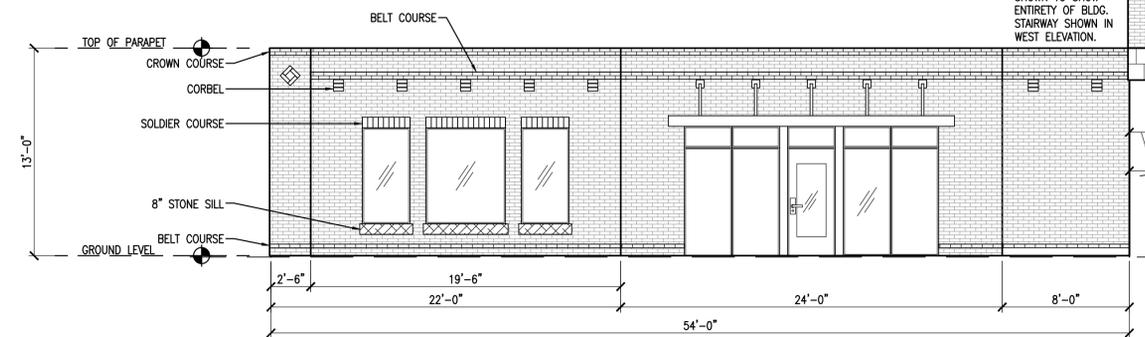
1 NORTH ELEVATION
SCALE: 3/16" = 1'

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		2,632	
DOORS & WINDOWS (DEDUCTED)		218	
ACCOUNTABLE AREA		2,413	100%
MASONRY (BRICK 'A')		2,302	95%
CAST STONE		111	5%

ITEM	BRAND / COLOR	AREA S.F.	PERCENT
ELEVATION AREA		703	
DOORS & WINDOWS (DEDUCTED)		188	
ACCOUNTABLE AREA		515	100%
MASONRY (BRICK 'A')		507	97%
CAST STONE		8	3%



2 SOUTH ELEVATION
SCALE: 3/16" = 1'



* STAIRWAY NOT SHOWN TO SHOW ENTIRETY OF BLDG. STAIRWAY SHOWN IN WEST ELEVATION.

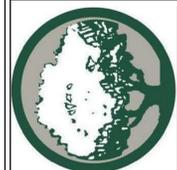




RAMSAY & REYES, LLC

ARCHITECTURE - MANAGEMENT

2235 RIDGE RD., STE. 200
ROCKWALL, TEXAS 75087



NO.	REVISIONS	DATE

PROJECT NAME AND ADDRESS:
BUSINESS PARK
411 W. WASHINGTON
ROCKWALL, TEXAS 75087

PROJECT No.	
DRAWN BY	SR
CHECKED BY	RR
DATE	11/12/2019
SCALE	1" = 20'
SHEET NO.	of

DRAWING NAME:
OUTDOOR LIGHT SPECS.

E2



Consistent with LEED® goals & Green Globes® criteria for light pollution reduction

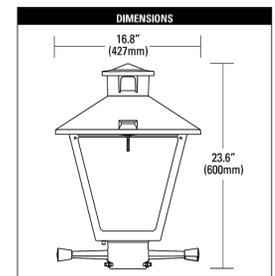
American Revolution
Series 247 and 247 Cutoff
50-150W HPS, 100-175W MH

PRODUCT OVERVIEW



Features:
Die-cast aluminum housing and hood for long-life performance
Die-cast trigger latch (TL) option available for easy access to internal components
Optical assembly designed for maximum performance
Hinged hood and captive screw provision afford quick, easy access to electrical and optical area for relamping or servicing
Slipfitter with three set screws allows secure installation to pole sizes 2-3/8" or 3" O.D.
E39 mogul base socket standard
All electrical components warranted by American Electric Lighting's 6-year guarantee
Complies with ANSI: C136.2, C136.10, C136.15, C136.31 (regular only), C136.16 (FC only)
Suitable for -30°C MH & / -40°C HPS

Applications:
Streetscapes
Walkways
Pathways
Parks



PREFERRED SELECTION CATALOG NUMBERS
Series 247
247 10S RN 120 R3 AY
247 15S RN 120 R3 AY
247 10S RN 120 R5 AY
247 15S RN 120 R5 AY
Series 247 Cutoff
247 10S RN 120 R2 FC TL
247 10M XN MT1 R2 FC TL

Decorative

DL-247-A



ANTIQUE STREET LAMPS
RESONANCE BOLLARD 1.0 HID
TLRCB10

CATALOG # _____
PROJECT _____
TYPE _____



Construction:
The luminaire is die cast and permanent mold aluminum. The roof has an internal hinge, hidden from view. Roof and ballast lids are sealed with silicone gaskets. All exposed hardware is weather resistant. FINISH: The luminaire has a powder coat finish utilizing a premium TGIC polyester powder. The finish is a three-stage process that consists of drying, powder application and curing. Before coating, the parts are treated with a five-stage pretreatment process, consisting of a heated alkaline cleaner, rinse, phosphate coating, rinse and sealant.
Optics:
The horizontal lens is tempered flt glass with a continuous seal. The luminaire utilizes an internal anodized and segmented reflector with sockets for horizontal lamp. Reflectors are available in Type II, III, IV, and V, full cutoff distributions, are interchangeable and rotatable.
Electrical:
Luminaire is furnished with an HID ballast assembly. Sockets are porcelain, medium base, with a copper alloy nickel-plated screw shell and center contact. Ballasts are core and coil, high-power factor, regulating type. Lamp is not included.
Installation:
The Resonance Bollard offers a patented impact resistant mounting and leveling design ensuring lifelong performance. Three leveling pads within the base mounting plate are easily accessible through the access panel. The leveling pads provide full contact with the concrete pad, providing a high degree of stability. The base mounting plate is fully welded to the bollard post, providing complete structural support from all directions, giving the bollard superior vandal resistance.
Listings:
The luminaire is tested to and meets all NRTL's outdoor requirement standards, wet location use, through the fully accredited and approved CSA laboratory.

Max EPA: 1.8 sq feet
Max Height: 3' 8" (111.8 cm)
Max Width: 1' 1" (33 cm)
Max Weight: 35 lbs (15.8 kg)

Sample Catalog number:

TLRCB10	100M MED	GCF	R3	240	SF	DWH
Series	Lamp Type	Lens	Distribution	Voltage	Options	Finish

Ordering Guide:

Series	Lamp Type	Lens	Distribution	Voltage	Options
TLRCB10	50M MED 70M MED 100M MED 39MHG G12 70MHG G12 26TRT 32TRT 42TRT	GCF	R2 TYPE 2 R3 TYPE 3 R4 TYPE 4 R5 TYPE 5	120 208 240 277 MVOLTS	SF SINGLE FUSE DF DOUBLE FUSE HF HOUSE SIDE SHIELD (TYPE 2 & 3 ONLY)

Finish
DBL BLACK
DDB DARK BRONZE
DNA NATURAL ALUMINUM
DWH WHITE
CM CUSTOM MATCH
CS CUSTOM SELECT
RAL COLORS

Notes:
1. 120V and 277V only
2. Not available with CFL
3. Consult factory for 208 volt available in Canada
4. Multi-tap ballast (120, 208, 240, 277V), only available CFL

Antique Street Lamps™ | 3825 Columbia Road | Grimsby, OH 43023 | Phone: 1-800-410-8899 | www.antiquestreetslamps.com
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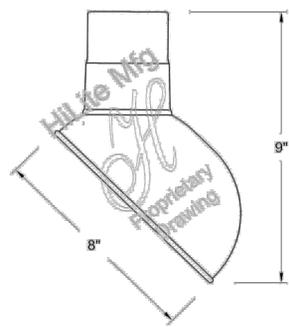


HI-LITE MFG. CO., INC

13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Toll Free: (800) 465-0211
Fax: (909) 465-0907
web: www.hilitemfg.com
e-mail: sales@hilitemfg.com

H-EM-08 Emblem Shade Collection

Job Name: _____
Type: _____
Quantity: _____



FINISH - Offered in exceptional finishes, comprised of: polyester/polished powder coat, baking enamel liquid, raw metal, or galvanized finishes.
Standard Finishes are: 91(Black), 93(White), 95(Dark Green), 96(Galvanized), BR47(Powder Coat Rust), BK01(Black Texture), GN20(Powder Coat Patina).
Upgraded Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 127, 128, 129, 133, 134, 135, 136, 98, 101, 102, 137, 138, 139, 140, 121, 122, 123, 124, 125, 126, 11, 01, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16.

REFLECTOR - Heavy duty, spun shade, aluminum 6061-0 and/or 1100-0, galvanized 22 gauge, steel 20/22 gauge, copper 032/040 and brass 032/040 construction. Dependant on finish.

SOCKETS/LAMPS - Available in:
Incandescent
- rated 200 watt max/120 volt, medium base.
Compact Fluorescent(CFL)
- rated 13/18/26/32 watt max/120/277 volt, GX24Q base.
Metal Halide(MH)
- rated 35/50/70/100 watt max/120/208/240/277 volt, medium base, 4KV socket.

For interior finish of fixture refer to color chart on pages 344-348.

MOUNTING - Stem, Arm, and Flush mounting available.

ACCESSORIES - WGR(Wire Guard) and SK(Swivel Knuckle) available.

High Pressure Sodium(HPS)
- rated 50/70/100 watt max/120/277 volt, medium base.

MADE IN THE U.S.A.

Suitable for wet location.
(Except when cord mounted)



City of Rockwall Project Plan Review History



Project Number SP2019-045	Owner Channell Commercial Corp.	Applied 11/18/2019	DG
Project Name Channell Corporation	Applicant Pross Design Group	Approved	
Type SITE PLAN		Closed	
Subtype AMENDING		Expired	
Status P&Z HEARING		Status 11/22/2019	DG

Site Address 1700 JUSTIN RD	City, State Zip ROCKWALL, TX 75087	Zoning
---------------------------------------	--	---------------

Subdivision ROCKWALL INDUSTRIAL EAST	Tract 2	Block A	Lot No 2	Parcel No 3369-000A-0002-00-0R	General Plan
--	-------------------	-------------------	--------------------	--	---------------------

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	11/18/2019	11/25/2019	11/19/2019	1	APPROVED	
ENGINEERING	Sarah Johnston	11/18/2019	11/25/2019	11/22/2019	4	COMMENTS	<p>(11/22/2019 10:53 AM SJ)</p> <p>M - Shade any future items that are not being considered in this project. It is difficult to tell what is being proposed.</p> <p>M - Must show all existing and proposed utilities.</p> <p>M - Add note to the landscape plan, "No trees within 5' of utilities." Standards of Design and Construction Sect. 4.4</p> <p>I - Must have approval from NTMWD to grade or construct anything in their easement.</p> <p>I - 4% Engineering inspection fees</p> <p>I - Impact fees for new/up-sizing water taps or building square footage.</p> <p>I - No storage in fire lane or utility easements</p> <p>I - Parking to be 20'x9' if adjacent to the building or head-to-head, all else to be 18'x9' min.</p> <p>I - Must have detention for all future storage areas per reference plans for Justin Rd. On what is being detained already. portion at corner of Industrial and Justin that is not detained, that will need to be. In the future.</p> <p>I - All retaining walls to be rock or stone faced. No smooth concrete walls.</p> <p>I - Retaining walls 3' and over must be engineered.</p> <p>I - Must meet all city standards of design and construction.</p> <p>I - Engineering review fees apply.</p>
FIRE	Ariana Hargrove	11/18/2019	11/25/2019	11/20/2019	2	APPROVED	
GIS	Lance Singleton	11/18/2019	11/25/2019	11/20/2019	2	APPROVED	
PLANNING	David Gonzales	11/18/2019	11/25/2019	11/22/2019	4	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(11/22/2019 11:22 AM DG)						
SP2019-045; Amended Site Plan for Channell Communications Corp.						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of an amended site plan for an existing industrial building on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard.						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (SP2019-045) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).						
I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), and the Development Standards of Article V, that are applicable to the subject property.						
I.5 Please note that the property will require a replat prior to the issuance of a building permit. As a note, the site plan must be approved prior to the filing of the plat.						
M.6 Site Plan. Please make the following clarifications on the site plan to ensure staff can properly review this project and convey all of the required elements to the City's boards and commissions:						
1) Under the Parking Data table, the removal and addition of parking spaces are resulting in a net loss of 13 parking spaces. This will require approval of a variance to allow for the parking to not meet the standards. Additionally, with future parking being indicated on the east portion of the site, it is encouraged to provide staff with the total parking for this site (i.e. include, but hatch the future parking spaces) for an overall parking layout. Please provide the parking count for each use (i.e. office, warehouse, & manufacturing) and include the number of employees on each shift as justification-- refer to the approved 2014 site plan SP2014-011 as an example. (Section 6, Table 3, of Article VI, of the UDC) Exception Required (Section 9, Art. XI, UDC).						
2) Provide a label identifying the parking count (i.e. 9, 10, etc.) for each parking aisle in order to verify the existing and proposed parking spaces						
3) Provide total SF of additions (i.e. parking areas, building additions, etc.).						
4) Hatch the area located on the eastern portion of the lot (noted as future building) to better delineate the existing area vs future building area(s).						
5) Outside storage areas are to be screened to the height of what is being stored (Subsection 1.05(5), of Article V, UDC). Is the proposed storage area on the eastern portion of the lot (i.e. future area) being considered? If so, see Subsection 5.02.A, of Article VIII, of the UDC for appropriate screening of this area						
6) Provide a label identifying the existing and proposed sidewalks, including the existing 10-ft trail/walkway along John King Blvd.						
7) Provide a standard signature block with signature space for the Planning and Zoning Chairman and Planning Director. See attachment with packet provided						
8) There is a label on the North West corner of the site indicating future parking. Is there going to be future parking along this area as indicated?						
M.7 Building Elevations. Provide building elevations for the proposed guard shack (Section 3, of Article XI, of the UDC).						
M.8 Landscape Plan. The proposed landscape screening located at the North West corner of the site requires approval by the Planning and Zoning Commission to allow for not meeting the standards of Subsection 1.05, Screening Standards, of Article V, District Development Standards, of the UDC (Subsection 5.02(C), Art. VIII, UDC).						
I.9 Civil Set. As a note, the civil set submitted with this application on CD were not reviewed and are not considered an engineering submittal with this application						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.10	Based on the submittal staff has identified the following exceptions& variances:					
<p>1) Required Parking Spaces. The proposed site plan does not meet the minimum standards for parking for this site. The site plan indicates a reduction in the number of parking spaces to allow for outside storage areas that were not present on the approved site plan from July21, 2014 [i.e. SP2014-011] and will require approval of an exception by the Planning and Zoning Commission</p>						
<p>To be able to request a exception, an applicant needs to provide a letter stating the justification for each variance requested and indicate a minimum of two(2) compensatory measures for each that directly tie to off-setting the impact of the variance. Please also note that all of the requested variances will require a simple majority vote for approval. Refer to Section9, of Article XI, of the UDC for examples of compensatory measures</p>						
<p>I.11 Please note that failure to address all comments provided by staff by3:00 PM on December 3, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p>						
<p>I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on December 3, 2019; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the December10, 2019 Planning & Zoning Meeting.</p>						
<p>** Please note that the Planning & Zoning Work Session meeting will be held on November26, 2019.</p>						
<p>I.13 Staff recommends that a representative be present for the meetings as scheduled above. The Planning and Zoning meeting will be held in the City's Council Chambers and will begin at 6:00 p.m.</p>						

- 4% Engineering inspection fees
- Impact fees for new/up-sizing water taps or building square footage.
- No storage in fire lane or utility easements
- Parking to be 20'x9' if adjacent to the building or head-to-head, all else to be 18'x9' min.
- Must show existing and proposed utilities.
- Must have detention for all future storage areas per reference plans for Justin Rd. On what is being detained already. portion at corner of Industrial and Justin that is not detained, that will need to be. In the future.
- All retaining walls to be rock or stone faced. No smooth concrete walls.
- Retaining walls 3' and over must be engineered.
- Must meet all city standards of design and construction.
- Engineering review fees apply.

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Need approval to build on top on NTMWD line.

Future?
STORAGE

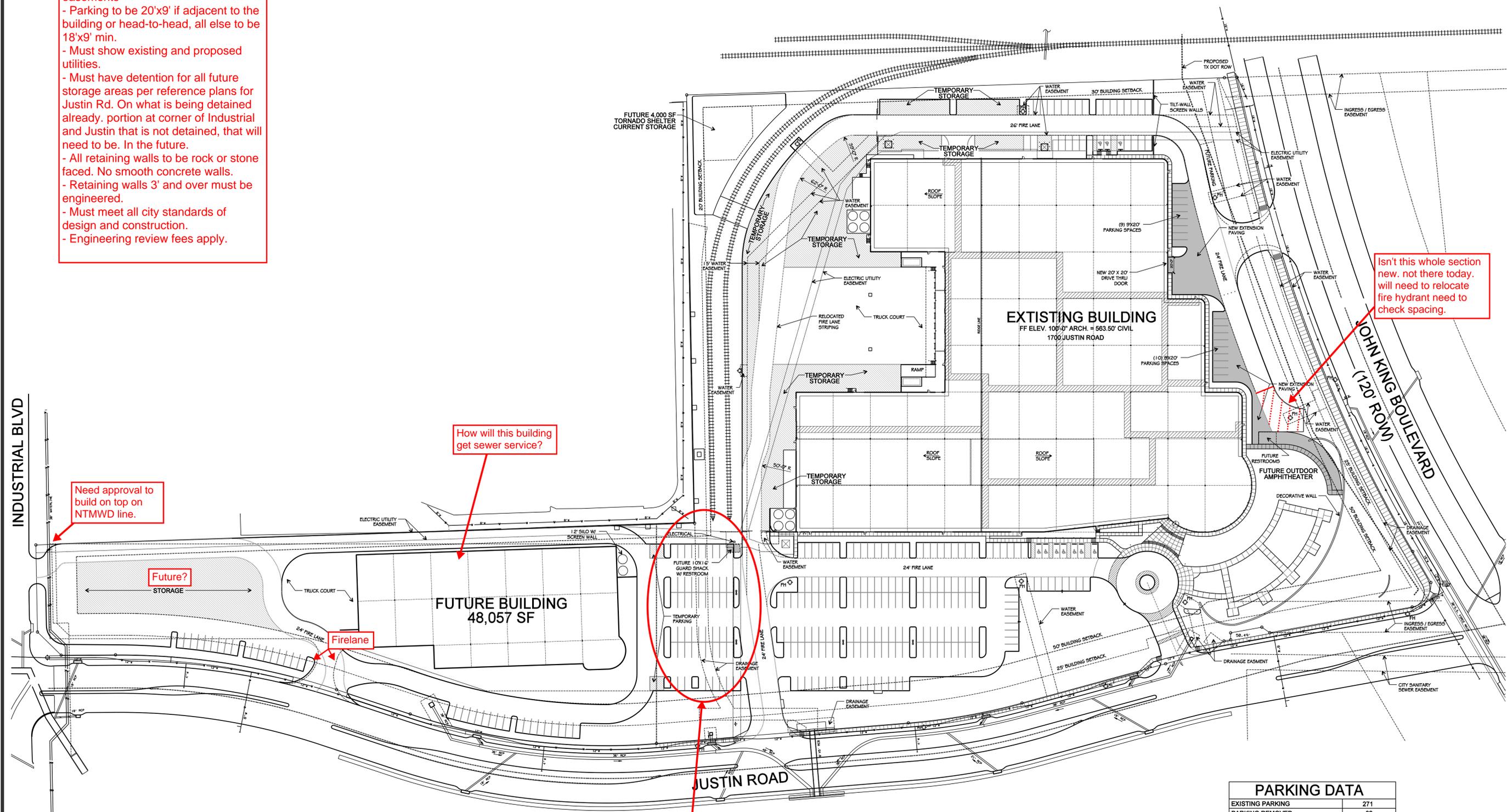
How will this building get sewer service?

Firelane

Shade any future not being considered with this project.

Show as now? per Mr. Channel & Mr. Burke

Isn't this whole section new. not there today. will need to relocate fire hydrant need to check spacing.



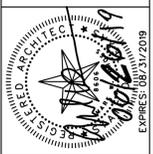
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PARKING ADDED	+ 19
NEW SITE PARKING	258

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	PROPOSED AREAS OF CONSTRUCTION

NORTH

1 SITE PLAN
 SCALE: 1"=60'-0"

drawn:
 checked
 MARK W. PROSS
 date
 11/5/2019

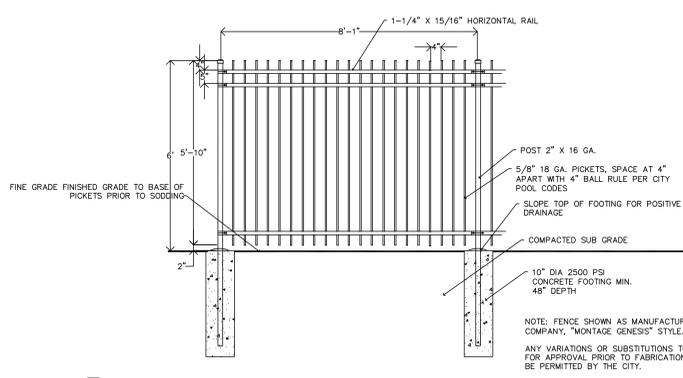


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 2810 Harvest Hill Road, Suite 100, Dallas, Texas 75228, 972.750.1400

CHANNELL
 ROCKWALL, TEXAS
 1700 JUSTIN ROAD

job no
 1423
 sheet
A1.0

U.P./DALLAS GARLAND N.E.
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N.T.S.
AMERISTAR
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1-888-333-3422
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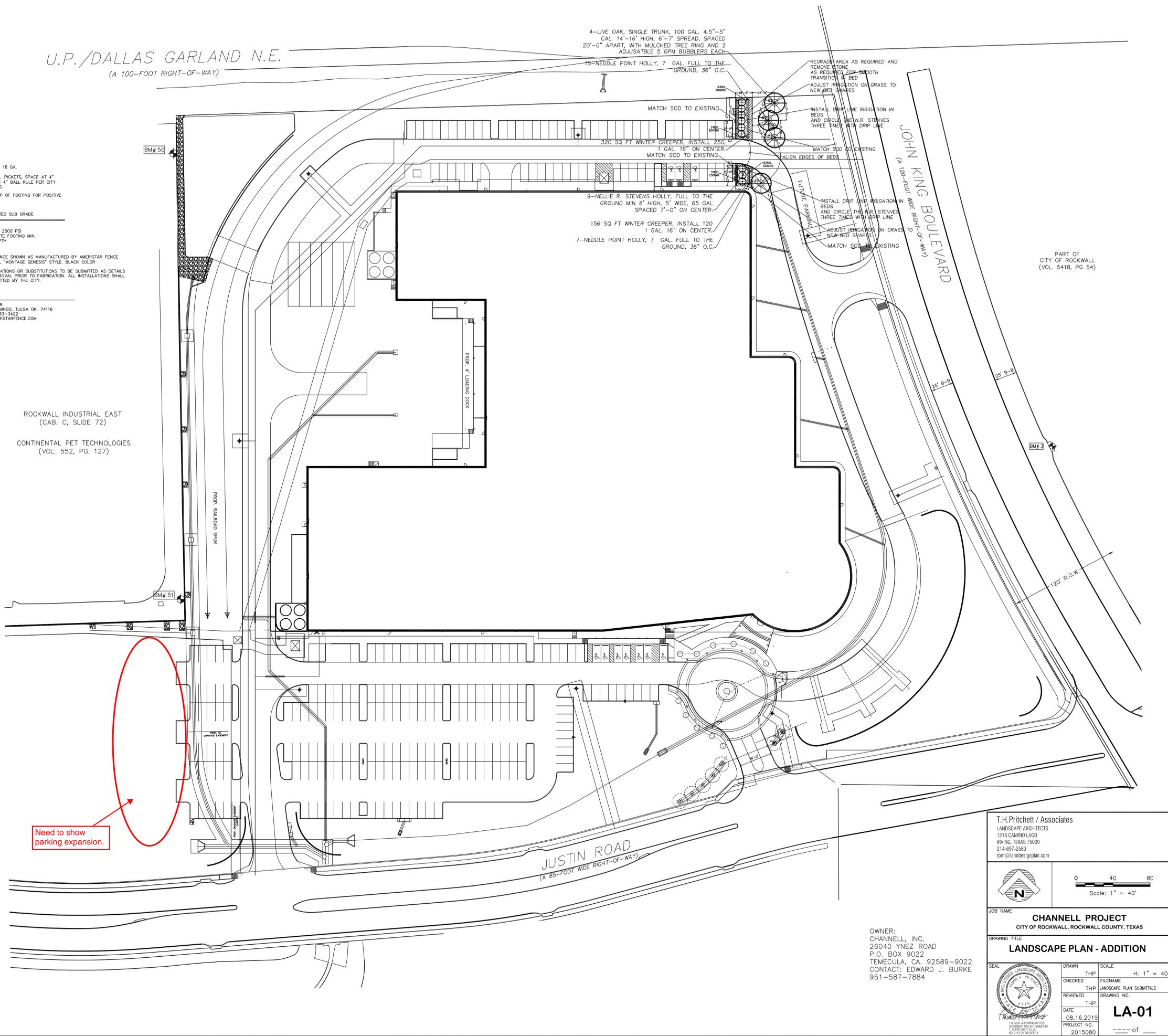
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Add note:
No trees within 5' of public utilities.

Need to show parking expansion.



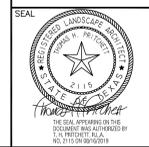
PART OF CITY OF ROCKWALL (VOL. 5418, PG 54)

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LANDSCAPE ARCHITECTS
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IRVING, TEXAS 75039
214-697-2580
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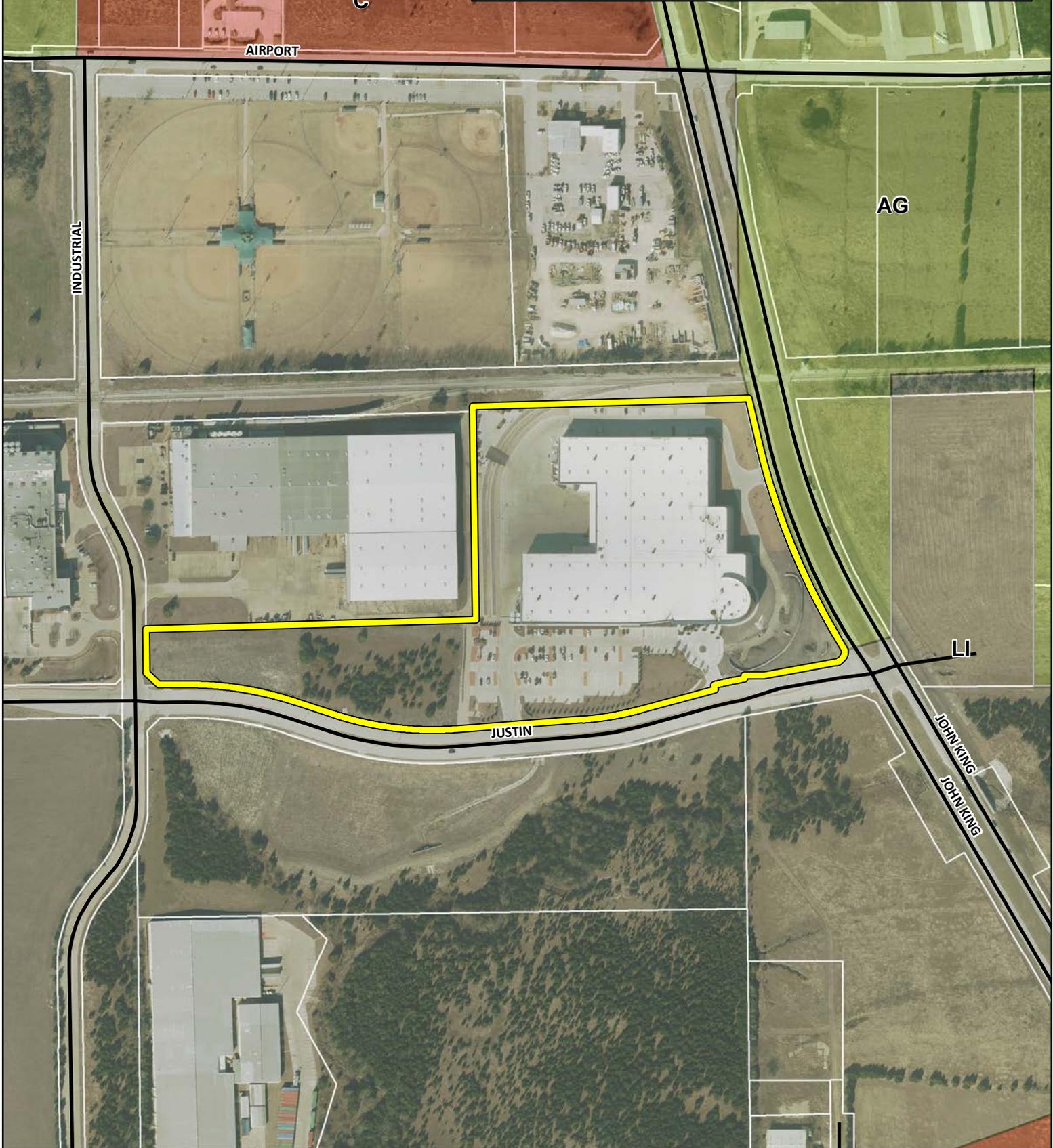
JOB NAME CHANNELL PROJECT CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS			
DRAWING TITLE LANDSCAPE PLAN - ADDITION			
SEAL	SCALE	H: 1" = 40'	
CHECKED	THP	FILENAME	LANDSCAPE PLAN SUBMITTALS
REVIEWED	THP	DRAWING NO.	
DATE	THP	LA-01	
08.16.2019		PROJECT NO.	2015080
		--- of ---	

OWNER:
CHANNELL, INC.
26040 YNEZ ROAD
P.O. BOX 9022
TEMECULA, CA. 92589-9022
CONTACT: EDWARD J. BURKE
951-587-7884





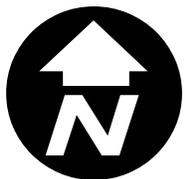
SP2019-045 - SITE PLAN FOR CHANNELL COMMERCIAL CORP.
SITE PLAN - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

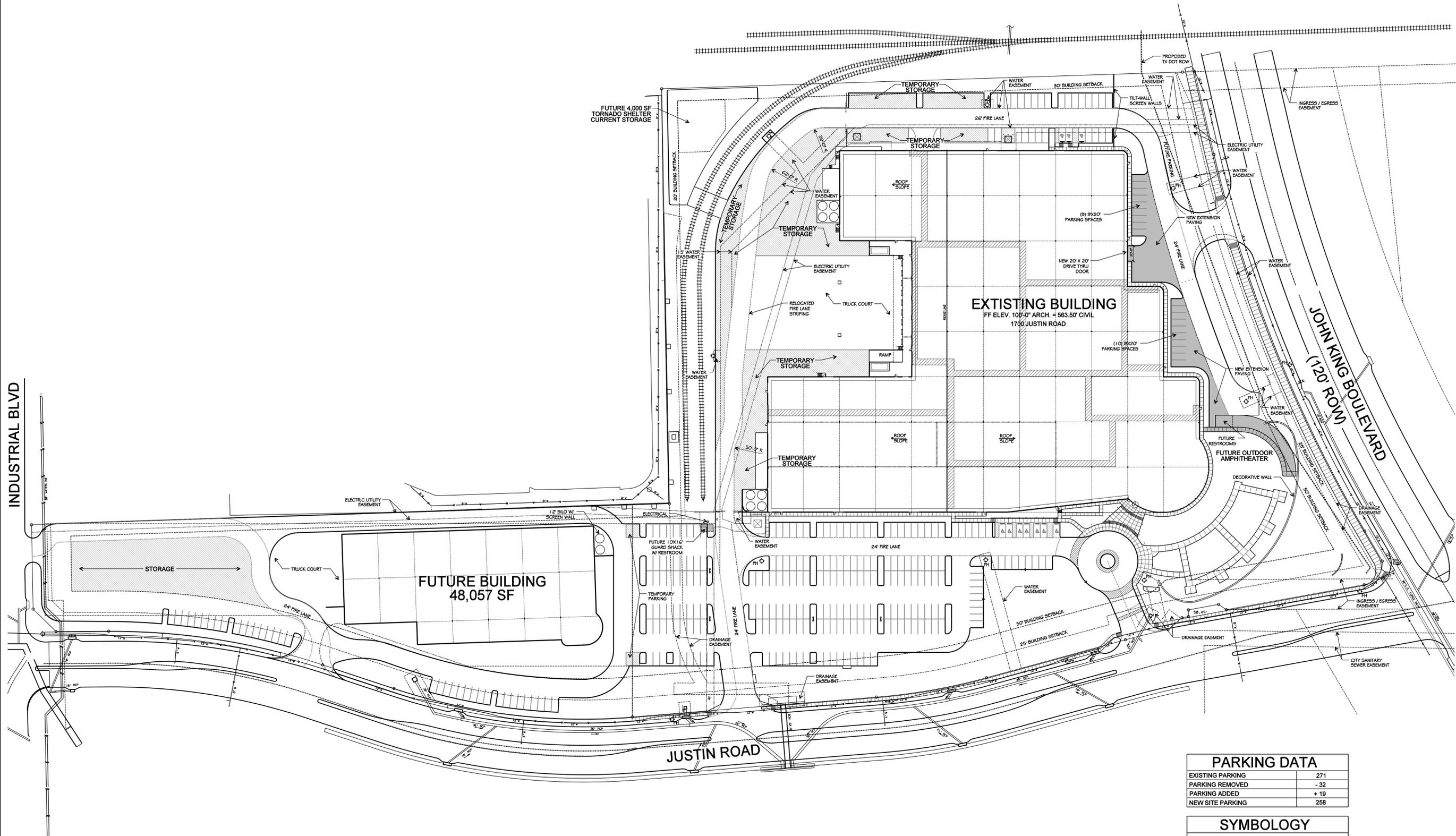
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\$ TIMES
\$ DATES
\$ FILES

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PARKING DATA

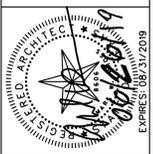
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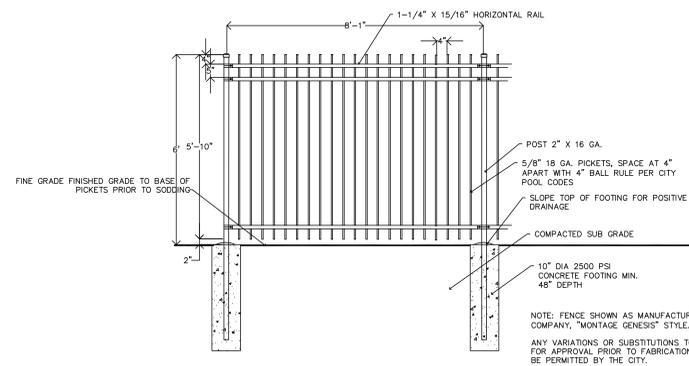
drawn:
checked:
MARK W. PROSS
c/w
11/5/2019

pross design group, incorporated.
 2810 Harvest Hill Road, Suite 100, Dallas, Texas 75228, 972.750-1400

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NOTE: FENCE SHOWN AS MANUFACTURED BY AMERISTAR FENCE COMPANY, "MONTAGE GENESIS" STYLE, BLACK COLOR.
ANY VARIATIONS OR SUBSTITUTIONS TO BE SUBMITTED AS DETAILS FOR APPROVAL PRIOR TO FABRICATION. ALL INSTALLATIONS SHALL BE PERMITTED BY THE CITY.

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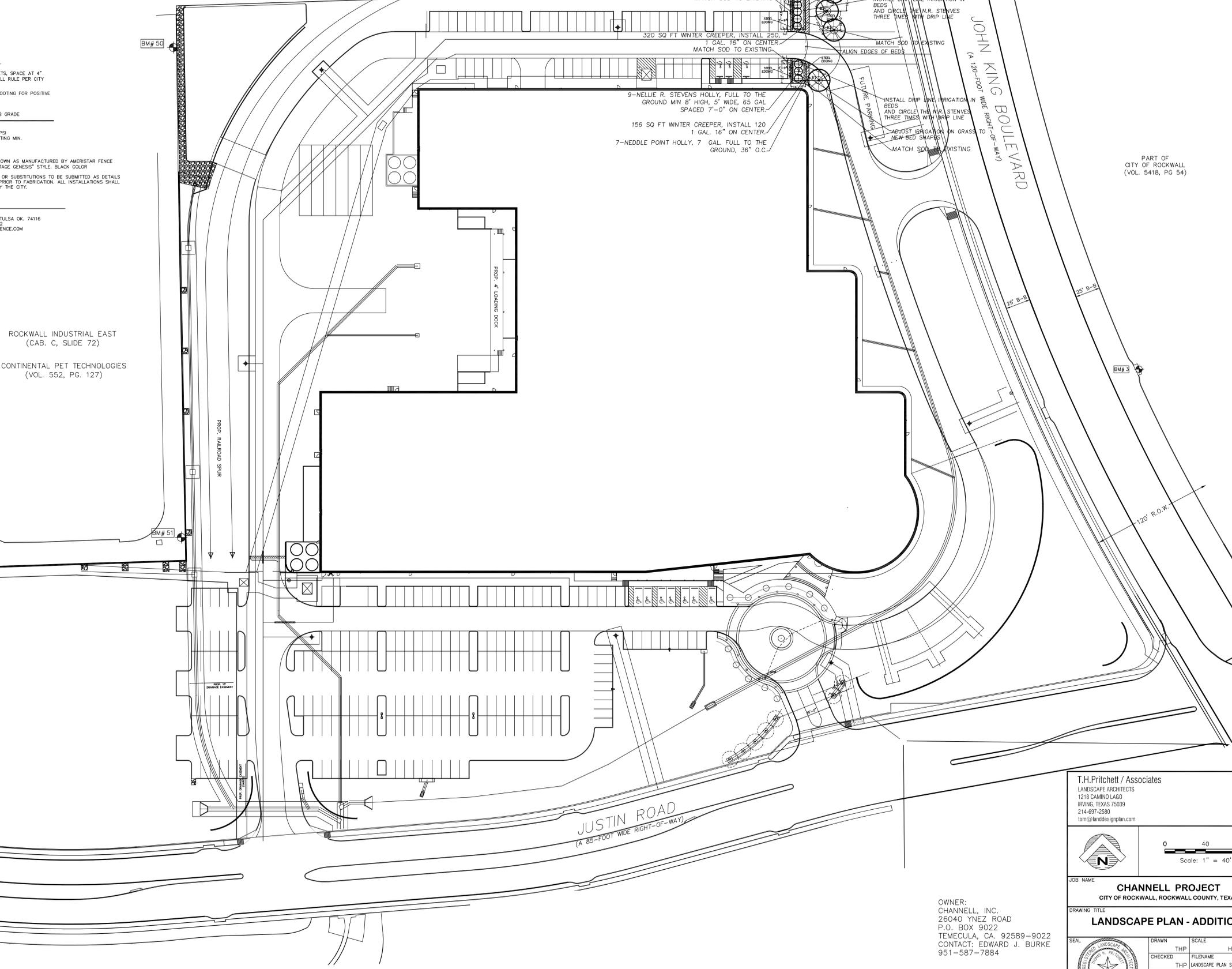
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